

MOVING FORWARD

Mass

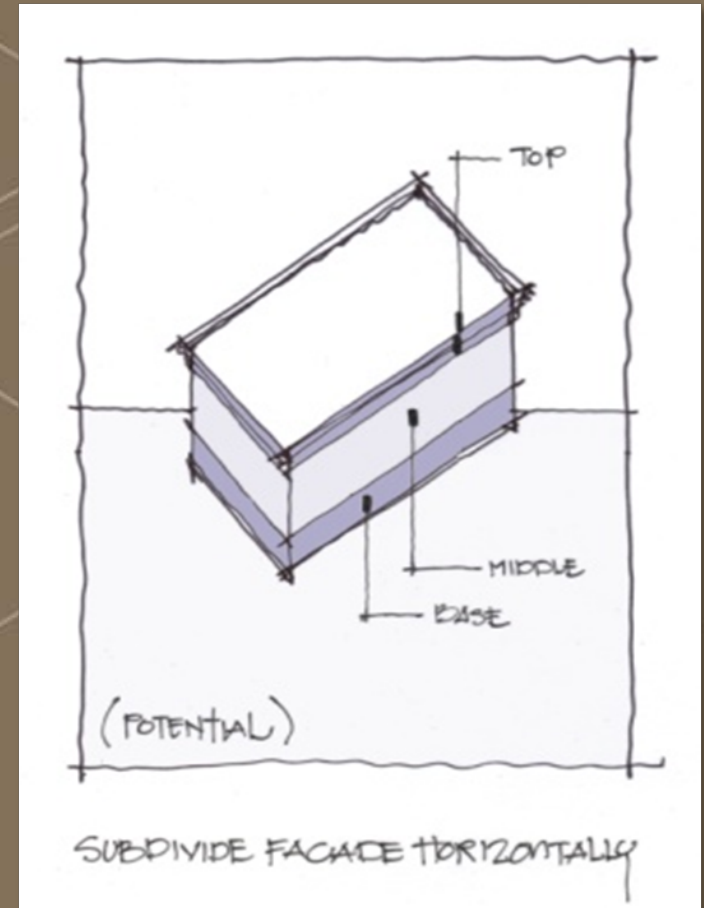


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Revisions Committee

MASS

Where the building footprint is 9000 SF or greater, two of the following options will be incorporated into the design:

(a) Subdivide the façade horizontally into base, middle, and top. The first story will be separated from the upper stories by an architectural feature such as a string course (i.e., a projecting horizontal band). Such architectural feature may be placed at the top of the second story when the first and second stories have the visual appearance of a separate exterior expression.

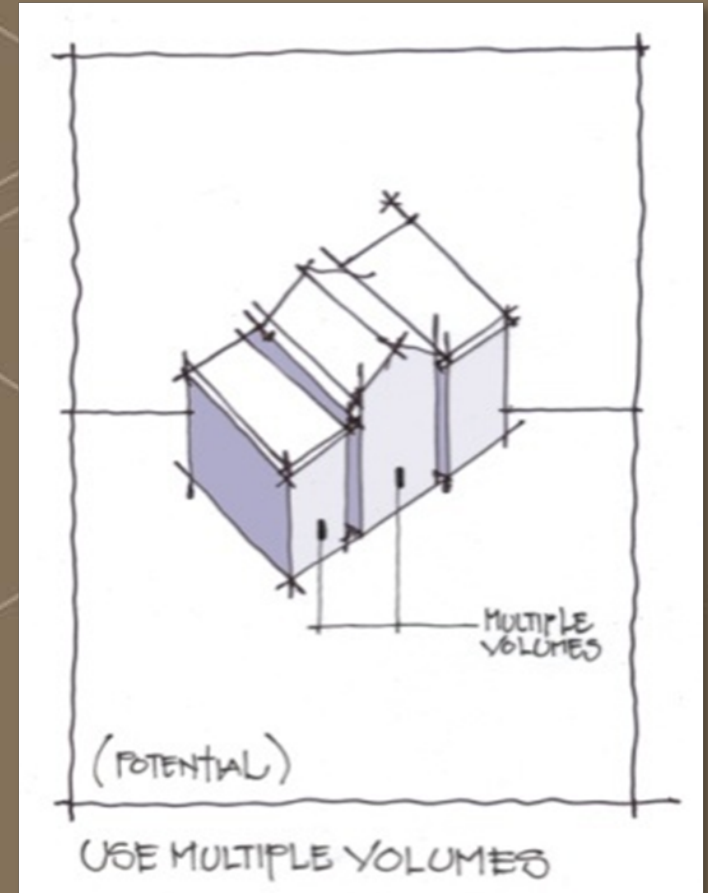


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Where the building footprint is 9000 SF or greater, two of the following options will be incorporated into the design:

(b) Use multiple volumes to break up the building into the appearance of two or more structures (ii)

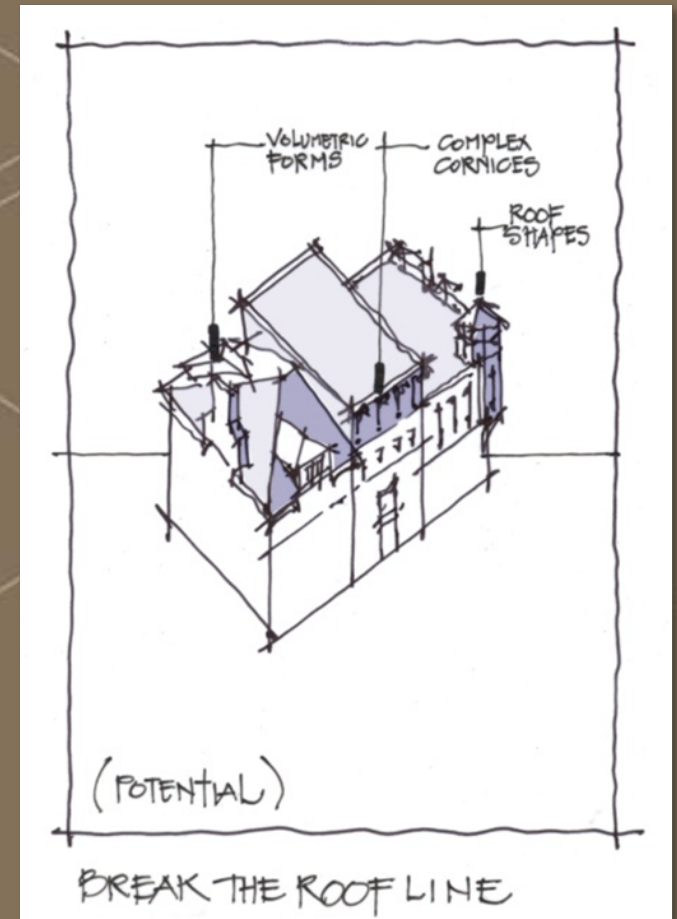


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Where the building footprint is 9000 SF or greater, two of the following options will be incorporated into the design:

(c) Break the roof line through the use of volumetric forms, complex cornices, raked or rounded parapets, or complex roof shapes of varying heights.

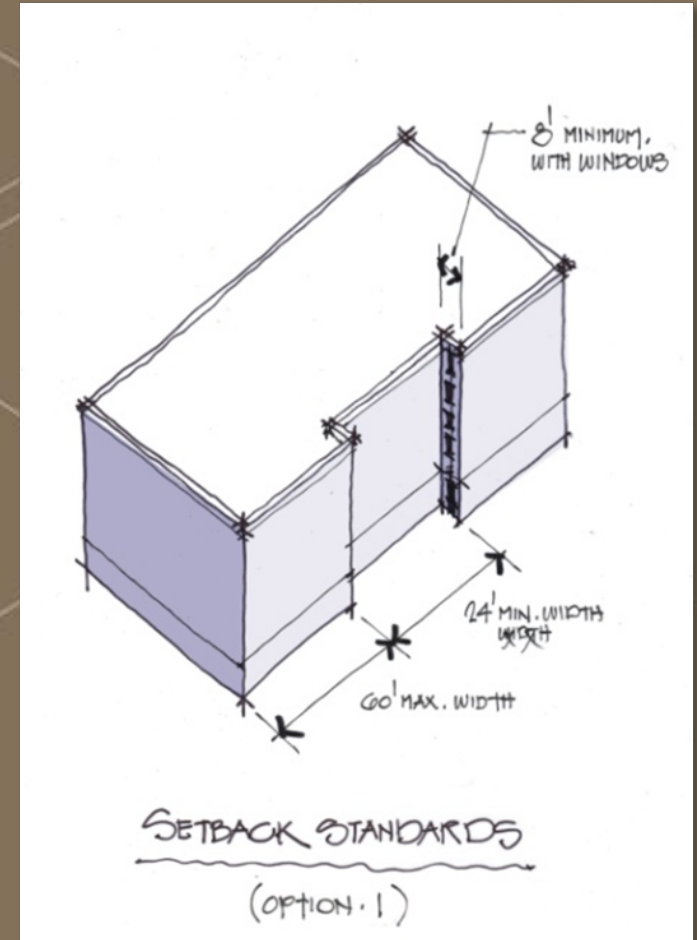


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Where the building footprint is 9000 SF or greater, two of the following options will be incorporated into the design:

(d) Setbacks between street fronting walls shall be at least twenty-four (24) feet wide and eight (8) feet deep and contain windows in the walls perpendicular to the street.

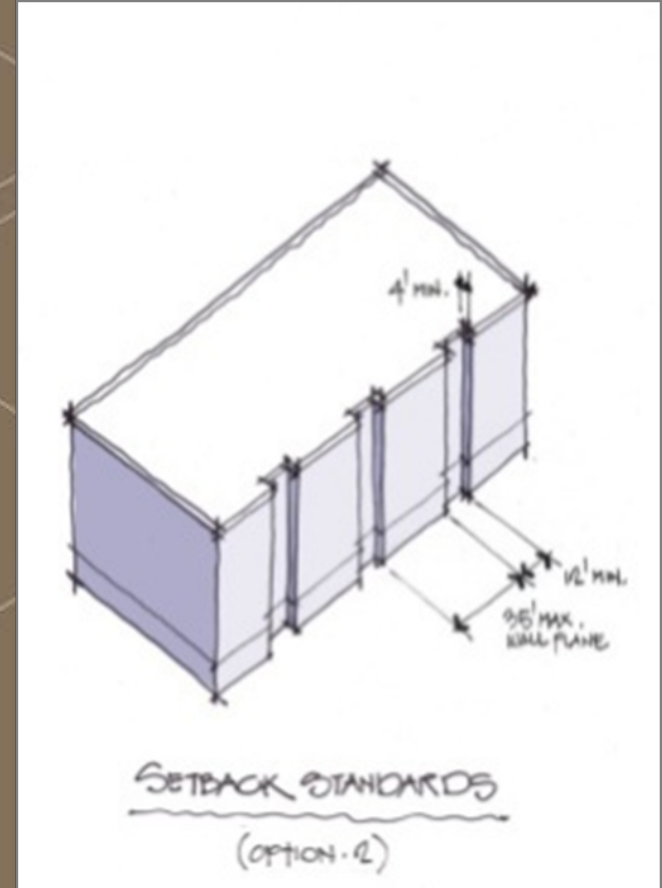


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Where the building footprint is 9000 SF or greater, two of the following options will be incorporated into the design:

(e) Frontage limited to thirty-five (35) feet with indentations of at least twelve (12) feet in width and four (4) feet in depth. (look at divisions of tithing block widths 30' or 60').



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Height & Lot Coverage

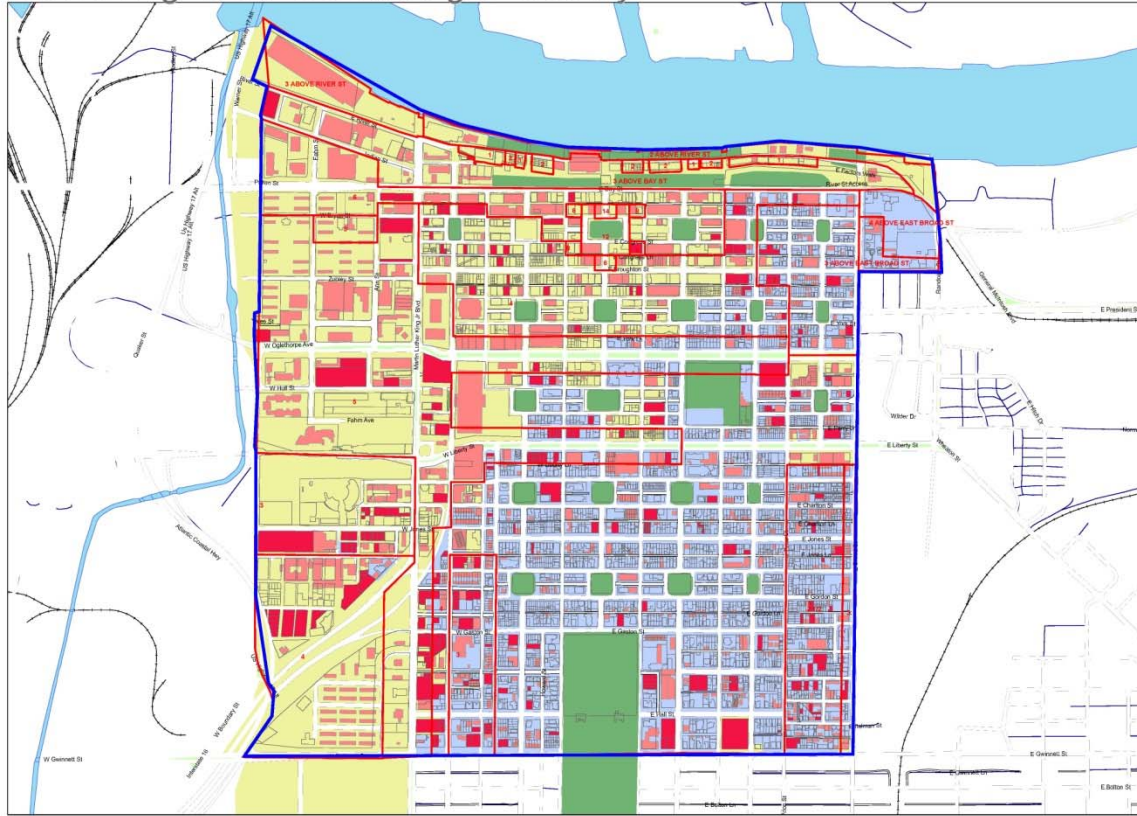


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Lot Coverage Zones

SAVANNAH HISTORIC DISTRICT Building Lot Coverage Study

Revised 3.9.08



Legend

- HD Boundaries
- Vacant Parcel
- Non-Contributing Building
- River

Maximum Allowed Lot Coverage

- 100%
- 75%

This map is a compilation of information from various sources and scales. In most cases the information has not been field verified. Use this map for general planning and discussion purposes only.



CHATHAM COUNTY - SAVANNAH
METROPOLITAN PLANNING COMMISSION
Planning for Growth - Improving the Future
100 GARDEN STREET, 2ND FLOOR, SAVANNAH, GEORGIA 31401-2001, PHONE 912/233-1444, FAX 912/233-1445



SCALE: 1 inch equals 390 feet



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Visual Compatibility

Height Compatibility Table for Large-Scale Development

Lot Coverage Zones	Types of Adjacency			Building Frontage <i>Within first 20' of primary street</i>
	<i>Abutting Building Contributing principal building on same or abutting lot</i>	<i>Across Lane less than 25' R-O-W</i>	<i>Across Street Less than 40' R-O-W</i>	
75% Maximum Lot Coverage Zones	Maximum of one-story taller for a distance of 30' from the contributing building (excluding non-historic additions and appendages) provided that the height does not exceed limit on the height map.	Maximum of two stories for a minimum distance of 20' in from the rear property line.	--	Maximum of 60 linear feet of same height before a minimum one-story off-set is required for a minimum distance of 30 feet provided that no portion of the building height exceeds the limits on the height map.
100% Maximum Lot Coverage Zones	--	Maximum of two stories for a minimum distance of 20' in from the rear property line when adjacent to a 75% maximum lot coverage zone.	--	Maximum of 120 linear feet of same height before a minimum of one-story off-set is required for a distance of 30 feet provided that no portion of the building height exceeds the limits on the height map.

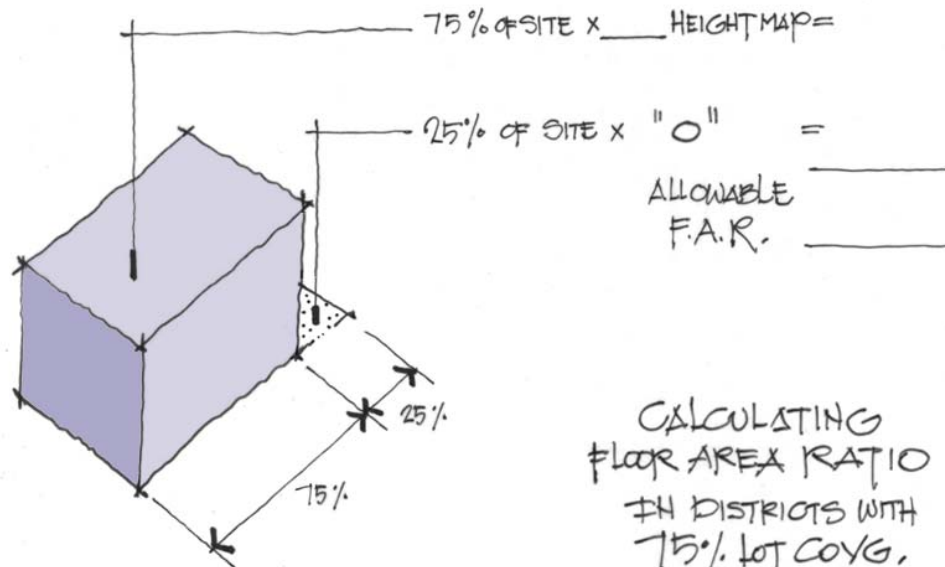


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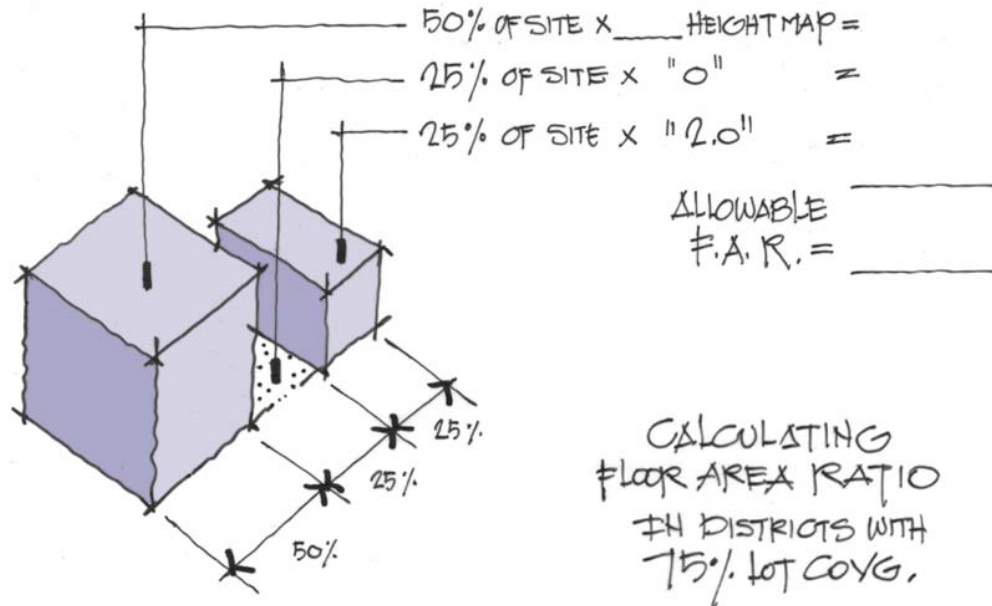
Development Capacity



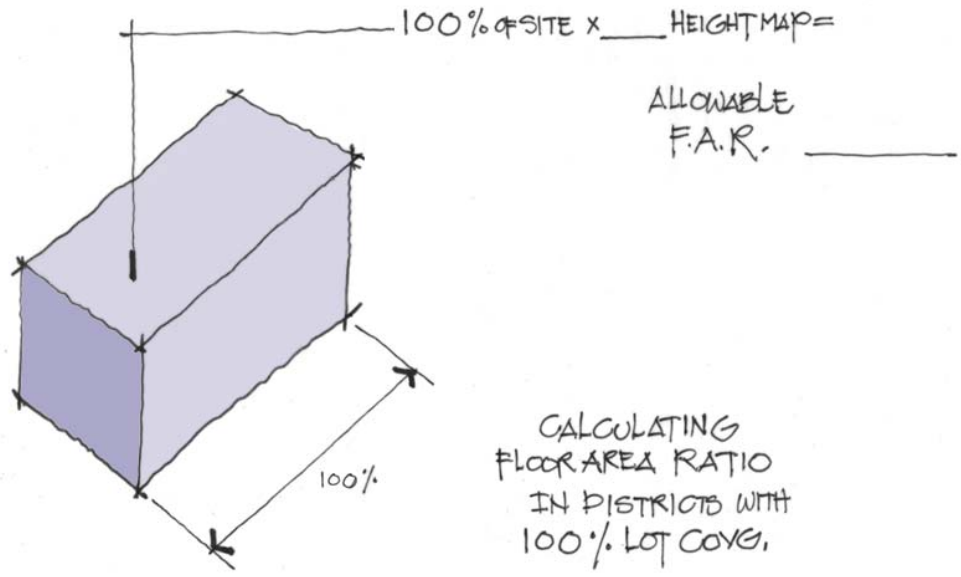
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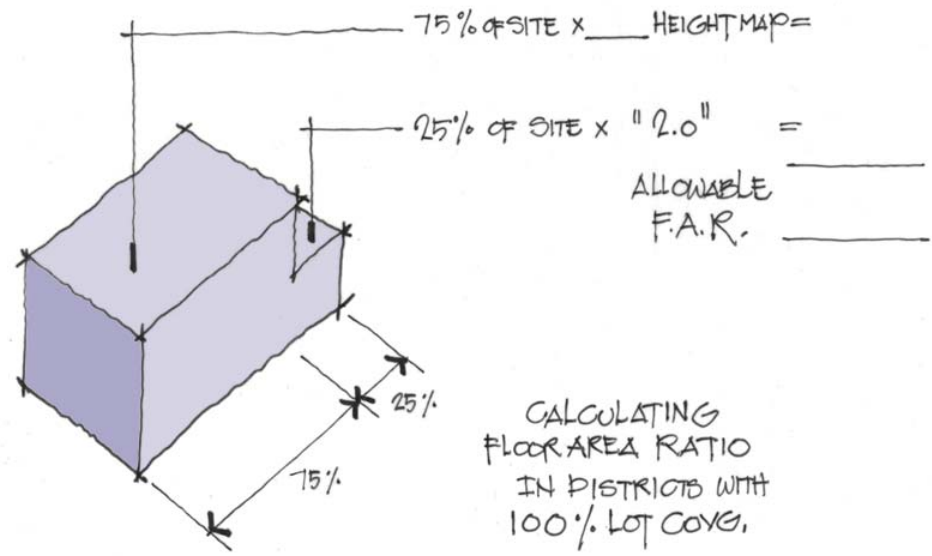
CALCULATING FLOOR AREA RATIO IN DISTRICTS WITH 75% LOT COVG.



CALCULATING FLOOR AREA RATIO IN DISTRICTS WITH 75% LOT COVG.



CALCULATING FLOOR AREA RATIO IN DISTRICTS WITH 100% LOT COVGS.



CALCULATING FLOOR AREA RATIO IN DISTRICTS WITH 100% LOT COVGS.

Development Capacity

**Development Capacity Table
for Large-Scale Development**

		Development Capacity							
		Height Zones							
		2 ½	3	4	5	6	8	12	14
Lot Coverage Zone	75% Lot Coverage	1.75	2.0	2.5	3.0	N/A	N/A	N/A	N/A
	100% Lot Coverage	N/A	2.75	3.5	4.25	5.0	6.5	9.5	11



**HISTORIC DISTRICT ORDINANCE
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Question and Answer



HISTORIC DISTRICT ORDINANCE
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NEXT MEETING Draft Ordinance

April 8, 2008

4:00 – 6:00 p.m.

Jerry Surrency Meeting Room, MPC



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