

conformance of infill construction to historic patterns. Where they do not exist, they should be developed.

2.1.7

PERMITTED ENCROACHMENTS

Entry stairs and stoops serving residential buildings historically encroach onto city sidewalks in the Historic District. This pattern, derived from raised basements with parlor level entries, and stoops raised 20 to 48 inches above the sidewalk, contributes to the rhythm and character of the street. Where such encroachments exist, as historic precedent on a blockfront, it is recommended that the Mayor and Aldermen adopt a general policy permitting such encroachments. Bays, likewise, may be permitted, but only if historic precedent exists on the blockfront. Bays, entry stairs and stoops so located must conform to the architectural guidelines of section 6.4

2.1.8

SECTION TYPES

The Historic District is comprised of 6 different section types (fig 2.1.8). While certain architectural styles generally correspond to a particular section type (for example, most Victorian structures are Type III) there is almost always an exception (see 40.37 HBS). Contrarily, certain architectural plan types (most notably Type II Attached Dwellings) can be found in almost every section type. Section types are used as a means of assuring visual harmony on a block with regard to building height, and the use of exterior entry stairs or porches. (See Sections 2.2.4 and 2.3.4).

Section Type III buildings are considered a variable type for purposes of these guidelines. They may be considered as Type II, III or IV for purposes of conformance.

2.1.9

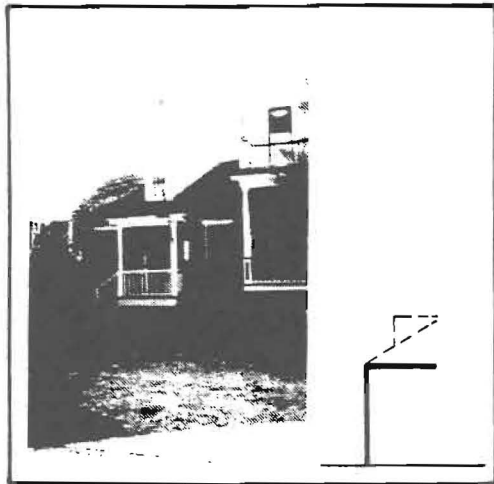
FLOOR HEIGHTS

Floor to floor dimensions for raised basements shall not be less than 8 feet 6 inches and floor to floor dimensions for all other floors shall not be less than 11 feet, except where historic structures within the designated catchment area, and of the same residential section type can be cited as precedents.

2.1.10

COMPOSITIONAL PRINCIPLES

- A. In facades where the entry is at the second or parlor floor, the basement shall be separated from the rest of the facade by a string course. (HBS 18.16, 18.19).
- B. Windows and doors shall align vertically in a facade when they overlap; doors can be wider than windows, but shall align with the centerline of windows above.
- C. Walls shall be foursquare to the street on lots less than 60 feet in width (e.g., types (1) and (2) are acceptable; (3), (4), (5) and (6) are not. (fig. 2.1.10.C). Bays and porches are considered attached structures (see Section 6.4), not part of the foursquare wall, and are permitted. For example, a Victorian bay attached to the house is acceptable (HBS 17.11) as is a side porch (HBS 22.21). *Exceptions are permitted for Plan Types III and VI subject to HBR approval if setbacks are symmetrical and less than 4 feet (HBS 21.5).*



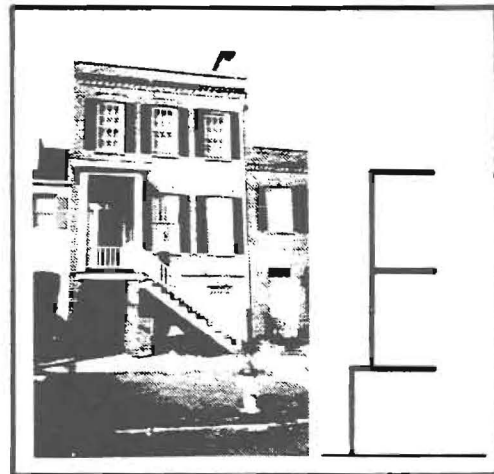
RESIDENTIAL SECTION TYPE I
- one story



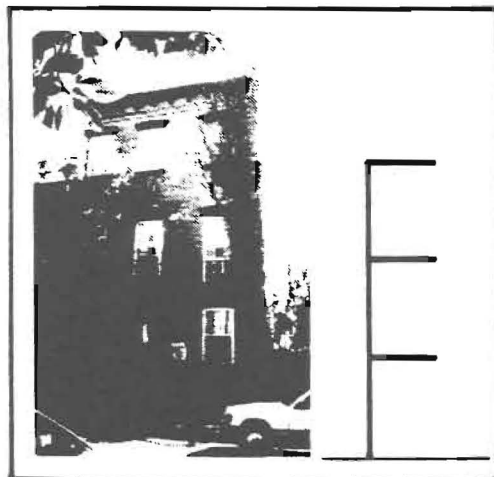
RESIDENTIAL SECTION TYPE II
- two stories



RESIDENTIAL SECTION TYPE III
- two stories, half basement



RESIDENTIAL SECTION TYPE IV
- two stories, full basement

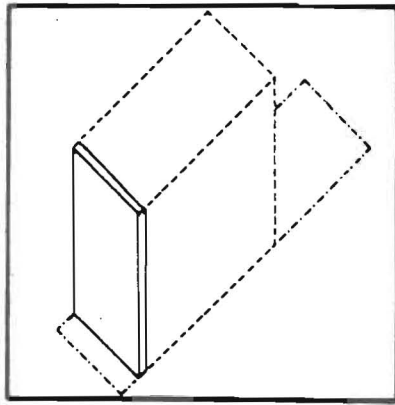


RESIDENTIAL SECTION TYPE V
- three stories

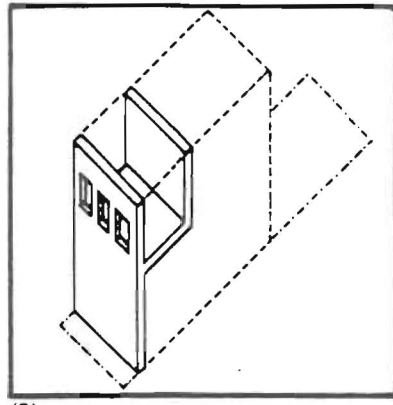


RESIDENTIAL SECTION TYPE VI
- three stories, full basement

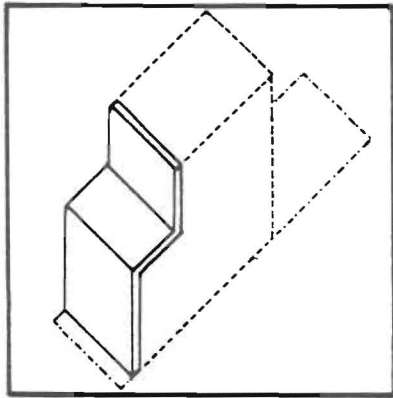
2.1.8 Residential Section Types



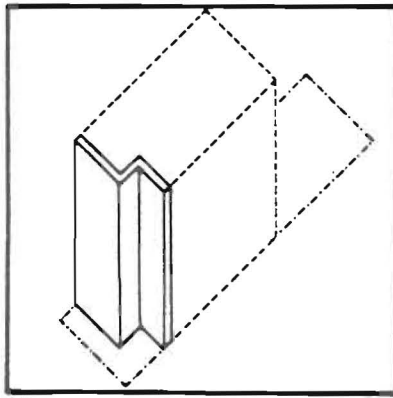
(1)



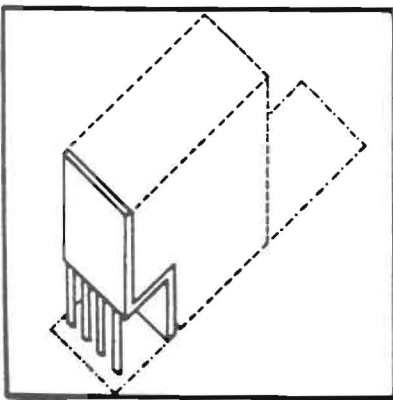
(2)



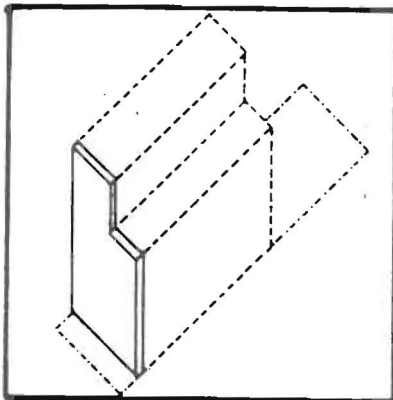
(3)



(4)



(5)



(6)

2.1.10.C Foursquare Walls

Figures 1 and 2 are acceptable on lots less than 60 feet in width. Figures 3, 4, 5, and 6 are not acceptable on lots less than 60 feet in width.

- D. Where a lot greater than 40 feet in width is being subdivided and multiple dwellings are being proposed, the building may be split along party walls to match setbacks to either side. (fig. 2.1.10.C (4)).
- E. On lots equal to or less than 30 feet in width three bays are recommended.

2.1.11

PARKING

Section 1.1 describes the ability of Oglethorpe's plan to accommodate the automobile on Tithing Blocks and the dilemma of the plan when confronted with the residential subdivision of Trust Blocks. It suggests that parking lots and garages occur off the north-south service streets of the city. Section 8-3064B of the Zoning Code and Sections 2.2.5 and 2.3.5 of these guidelines deal with the specific number, location and screening of on-site parking on Tithing and Trust Blocks respectively. The guidelines which follow deal with off-site parking in residential areas resulting from conversions and new construction of condominiums, apartments and dormitories. (In no case should a historic structure be removed in order to construct a parking lot or parking structure.)

2.1.11.A

DEFINITIONS

- (1) Surface parking - At grade parking that is not enclosed by both walls and a roof. A carport is a form of surface parking as is a walled compound. (fig. 2.1.11.A(1)).
- (2) Garage - An enclosed parking space or spaces entered directly from a public way with a garage door that can be operated by the vehicle's owner. (fig. 2.1.11.A(2)).
- (3) Carriagehouse - A garage with a dwelling unit above that is detached from the primary structure on the property. (fig. 2.1.11.A(3)).
- (4) Podium parking - A one story, enclosed, naturally ventilated parking structure, either at grade or partially depressed, a portion of whose roof area is open to the sky as a deck. (fig. 2.1.11.A(4)).
- (5) Parking structures - One or more levels of above grade parking either freestanding or combined with other uses and either naturally or mechanically ventilated. (fig. 2.1.11.A(5)).
- (6) Subgrade parking - Mechanically ventilated underground parking. (fig. 2.1.11.A(6)).

2.1.11.B

OFF-SITE SURFACE PARKING

- (1) Surface parking lots are not permitted as a primary use on east-west through streets. (fig. 2.1.11.B(2)).
- (2) No surface parking lot shall be greater than 60 feet in width, parallel to an east-west street, unless it abuts a north-south service street in which case it can be 120 feet in width. (fig. 2.1.11.B(2)).
- (3) Parking lots are permitted on Trust Blocks within 120 feet of north-south service streets and on Tithing Blocks within 150 feet of north-south service streets. (fig. 2.1.11.B).