



ADAPTIVE REUSE OF
410 EAST 37TH ST.
FORMER GULF REFINING CO.
STREETCAR LOCAL HISTORIC DISTRICT
SAVANNAH GA 31401

NOVEMBER 4, 2020





Corner of Price and 37th Street

PROJECT DESCRIPTION:

The submitted project is a rehabilitation and adaptive reuse of the former Gulf Refining service station within the Streetcar Local Historic District and zoned TC-1. The structure completed in the 1920's is a contributing structure within the district. Two additions were constructed on each of the back corners of the original building. These simple additions are subordinate to the main building and do not replicate the architectural detailing from the 1920's.

The former service station will be rehabilitated into a unique single-family residence. The design infuses renewed life back into this abandoned property. The small pie-shaped (.089 acre) parcel is surrounded by streets and railroad tracks. The parcel is an island of concrete with no curb or defined sidewalks. Centered within the island of concrete is a unique building that has remained vacant and neglected for too many years. The character defining features and architectural details are endangered. The roof, windows, doors, interior finishes, lights and too many other features have deteriorated. The building has remained vacant, most likely because the size of the building creates for unfavorable rehabilitation costs per square foot. But the current owner is looking to create a one-of-a-kind residence.

The existing building consists of a 929 s.f. footprint. This includes the original service station office, additions, and a large porte-cochere. The proposed scope of work includes enclosing the open porte-cochere with large transparent fixed and sliding panels with minimal framing. The panels will be set to the inside of the columns. The transparent panels will be set back 24" from the outside face of the columns allowing the original porte-cochere to be the distinguished piece of architecture. These panels provide a reversible treatment while creating additional living space.

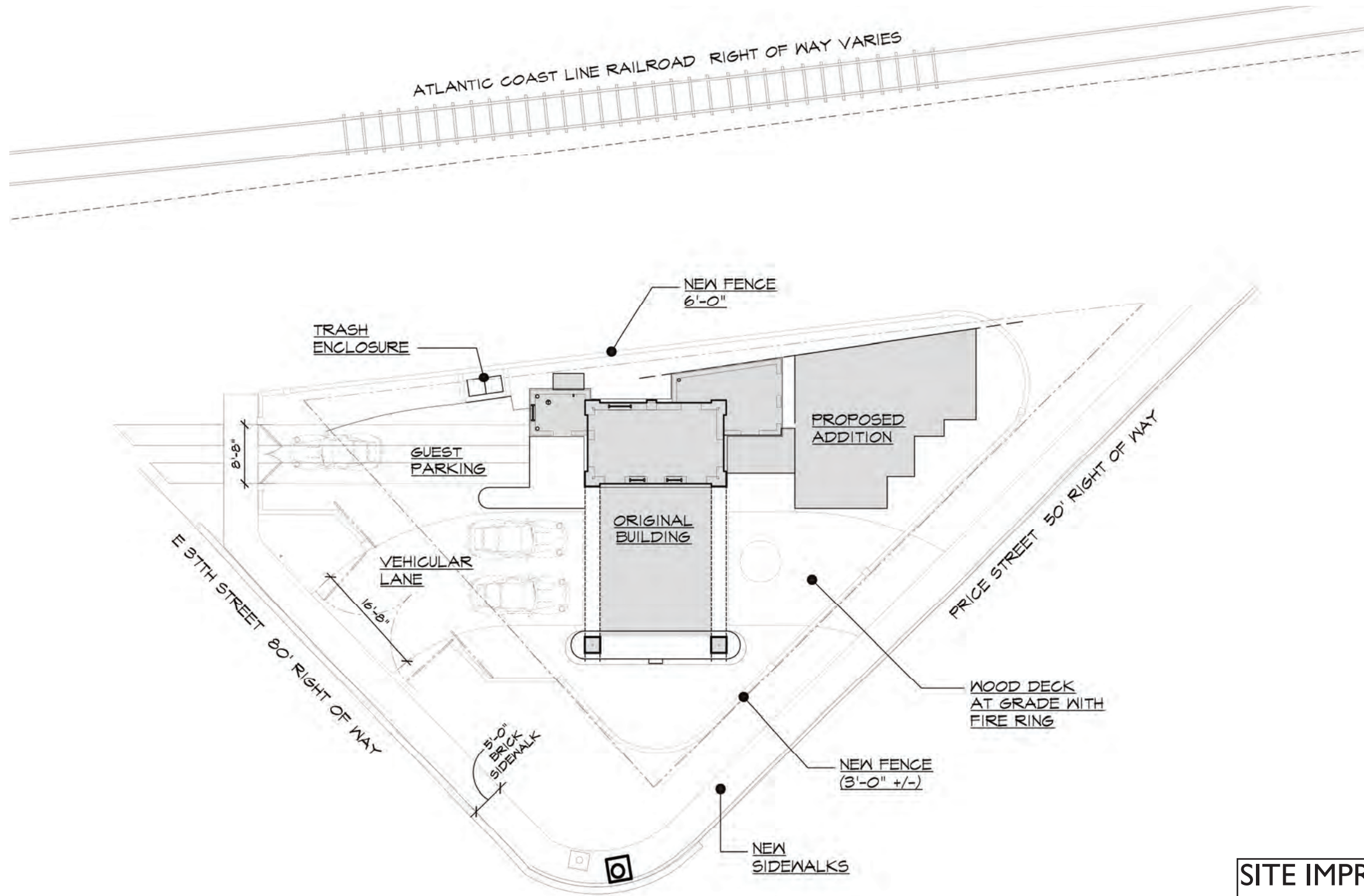
An addition is planned for the northeast corner. The corner property has a 37th street address and the existing structure is over the rear setback. We believe the proposed location of the addition is the least visible. The 521 s.f. Master Suite addition is set apart from the contributing structure. While the addition may appear large, when comparing square footage, the height and detailing are subordinate to the main structure. With a transparent connector the addition reads as detached separate mass that is stepped back into the property to allow the original architecture to be the character defining focus of the property.

The new architecture is compatible with the original building yet distinguishable from the historic construction. The brick and simple detailing are in-kind with the modest additions. The style of the windows are consistent with the in-filled porte-cochere and addition to create cohesive detailing that differentiates from the historic structure and preserves the important characteristics of the historic service station. The vehicular drive and parking area will be maintained. Parking will be located off 37th Street while the drive along price street will be in-filled with a wood deck. New fencing will screen the new deck from view. New sidewalks and plantings are proposed. Architectural and site upgrades are included within the proposed scope of work.

This submittal is a request for approval for the rehabilitation to the contributing structure and approval for the addition which requires a rear setback variance. We request a recommendation for approval on the 9' variance to the rear setback to allow the addition to align with the existing structure. This submittal also includes a special exception request to exceed the 3'-0" max fence height along the street to accommodate existing grading.

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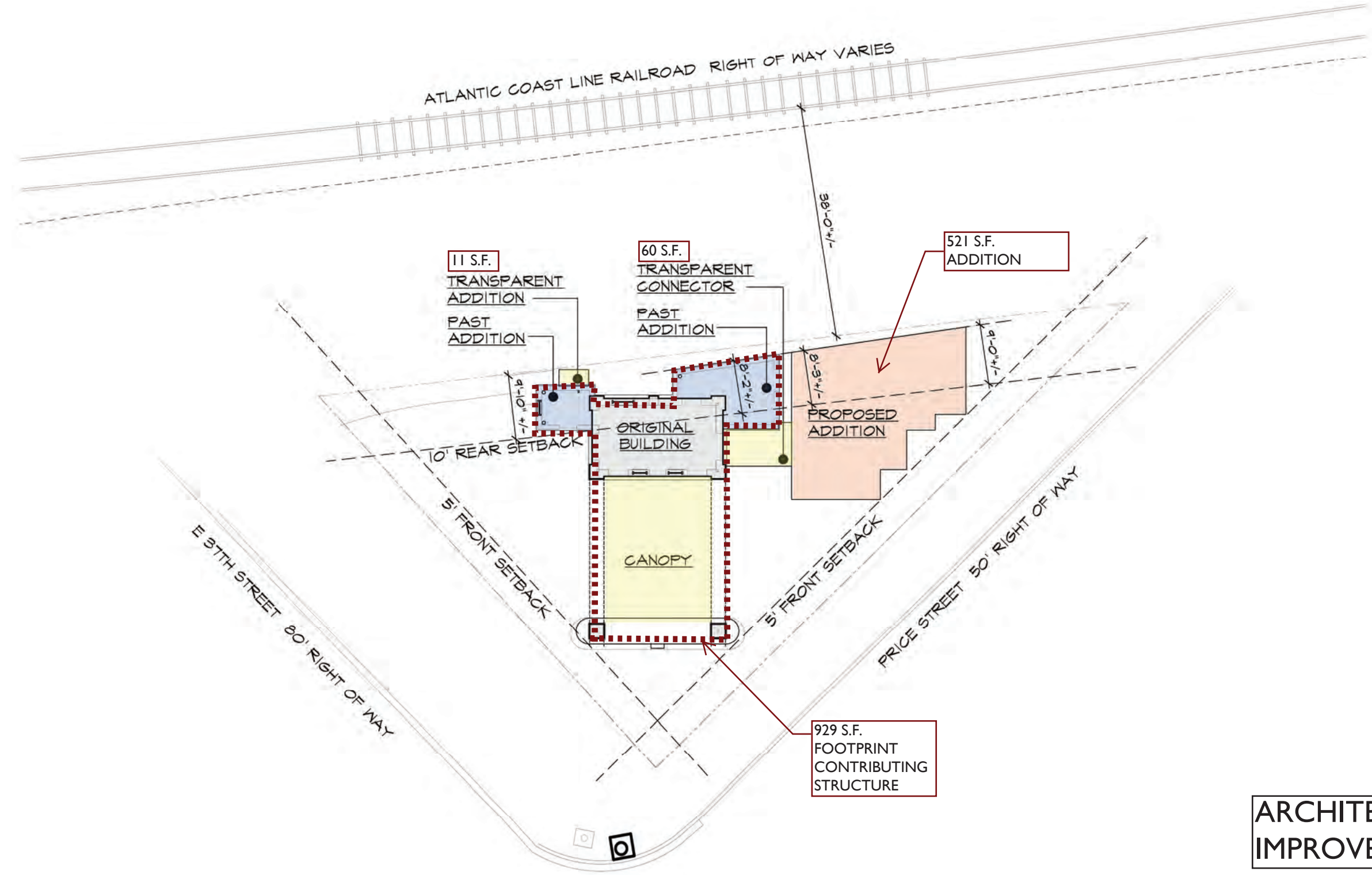


SITE IMPROVEMENTS



FELDER
★ ASSOCIATES
ARCHITECTURE
INTERIOR DESIGN

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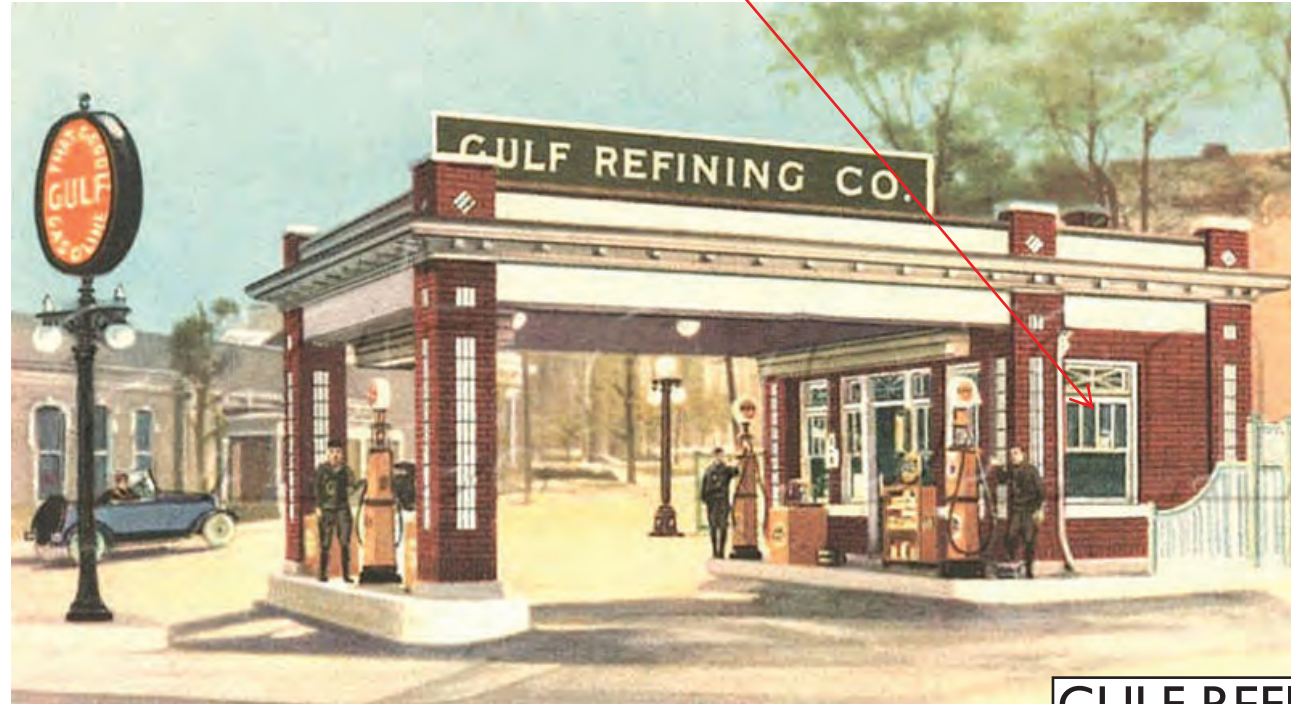
ARCHITECTURAL IMPROVEMENTS



FELDER
★ ASSOCIATES
ARCHITECTURE
INTERIOR DESIGN

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WOOD DOUBLE HUNG WINDOWS AND TRANSOMS WILL REPLICATE THIS STYLE

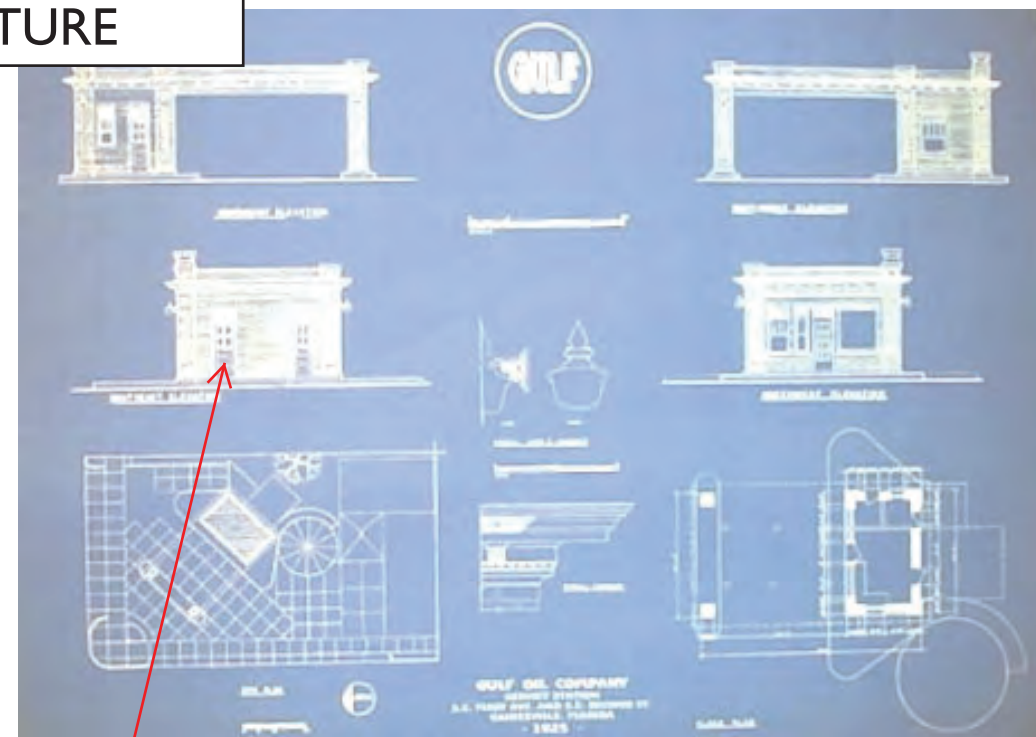


GULF REFINING CO. ARCHITECTURE

SAVANNAH EXAMPLE FROM BAY AND W. BROAD



TYPICAL LIGHT FIXTURES



TYPICAL SECONDARY DOOR STYLE

ADAPTIVE REUSE of 410 East 37th ST.
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LINE OF
TRANSPARENT
PANELS

TRANSPARENT
CONNECTOR

ADDITION

EXISTING PHOTOS



EVIDENCE OF
TRANSOM

HEIGHT OF THE
ADDITION AND
CONNECTOR ARE
BELOW THIS LEVEL

EARLIER ADDITION

PROVIDE RELICATED
WINDOWS BASED
ON PICTURES



BRICKED UP WINDOW AT REAR

NORTHEAST CORNER

ADAPTIVE REUSE of 410 East 37th ST.
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INTERIOR DESIGN



NORTH ELEVATION



NORTH SIDE OF PORTE-COCHERE

EXISTING PHOTOS



EARLIER ADDITIONS

VIEW AT REAR



EARLIER RESTROOM ADDITION

SOUTHWEST CORNER



PROVIDE RELICATED WINDOWS BASED ON PICTURES

VIEW FROM INSIDE LOOKING TOWARDS PORTE-COCHERE

37TH STREET ELEVATION



VIEW FROM CORNER OF 37TH STREET AND PRICE STREET



EXISTING PHOTOS



REAR ELEVATION - FACING RAILROAD TRACKS



PRICE STREET ELEVATION

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LOOKING ACROSS PRICE SREET



LOOKING ACROSS 37TH STREET



CONTEXT PHOTOS



VIEW OF PROPERTY AND RAILROAD - LOOKING SOUTHWEST



LOOKING NORTH TOWARDS PRICE STREET

ADAPTIVE REUSE of 410 East 37th ST.
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FELDER
★ ASSOCIATES
ARCHITECTURE
INTERIOR DESIGN

THE SECRETARY OF THE INTERIOR'S STANDARDS AND GUIDELINES FOR REHABILITATION

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The preservation standard is met. Modifications to the historic structure are reversible and differentiated from the historic building. New construction blends with the existing but reads as a later addition.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The preservation standard is met. Modifications to the historic structure are reversible and differentiated from the historic building. The proposed scope of work will restore the historic features of the deteriorating structure.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The preservation standard is met.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The preservation standard is met. The smaller additions will remain.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The preservation standard is met.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The preservation standard is met. Deteriorated historic features will be repaired and missing features are substantiated by pictorial evidence and will be replaced in kind.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The preservation standard is met.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not Applicable

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The preservation standard is met. Modifications to the historic structure are reversible and differentiated from the historic building. The modest addition located at the secondary façade is separated from the historic structure. The height of the addition and connector is set lower than the original to create a detached massing. Transparent glass panels with minimal framing are used within the porte-cochere and addition. The design is an adaptive reuse that preserves the historic integrity of the original architecture.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The preservation standard is met. All new construction could be removed in the future to restore the historic property in all its glory.

VISUAL COMPATIBILITY CRITERIA

To maintain the special character of the Streetcar Historic Overlay District as identified in the architectural survey and visual analysis, new construction and any material change in appearance shall be consistent with the standards, criteria and guidelines developed for the district. The applicable criteria below shall be used to assess new construction and material changes. These criteria shall not be the basis for appeal to any board, commission or administrator described in this Ordinance, or to the Mayor and Aldermen.

- (1) **Height.** The overall height and the height of individual components of the proposed building or structure shall be visually compatible with contributing buildings and structures to which it is visually related.
Not Altered on Contributing Building – Addition is visually compatible
- (2) **Width.** The proportion of the overall width and the width of individual components of the proposed building or structure shall be visually compatible with contributing buildings and structures to which it is visually related.
Not Altered on Contributing Building – Addition is visually compatible
- (3) **Scale.** The overall scale and the scale of individual components of the proposed building or structure shall be visually compatible with contributing buildings and structures to which it is visually related.
Not Altered on Contributing Building – Addition is visually compatible
- (4) **Setbacks.** The setbacks of the proposed building or structure shall be visually compatible with setbacks of contributing buildings and structures to which it is visually related.
Not Altered on Contributing Building – Addition is visually compatible
- (5) **Rhythm of Building or Structure.** The relationship of a building or structure to the open space between it and adjacent buildings or structures shall be visually compatible with open spaces between contributing buildings or structures to which it is visually related.
Not Altered on Contributing Building – Addition is visually compatible
- (6) **Openings.** The rhythm and solid-to-void ratio of the proposed building or structure shall be visually compatible with contributing buildings and structures to which it is visually related.
Not Altered on Contributing Building – Addition is visually compatible
- (7) **Projections.** Entrances, porches, and other projections of the proposed building or structure shall be visually compatible with contributing buildings and structures to which it is visually related.
Not Altered on Contributing Building – Addition is visually compatible
- (8) **Materials.** The relationship of materials and textures of the proposed building or structure shall be visually compatible with contributing buildings and structures to which it is visually related.
Not Altered on Contributing Building – Addition is visually compatible
- (9) **Roof Shape.** The roof shape of the proposed building or structure shall be visually compatible with contributing buildings and structures to which it is visually related.
Not Altered on Contributing Building – Addition is visually compatible
- (10) **Signs.** Signs, where permitted, shall be visually compatible with contributing buildings and structures to which they are visually related.
Not Applicable

DESIGN STANDARDS

New Construction, Additions, and Alterations. The intent of these standards is to ensure appropriate new construction, additions, and alterations within the Streetcar Historic District. They are not intended to promote copies of the architectural designs of the past, but to encourage contemporary designs that protect and complement existing contributing resources. They are further intended to protect the historic integrity of the contributing resource.

The following design standards shall apply to new construction, additions, alterations to contributing and non-contributing buildings and structures, and site alterations, unless otherwise specified. Though certain building materials are prescribed herein, the Commission may approve alternative materials that are not listed as prohibited upon a showing by the applicant that the material or product is visually compatible with historic building materials and has performed satisfactorily in the local climate.

i. Setbacks.

The front, rear, and side yard setbacks shall be determined by the base zoning district. **We are requesting a variance from the 10'-0" rear setback to align the addition with the existing structure. We ask for your recommendation for a 9'-0" variance from the 10'-0" rear setback. The variance allows the addition to align with the existing building. The rear of the property abuts the railroad tracks, and the addition will be setback over 38'-0" from the tracks. The average setback along Price and 37th is 5'-0". The shape and size of the lot create a hardship for providing an addition within the recommended setbacks.**

ii. Height and Mass.

The intent of these standards is to ensure that the height and mass are in context with contributing buildings in the same or adjacent block faces.

(1) The height and mass shall be subdivided both horizontally and vertically to convey human scale and visual interest that reflects the traditional size of buildings.

The height and mass of the existing one-story building shall remain. The one-story addition is subordinate to the existing building and separated by a transparent connector.

(2) The maximum height, building coverage and building footprint shall be determined by the base zoning district.

The proposed rehabilitation with additions remain below the allowable height, building coverage and footprints.

(3) Floor to floor heights.

- a) In single-family detached, single-family attached, two-family attached, three-family/four-family and townhouse dwellings, the exterior expression of the height of the first story shall not be less than 11 feet and the height of the upper stories shall not be less than nine (9) feet **The one-story addition is subordinate to the existing building and separated by a transparent connector.**
- b) In all other building types, the exterior expression of the height of the first story shall not be less than 13 feet and the height of the upper stories shall not be less than nine (9) feet.

iii. Foundation.

The intent of these standards is to ensure that foundations match the traditional pattern of construction in height and materials and complement the craftsmanship of contributing buildings.

(1) Alterations to contributing resources.

- a) Foundations shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director and the new foundation shall be of the same materials and configuration as the original foundation. **The existing concrete slab on grade construction shall remain. The addition will also utilize a raised concrete slab on grade.**
- b) If the original foundation material and/or configuration is unknown, the new foundation material and configuration shall be based on historic context **The existing concrete slab on grade construction shall remain. .**
- c) The space between piers may be filled with heavy gauge wood lattice with at least one-half (0.5) inch thick lattice boards, horizontal boards, brick, or stucco over concrete block. Infill material shall be recessed a minimum of three (3) inches behind the front edge of the pier so that the piers are clearly visible and differentiated.

(2) New construction, alterations to non-contributing resources, and addition

- a) Materials.
 1. Foundations shall be constructed of brick, stone or stucco over concrete block piers.
 2. The space between piers may be filled with heavy gauge wood lattice with at least one-half (0.5) inch thick lattice boards, horizontal boards, brick, or stucco over concrete block. Infill material shall be recessed a minimum of three (3) inches behind the front edge of the pier so that the piers are clearly visible and differentiated.

3. Slab-on-grade foundations shall be allowed where the slab has been built up to a minimum of 30 inches.
- b) Configuration.
 1. In single-family detached, single-family attached, two-family attached, three-family/four-family, and townhouse dwellings, foundations shall be the average height of the foundations of contributing buildings on the block face, or if no contributing buildings exist, shall have a minimum finished floor height of 30 inches above grade. Front porches shall have expressed piers.
 2. Beneath a wood frame building, the foundation shall be recessed and not project forward of the building plane.

iv. Exterior Walls.

The intent of these standards is to ensure that exterior building walls reflect and complement the traditional materials and construction techniques of the district's architecture.

(1) Alterations to contributing resources.

- a) Exterior walls shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director, and the new wall shall be of the same materials and configuration as the original wall.
The existing exterior walls are brick. The brick will be repaired.
- b) If the original wall material and/or configuration is unknown, the new wall material and configuration shall be based on historic context. **n/a**
- c) Prohibited materials: Vinyl siding, aluminum siding, rolled asphalt, precast concrete panels, fiber cement wood siding, EIFS, T-I I I.
Prohibited materials are not utilized.

(2) New construction, alterations to non-contributing resources, and additions.

- a) Permitted materials: Brick, stone, wood, true stucco, concrete block, precast concrete panels, metal shingles and smooth fiber cement wood simulated horizontal lap siding.
The addition will be constructed with a brick veneer. The color and texture shall be visually compatible with the existing brick.
- b) Prohibited materials: Vinyl siding, aluminum siding, rolled asphalt, EIFS, T I I I, corrugated metal, and unpainted exposed CMU blocks.
Prohibited materials are not utilized.

v. Windows, Shutters, and Storefronts.

The intent of these standards is to ensure that windows, shutters and storefronts reinforce a sense of rhythm and continuity in architecture and enhance pedestrian activity at the street level.

(1) Windows.

- a) Alterations to contributing resources.
 1. Windows shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation of each window shall be photographically documented and verified by the Planning Director, and the new window shall be of the same materials and configuration as the original (including single-glazed and true-divided lights, when appropriate).
All the original windows are missing. Evidence of the wood transoms remain and are identical to the photo we found. The windows within the historic structures will be re-built in kind based on pictorial evidence of typical Gulf Refining Station. The original structure will have custom built double hung wood windows with the decorative transoms.
 2. If the original window material and/or configuration is unknown, or if a new window is proposed in an unoriginal opening, the new window material and configuration shall be based on historic context.
See Above
- b) New construction, alterations to non-contributing resources, and additions.
 1. Materials.
 - a. Window casings and sashes shall be made of PVC, metal, wood or clad wood material.
New windows within the addition and in-fill will be metal.
 - b. Window glass shall be transparent with no dark tints or reflective effects (except for stained glass windows). This provision does not preclude the use of Low Emissivity or laminated glass.
Glass will be transparent with a low E coating.
 - c. Solid vinyl windows are prohibited.
Prohibited materials are not utilized.
 2. Configuration.
 - a. Windows shall be taller than they are wide, except for accent windows, which may be round or other shapes.
Windows are taller than wide.
 - b. Windows shall be single-hung, double-hung, triple-hung, awning, or casement, except for accent windows which may also be fixed or hopper
New windows will be casements.

- c. Simulated divided light windows shall be permitted provided that the muntin is 7/8 inches or less, the muntin profile shall simulate traditional putty glazing, the lower sash shall be wider than the meeting and top rails, and there shall be a spacer bar in between double panes of glass. Between-the-glass, snap-in or applied muntins shall not be permitted.
The new windows do not have divided lights.
 - d. Framing members shall be covered with appropriate trim; trim shall feature a header, surrounds, and pronounced sill where appropriate. **New windows will have brick headers to remain visually compatible with the contributing building. Window framing will be inset with minimal framing visible along the façade.**
 - e. Window sashes shall be inset a minimum of three (3) inches from the façade, except for wood frame buildings.
Windows sashes will be inset a min. of 3" from the face of brick within addition and set back over 24" from the face of the columns within the porte-cochere.
 - f. Bay windows shall extend to the ground unless they are oriel, beveled or are supported by brackets
No Applicable.
 - g. All residential facades visible from a street shall incorporate transparent features (windows and doors) on at least 30% of the ground floor facade.
The façade of the addition along Price Street incorporates more than 40% transparency.
 - h. Retail uses shall incorporate transparent features (windows and doors) on at least 70% of the ground floor facade.
 - i. All other nonresidential facades shall incorporate transparent features (windows and doors) on at least 50% of the ground floor facade.
- (2) Shutters – Not Applicable**
- a) Exterior shutters shall consist of a durable wood species.
 - b) Shutters shall be sized to fit the window and operable (hinged and able to be closed over the window).
 - c) The placement of the horizontal rail(s) shall correspond to the location of the meeting rail(s) of the window.
- (3) Storefronts – Not Applicable**
- a) Alterations to contributing resources.
 - I. Original storefronts shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the

- Planning Director, and the new storefront shall be of the same materials and configuration as the original.
 - 2. If the original storefront material and/or configuration are unknown, or if a new storefront is proposed in an unoriginal opening, the new storefront material and configuration shall be based on historic context.
- b) New construction, alterations to non-contributing resources and additions.
 - I. Materials
 - a. Storefronts shall be constructed of wood, cast iron, Carrera glass, glass block, tile, aluminum steel or copper as part of a glazed storefront system.
 - b. Storefront bases shall consist of wood, bronze, glazed brick or tile
 - c. Exterior burglar bars, fixed or roll-down security devices or similar security devices shall not be permitted.
 - 2. Configuration.
 - a. Storefront glazing shall be inset a minimum of four (4) inches from the face of the building; provided, however, that continuously glazed storefronts may be flush with the face of the building.
 - b. Storefront glazing shall be transparent; provided, however, opaque glass may be used in the storefront window transoms.
- vi. Doors / Entrances.** The intent of these standards is to ensure that the placement of doors and entrances provides a sense of rhythm and continuity in architecture.
- (I) Alterations to contributing resources.**
- a) Doors shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation of the door shall be photographically documented and verified by the Planning Director, and the new door shall be of the same material and configuration as the original.
No historic doors remain.
 - b) If the original door material and/or configuration are unknown, or if a new door is proposed in an unoriginal opening, the new door material and configuration shall be based on historic context.
All the original doors are missing. The doors within the historic structures will be custom secondary wood doors typical of 1920's architecture.

(2) New construction, alterations to non-contributing resources and additions

- a) Materials
 - 1. Doors shall be of glass, wood, clad wood or steel (without wood grain simulation). **New doors will be steel**
 - 2. Doors shall not have a decorative diamond or half-moon inset. **No decorative diamond or half moon inset will be utilized.**
- b) Configuration
 - 1. Entrances shall face the primary street on which the building is located (normally the street from which it takes its address). **The main entrance will face 37th Street within an existing opening in the historic building.**
 - 2. Entrances on corner lots shall be oriented in the same direction as entrances of adjacent buildings, toward the corner of the intersection, or based on historic precedent. **The main entrance will face 37th Street.**
 - 3. Angled entrances shall only be permitted at intersections of streets or lanes. **N/A**
 - 4. There shall be a primary entrance along the primary street at intervals no greater than 60 feet. **N/A**

vii. Porches, Stoops, Balconies, and Decks.

- (1) Alterations to contributing resources – Not Applicable / No Porches**
 - a) Porches shall be repaired rather than replaced, provided however, if the degree of degradation does not allow for repair, the degradation shall be photographically documented and verified by the Planning Director, and the new porch shall be of the same material and configuration as the original.
 - b) If the original porch material and/or configuration is unknown, the new porch material and configuration shall be based on historic context.
 - c) Front porches shall not be enclosed. Side and rear porches may be enclosed with fine wire mesh, glass or shutters, provided the porch continues to read as a porch and character-defining features (including but not limited to columns, balustrades, entablature, etc.) are retained and not obscured or damaged.
 - d) Prohibited materials: Fiberglass (including Perma-Cast), vinyl and PVC.
- (2) New construction, alterations to non-contributing resources, and additions. – Not Applicable / No Porches**
 - a) Front porches or covered or uncovered stoops shall be required on all entrances for new ground floor residential construction.
 - b) Materials
 - 1. On porches and stoops, piers and base walls shall be the same material as the foundation wall facing the street.

- 2. Porch elements shall be constructed of brick, painted or stained wood, wood composite, precast stone, marble, sandstone or slate.
- 3. Prohibited materials: Vinyl.
- c) Configuration.
 - 1. On single-family detached, single-family attached, and two-family attached dwellings, a front porch a minimum of six (6) feet in depth is required over a minimum of 50% of the front façade.
 - 2. On three and four-family and townhouse dwellings, a stoop extending a minimum of four (4) feet in depth and six (6) feet in width is required.
 - 3. Wood portico posts shall have a cap and base molding.
 - 4. Balusters shall be placed between the upper and lower rails, and the distances between balusters shall not exceed four (4) inches on center. The height of the railing shall not exceed 36 inches for single- and two-family dwelling units.
 - 5. Front porches shall not be enclosed.
 - 6. Uncovered decks shall be at the rear of the building or screened from view from the public right-of-way. **A proposed deck is flush with the floor level along Price Street. The deck will not be visible from 37th Street and will be screened by the new fence surrounding the property.**

viii.

- Awnings.** The intent of these standards is to ensure that awnings provide cover for pedestrians and reinforce the rhythm of bays and primary entrances within facades.
- No Awnings**
- (1) Materials.**
 - a) Awnings shall be constructed of canvas, cloth or equivalent, metal (though not corrugated), or glass.
 - (2) Configuration.**
 - a) A minimum of eight (8) feet vertical height clearance shall be maintained above the public right-of-way.
 - b) Awnings shall be structurally and architecturally integrated into the façade and shall not obscure character-defining features.
 - c) Back-lit (internally lit) awnings shall be prohibited
 - d) Awnings shall not connect two (2) facades.

ix.

Roof. The intent of these standards is to ensure that roof forms are designed to provide visual interest and coherence in a manner that is consistent with contributing resources.



(1) Contributing Resources.

a) Materials.

1. Original roofs shall be repaired rather than replaced provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director, and the new roof shall be the same material and configuration as the original (except wood or asbestos).

The original roof is missing. The building has a parapet, and the original roof was not visible.

2. Metal roofs shall have a metal drip edge covering all edges. **N/A**

b) Configuration.

1. Original roof configuration shall be maintained.
The original roof utilized internal roof drains. The roof has been slightly altered to drain water towards the rear of the property. Internal drains will be abandoned. The roof is not visible.
2. Skylights, roof decks, pergolas and roof vents shall be permitted only on the roof plane opposite the street, or when screened from public view and shall not damage or obscure character-defining features.
N/A
3. Dormers shall not damage or obscure character-defining features and shall reinforce the existing historic window pattern. **N/A**

(2) New construction, alterations to non-contributing resources, and additions.

a) Materials.

1. Roof coverings shall be standing seam metal, v-crimp, slate or equivalent synthetic, clay or concrete tile, or architectural asphalt or similar shingles.

New roofing will be TPO membrane roofing and will be screened by a parapet.

2. Metal roofs shall have a metal drip edge covering all edges. **N/A**

b) Configuration.

1. Shed and porch roofs, subordinate and attached to the primary building, shall be pitched between 2:12 and 6:12. Where historically appropriate, flat roofs may be utilized.
Flat roofs, slightly sloped to shed water, will be utilized behind parapets.
2. Gable and hip roofs shall be symmetrically pitched between 4:12 and 10:12. **N/A**
3. Skylights, and roof vents may be permitted if integrated into roof design.
A new skylight is proposed in the addition but will not be visible from the public right of way.
4. Pergolas and roof decks shall not be permitted on the street facade.

5. Eaves shall extend no less than 12 inches beyond the supporting walls.
6. Gable end rakes shall overhang at least eight (8) inches.
7. Eaves and rakes on accessory buildings and dormers shall overhang at least eight (8) inches.
8. Soffits shall be placed perpendicular to the building wall, not sloping in plane with the roof (except for gable end rakes).
9. Applied mansard roofs shall not be permitted.

x.

Mechanical Equipment and Refuse. The intent of these standards is to ensure that mechanical equipment and refuse is appropriately sited to provide the least negative visual impact. In addition to the requirements set forth in Sec. 9.5, Screening and Buffers, mechanical equipment and refuse shall comply with the following.

- (1) Electrical vaults, meter boxes, communications devices, and satellite dishes shall be located on the secondary or rear façades and shall be minimally visible.
All electrical panels, utility meters and condensing units are located on the rear of the building.
- (2) Roof mounted equipment and HVAC units shall be screened from view from the street.
Not Applicable
- (3) Refuse storage areas for dumpsters and compactors shall be located within a building or to the side or rear of the building and screened from the public right-of-way.
A Refuse storage area will be screened from public view.
- (4) Alternative energy source devices may be permitted on new construction, additions, and alterations to non-contributing resources provided they are integrated into the building design. Alternative energy source devices may be permitted on contributing resources provided they are not visible from the street and do not damage or obscure any character-defining features.
Not Used

xi.

Lighting. The intent of these standards is to ensure that light fixtures have appropriate scale, are sited appropriately, are made of appropriate materials, and complement the building on which they are located. In addition to the requirements set forth in Sec. 9.8, Lighting, lighting shall comply with the following.

- (1) Materials: Light fixtures shall be constructed of metal and/or glass.
New fixtures will be constructed of metal and glass
- (2) Configuration: Light fixtures shall be compatible with the scale of the subject property and with the character of the district.
The design of the custom light fixtures is based on historic photographs of various Gulf Refining architecture.
- (3) Source Type: White light source only.

xii. Additions. In addition to compliance with the Visual Compatibility Criteria and the Victorian Historic District Design Standards, additions to contributing resources shall also comply with the Secretary of the Interior's Standards and Guidelines for Rehabilitation and the following standards.

- (1) Additions shall be subordinate in height and mass to the resource.
The addition is subordinate in height and similar in massing to the contributing structure.
- (2) Additions shall not obscure any character-defining features.
The addition is separated from the contributing structure and connected by a glass transparent connector. The porte-cochere is in-filled with transparent panels. Character-defining features will remain visible and the panels will be setback from the face of the columns.
- (3) Additions shall not be on the primary or front façade of the resource.
The property is on a corner lot surrounded by 37th street, price street and the railroad right of way. The property address is 37th street and therefore, the addition was situated along secondary street, Price Street.

xiii. Accessory Structures (including garages carports, and accessory dwelling units, excluding fuel canopies. In addition to compliance with the Visual Compatibility Criteria and the Victorian Historic District Design Standards, accessory buildings shall also comply with the requirements set forth in Sec. 8.7, Accessory Structures and Uses, and the following standards. – **Not Applicable**

- (1) Accessory buildings and structures shall be located in the rear yard.
- (2) New accessory buildings and structures shall be in scale with other contributing accessory buildings and structures on the lane.
- (3) The height and mass of the primary building shall not be exceeded by any accessory building or structure on the same parcel.
- (4) Accessory buildings and structures shall not be more than two (2) stories tall.
- (5) Garage openings shall not exceed 12 feet in width.

xiv. Satellite Dishes. – Not Applicable

- (1) Ground mounted satellite dishes shall not be located in a front yard.
- (2) Ground mounted satellite dishes in the side (street) yard shall be completely screened by a fence or wall or landscaping.
- (3) Building mounted satellite dishes shall not be located on a street fronting façade (except lanes).

xv. Fuel Canopies.

The existing fuel canopy will be in-filled with large glass transparent panels. Panels are reversable and differentiated from the historic building.

- (1) The entire canopy, including columns and roof, shall be architecturally compatible with the design of the principal building.
- (2) The entire canopy, including columns and roof, shall be constructed of building materials consistent with the principal building.
- (3) A canopy may be counted toward the building frontage requirements, if applicable to the district, only where the spacing of columns along the frontage is no greater than 20 feet and where the columns are placed at the edge of the canopy

Parking and Paving. The intent of these standards is to create and protect contiguous, active pedestrian street fronts. The use of pervious paving shall be encouraged. In addition to the requirements set forth in Sec. 9.3, Off-Street Parking and Loading, parking and paving shall comply with the following.

- (1) New construction shall include a private sidewalk that connects the main entrance of the principal structure to the public sidewalk. Private sidewalks shall be constructed of brick, concrete, stone or other materials as approved by the Planning Director.
New concrete sidewalks will be constructed with a landscaping strips.
- (2) Parking areas shall be located in the rear yard except for single- and two-family dwelling units which may also provide parking in the side yard behind the face of the front façade of the dwelling.
Parking will be located within the original vehicular access lane. The lane will be restored and/ or inferred to help maintain the historic use of the property.
- (3) **Parking lots over 30 feet in length.** Where a parking lot extends over 30 feet in length along any street, a 36-inch high wall shall be placed parallel to the building façade along the parking lot in order to screen vehicles. Shrubs that are anticipated to grow to a height of less than 36 inches shall be planted between the wall and the adjacent sidewalk.
Not Applicable
- (4) **Vehicular Access.**
 - a. For single and two-family dwellings, where a site has access to a lane, the lane shall be the sole means of vehicular access to the site. Where lane access is not available, a driveway shall be permitted from the street provided that it is a ribbon strip design. The driveway shall be no wider than 12 feet and the area between the strips shall be planted with grass or plants that grow or are maintained to no taller than one-half foot.
The existing lot is covered in concrete. The existing concrete will be maintained in the vehicular access to the Porte Cochere and guest parking area. The property does not have access to the lane.
 - b. For uses other than single and two-family dwellings, vehicular access shall be from the lane. Where there is no lane, the Planning Director and the City Manager or his or her designee shall consult with each other to determine the most appropriate access location.

(5) **Parking Structures.** Parking structures shall comply with the Visual Compatibility Criteria, Victorian Historic District Design Standards, and the following standards.

– Not Applicable

- a. There shall be no exterior evidence at the ground level to indicate that the parking structure is used for parking, except for entrances. At the ground floor level each visible portion of the structure shall be wrapped in residential or nonresidential uses permitted in the base zoning district.
- b. In-structure parking may extend to within three (3) feet of the rear lot line where parking access is provided from a lane.

(6) **Fencing and Walls.** The intent of these standards is to ensure that walls and fences define outdoor spaces appropriately, separate the private and public realms and add architectural interest to a building’s façade. In addition to compliance with the requirements set forth in Sec. 9.6, Fences and Walls, fences and walls shall also comply with the following standards.

a. Materials.

- i. Permitted: Wood, iron, brick, stucco over concrete block, smooth fiber cement, or extruded aluminum.

A new black iron fence with a brick base and piers is planned for the property. An iron gate is proposed along 37th Street. Brick color and mortar will match the addition.

- ii. Chain link may be permitted in the rear yard but not along any street. Plastic or metal slats used in chain link shall not be permitted.

Not Used

- iii. Prohibited: Vinyl, PVC, and corrugated metal.

Not Used

b. Configuration.

- i. Fences or walls no more than three (3) feet in height may be installed within the front yard.

The grading drops 12” to 18” from the northeast corner and southwest corner to the southeast corner at Price and 37th. The new fence installed along Price and 37th will be designed to meet the height requirement at the high end of the property, but the height will be increased as it follows the grade of the property. The top of the brick base and iron pickets will be consistent. The height of the brick base will vary dependent on grading. The pickets allow the historic structure to remain visible while providing security.

Please note that we are requesting a special exception to the height because the slope of the property. The intent of the ordinance is to prevent tall fences from screening historic structures from the public right away. The design of the fence will alleviate this concern. The fence, along

with the new sidewalks and landscaping will provide beatification to the vacant corner. The height will vary from 3’ to 4’+/-.

- ii. Fences or walls no more than six (6) feet in height may be installed within the side or rear yards behind of the front façade of the building.

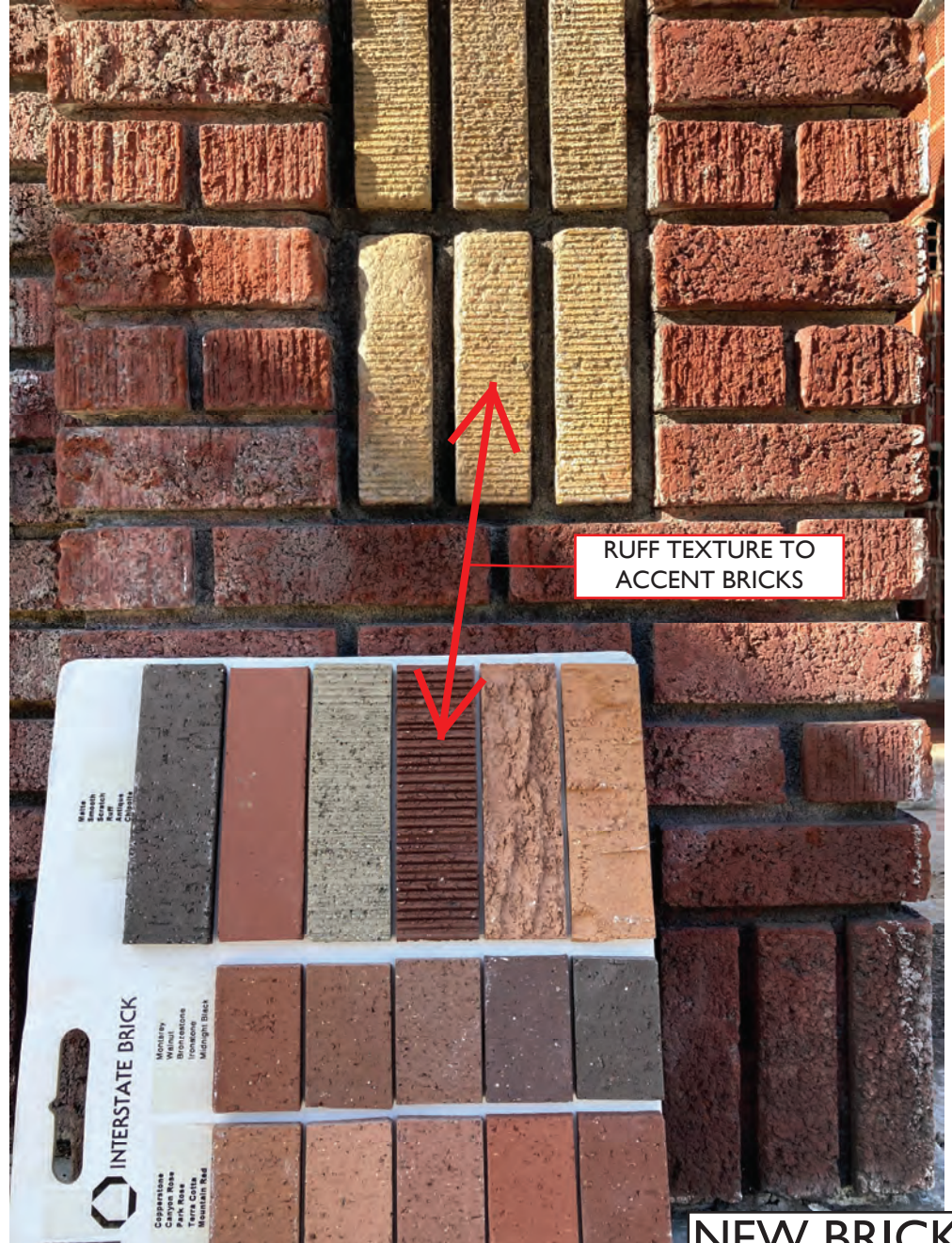
The new fence along the railway will follow the same design with brick piers and iron pickets. The fence along the rear of the property will be 6’ in height.

PROJECT COLORS, MATERIALS and SPECIFICATIONS



EXISTING WINDOWS
- PAINTED WHITE

MOUTAIN RED
INTERSATE BRICK



RUFF TEXTURE TO
ACCENT BRICKS

NEW BRICK

ADAPTIVE REUSE of 410 East 37th ST.
November 4, 2020 – Streetcar District



CONC. CAP - PAINTED WHITE - REPLICATE THIS DETAIL AT ADDITION

NEW CUSTOM LIGHTS TO REPLICATE HISTORIC



NEW ENTRY DOOR

LIGHT FIXTURES

NEW CUSTOM LIGHTS TO REPLICATE HISTORIC



WHITE WINDOWS

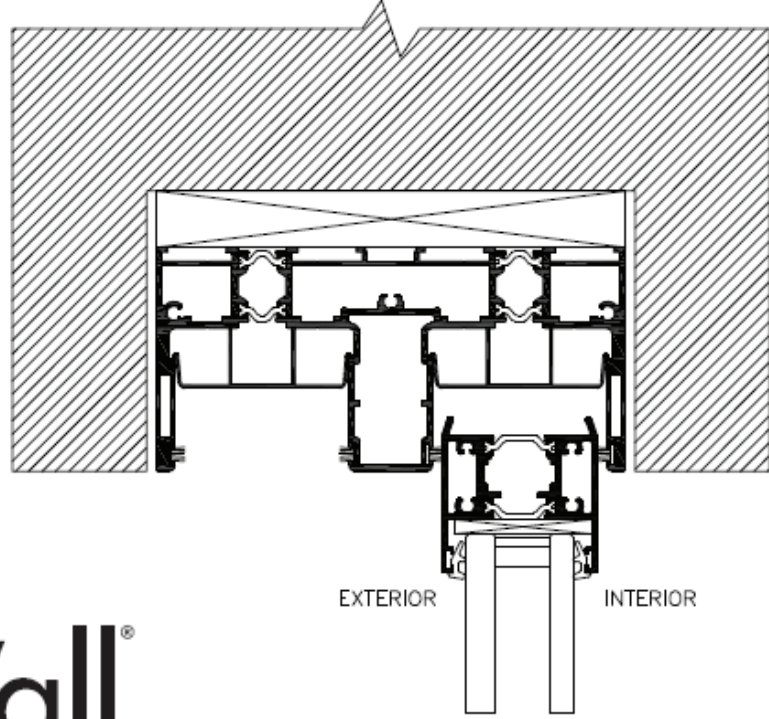
ADAPTIVE REUSE of 410 East 37th ST.
November 4, 2020 – Streetcar District



NEW TRANSPARENT
PANELS /SLIDING DOORS:
MINIMAL FRAMES - BLACK



PANELS AT PORTE COCHERE



EXTERIOR INTERIOR

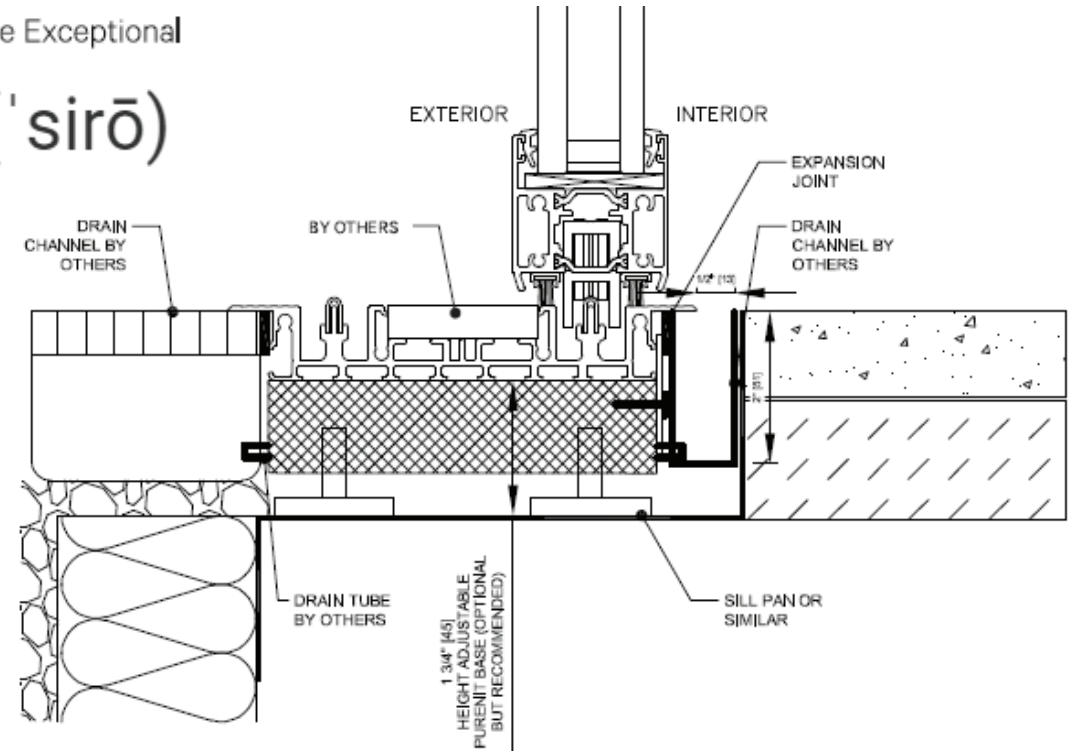
NanaWall®

Engineering the Exceptional

ce•ro ('sirō)

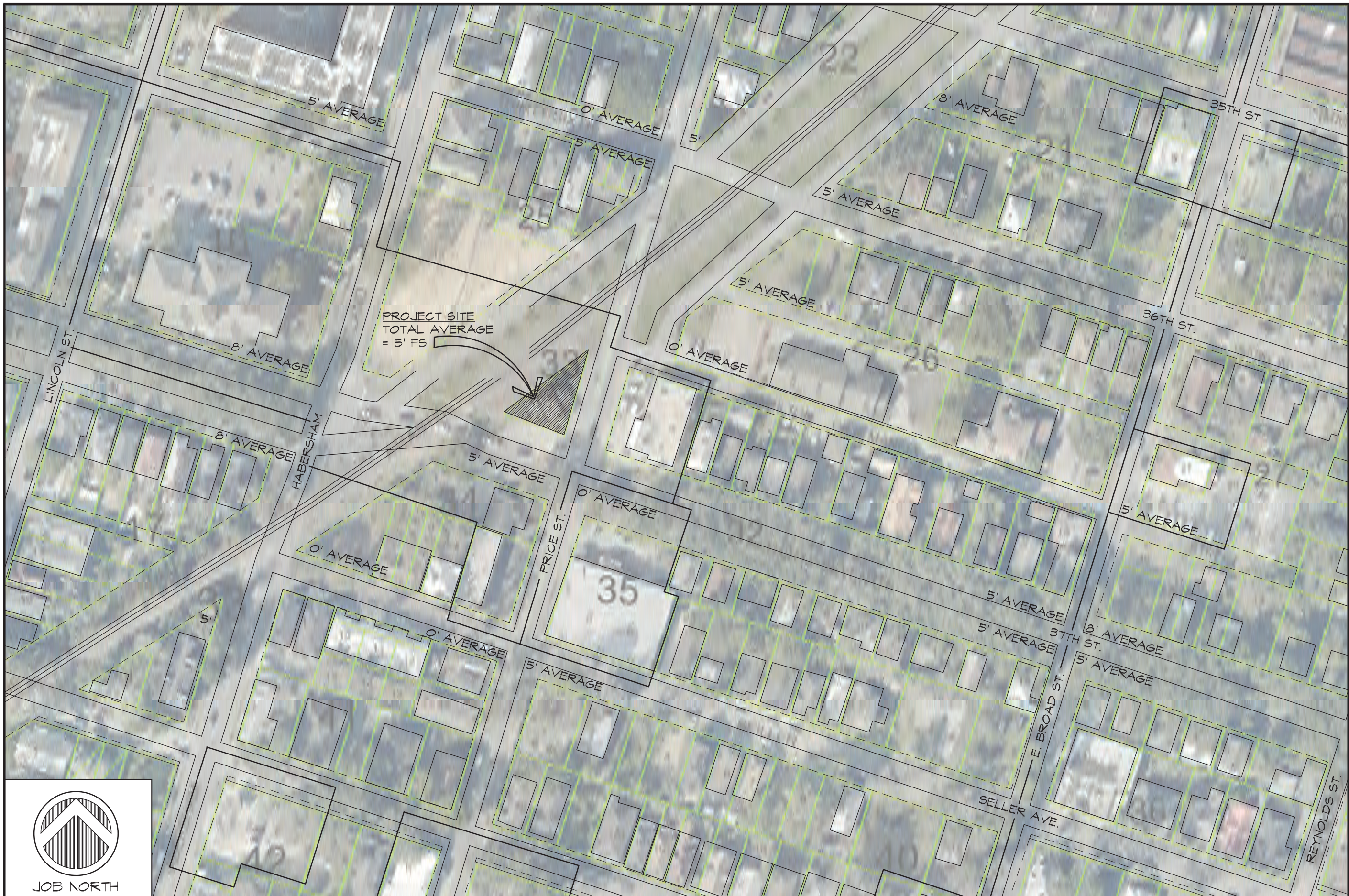


CORNER WINDOWS
AT ADDITION



ADAPTIVE REUSE of 410 East 37th ST.
November 4, 2020 – Streetcar District

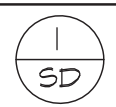




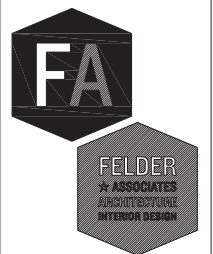
PROJECT SITE
TOTAL AVERAGE
= 5' FS



JOB NORTH



PROPERTY SETBACK DIAGRAM
SCALE: 1"=100'



2514 ABERCORN ST.
SUITE 120
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(912) 777-3979

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AN ADAPTIVE RE-USE FOR
MILLER RESIDENCE
410 EAST 37TH STREET
SAVANNAH GEORGIA, 31401

REVISIONS

SUPPLEMENTAL
DRAWING

ISSUED FOR REVIEW
10.26.20

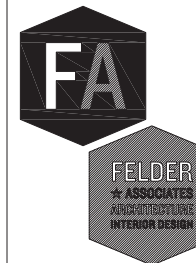
JOB NO: 19.037
ISSUE DATE: 10.26.20
DRAWN: AJ

SD1

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UNLESS PRINTED FULL SIZE ON 24x36 SHEETS

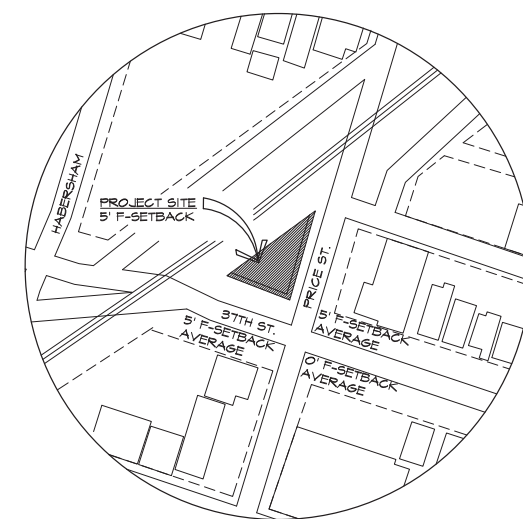
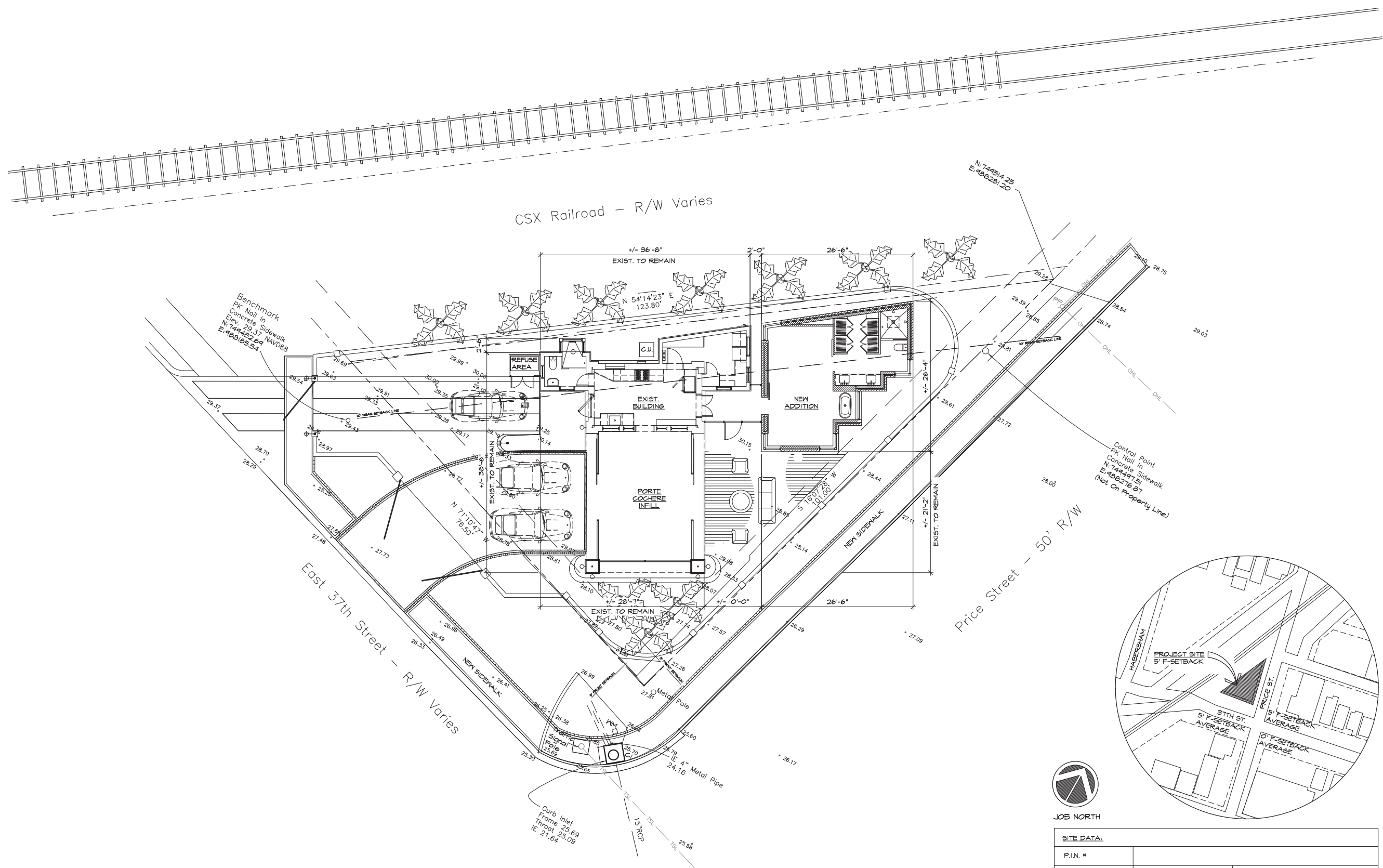
ADAPTIVE REUSE of 410 East 37th ST.
November 4, 2020 – Streetcar District





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SUITE 120
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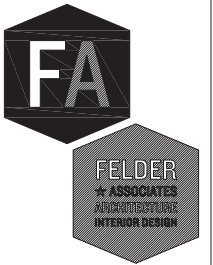


SITE DATA:	
P.I.N. #	
SITE	9,854 S.F. .084 ACRES
FOOTPRINT(S)	422 SF (EXIST.) + 504 SF (EXIST. PORTE COCHERE) + 544 SF (NEW) = 1,470 SF TOTAL
LOT COVERAGE	11% (EXIST.) + 19% (EXIST. PORTE COCHERE) + 16% (NEW) = 46% TOTAL LOT COVERAGE
SOIL TYPE	UNKNOWN

AN ADAPTIVE RE-USE OF
MILLER RESIDENCE
410 EAST 37TH STREET
SAVANNAH GEORGIA, 31401

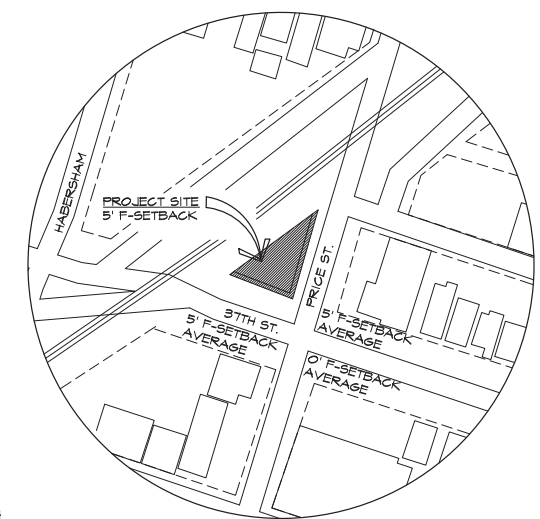
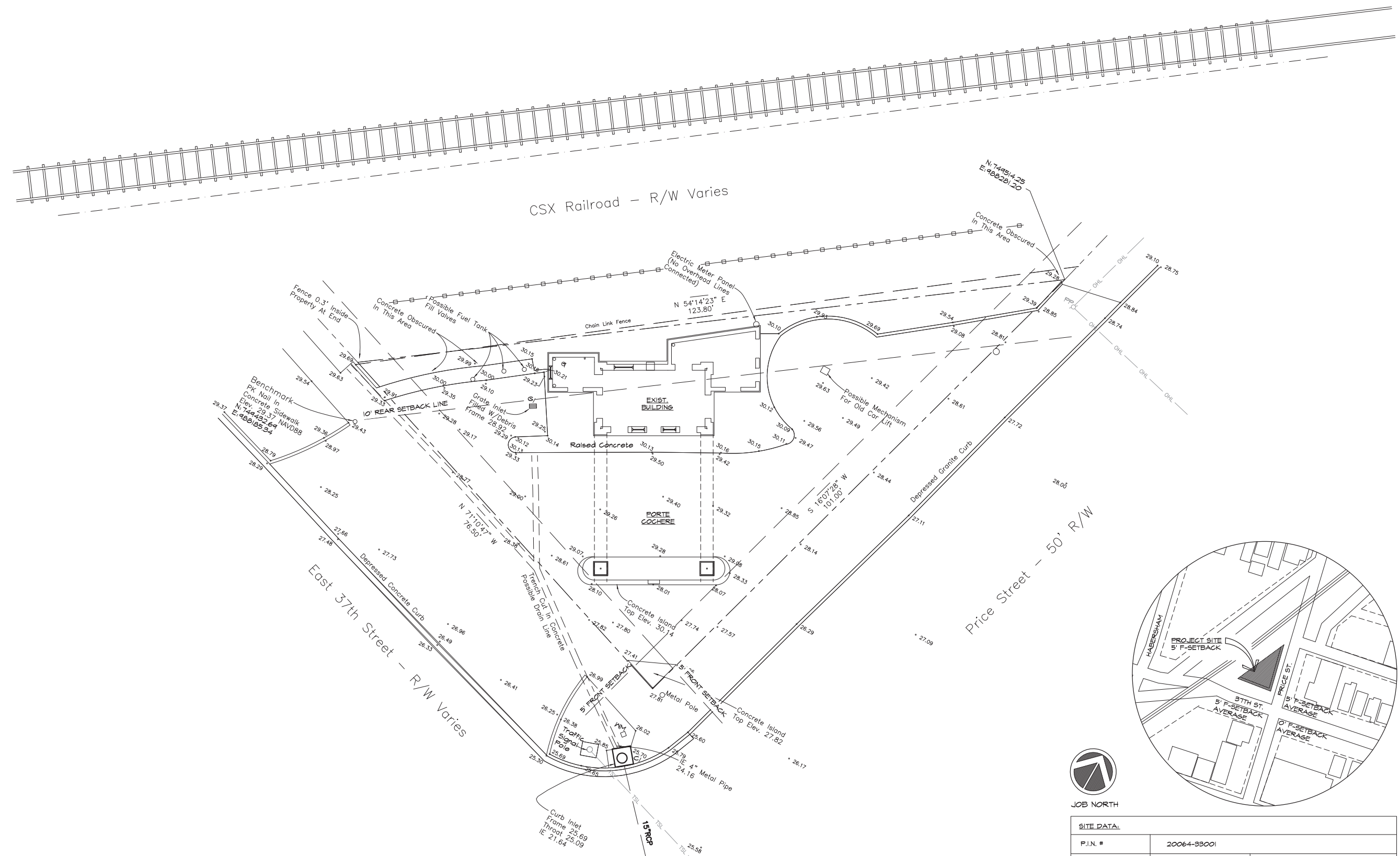
PROPOSED
ARCHITECTURAL SITE
PLAN

ISSUED FOR REVIEW
11.04.20
JOB NO: 19.037
ISSUE DATE: 11.04.20
DRAWN: G



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SUITE 120
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JOB NORTH

SITE DATA:	
P.I.N. #	20064-33001
SITE	3,854 S.F. 0.09 ACRES
FOOTPRINT(S)	422 SF (EXIST.) + 504 SF (EXIST. PORTE COCHERE) = 926 SF TOTAL
LOT COVERAGE	11% (EXIST.) + 13% (EXIST. PORTE COCHERE) = 23% TOTAL LOT COVERAGE
SOIL TYPE	UNKNOWN

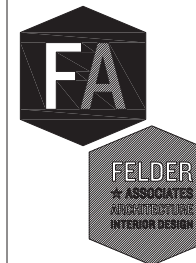
AN ADAPTIVE RE-USE OF
MILLER RESIDENCE
410 EAST 37TH STREET
SAVANNAH GEORGIA, 31401

REVISIONS

EXISTING
ARCHITECTURAL SITE
PLAN

ISSUED FOR REVIEW
11.04.20

JOB NO: 19.037
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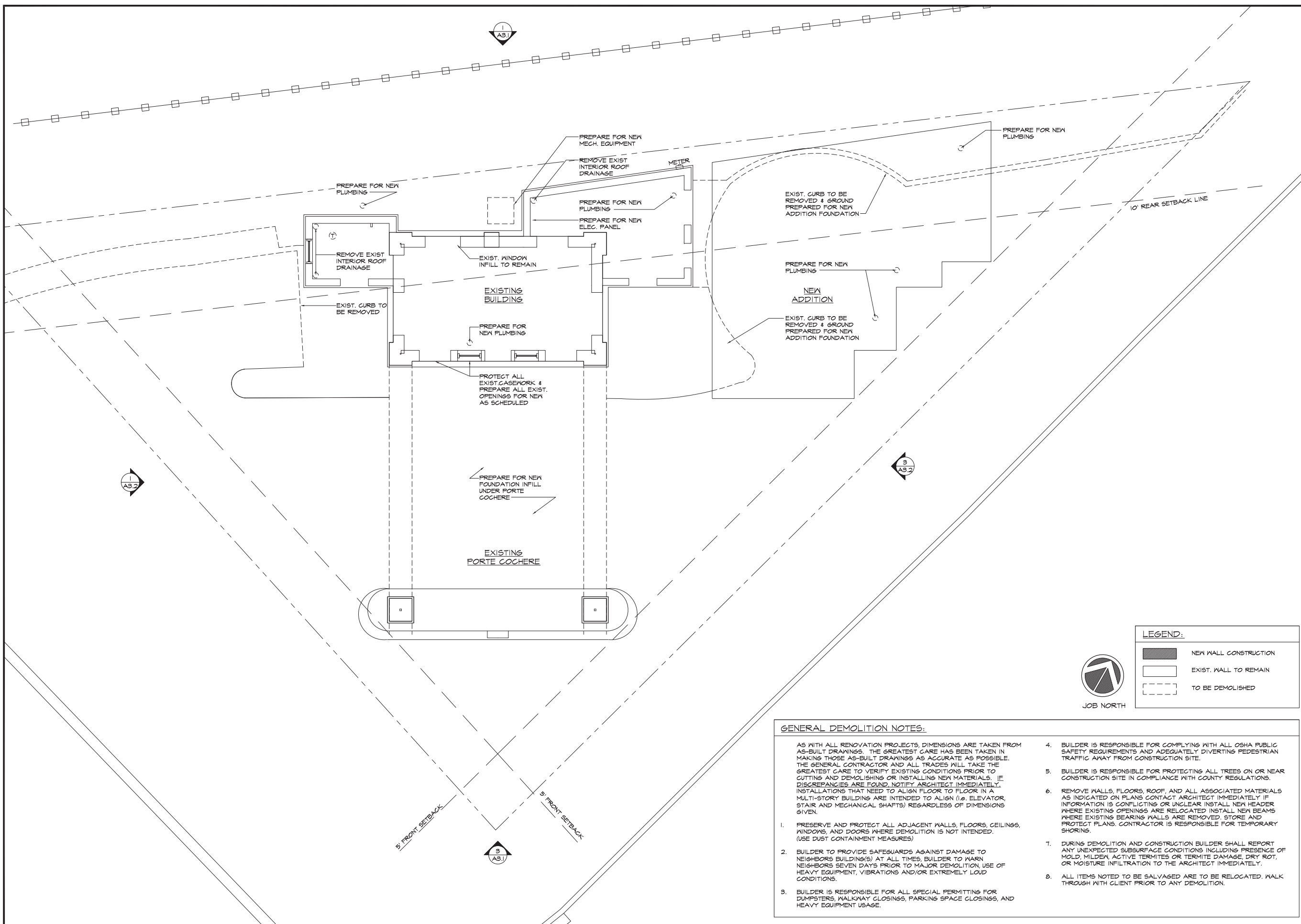
AN ADAPTIVE RE-USE OF
MILLER RESIDENCE
410 EAST 37TH STREET
SAVANNAH GEORGIA, 31401

REVISIONS
DEMOLITION PLAN

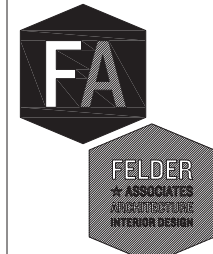
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JOB NO: 19.037
ISSUE DATE: 11.04.20
DRAWN: G

D1.1



- GENERAL DEMOLITION NOTES:**
- AS WITH ALL RENOVATION PROJECTS, DIMENSIONS ARE TAKEN FROM AS-BUILT DRAWINGS. THE GREATEST CARE HAS BEEN TAKEN IN MAKING THOSE AS-BUILT DRAWINGS AS ACCURATE AS POSSIBLE. THE GENERAL CONTRACTOR AND ALL TRADES WILL TAKE THE GREATEST CARE TO VERIFY EXISTING CONDITIONS PRIOR TO CUTTING AND DEMOLISHING OR INSTALLING NEW MATERIALS. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY. INSTALLATIONS THAT NEED TO ALIGN FLOOR TO FLOOR IN A MULTI-STORY BUILDING ARE INTENDED TO ALIGN (i.e. ELEVATOR, STAIR AND MECHANICAL SHAFTS) REGARDLESS OF DIMENSIONS GIVEN.
 - PRESERVE AND PROTECT ALL ADJACENT WALLS, FLOORS, CEILINGS, WINDOWS, AND DOORS WHERE DEMOLITION IS NOT INTENDED. (USE DUST CONTAINMENT MEASURES)
 - BUILDER TO PROVIDE SAFEGUARDS AGAINST DAMAGE TO NEIGHBORS BUILDING(S) AT ALL TIMES, BUILDER TO WARN NEIGHBORS SEVEN DAYS PRIOR TO MAJOR DEMOLITION, USE OF HEAVY EQUIPMENT, VIBRATIONS AND/OR EXTREMELY LOUD CONDITIONS.
 - BUILDER IS RESPONSIBLE FOR ALL SPECIAL PERMITTING FOR DUMPSTERS, WALKWAY CLOSINGS, PARKING SPACE CLOSINGS, AND HEAVY EQUIPMENT USAGE.
 - BUILDER IS RESPONSIBLE FOR COMPLYING WITH ALL OSHA PUBLIC SAFETY REQUIREMENTS AND ADEQUATELY DIVERTING PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION SITE.
 - BUILDER IS RESPONSIBLE FOR PROTECTING ALL TREES ON OR NEAR CONSTRUCTION SITE IN COMPLIANCE WITH COUNTY REGULATIONS.
 - REMOVE WALLS, FLOORS, ROOF, AND ALL ASSOCIATED MATERIALS AS INDICATED ON PLANS CONTACT ARCHITECT IMMEDIATELY IF INFORMATION IS CONFLICTING OR UNCLEAR. INSTALL NEW BEAMS WHERE EXISTING OPENINGS ARE RELOCATED. INSTALL NEW HEADERS WHERE EXISTING BEARING WALLS ARE REMOVED. STORE AND PROTECT PLANS. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING.
 - DURING DEMOLITION AND CONSTRUCTION BUILDER SHALL REPORT ANY UNEXPECTED SUBSURFACE CONDITIONS INCLUDING PRESENCE OF MOLD, MILDEW, ACTIVE TERMITES OR TERMITE DAMAGE, DRY ROT, OR MOISTURE INFILTRATION TO THE ARCHITECT IMMEDIATELY.
 - ALL ITEMS NOTED TO BE SALVAGED ARE TO BE RELOCATED. WALK THROUGH WITH CLIENT PRIOR TO ANY DEMOLITION.



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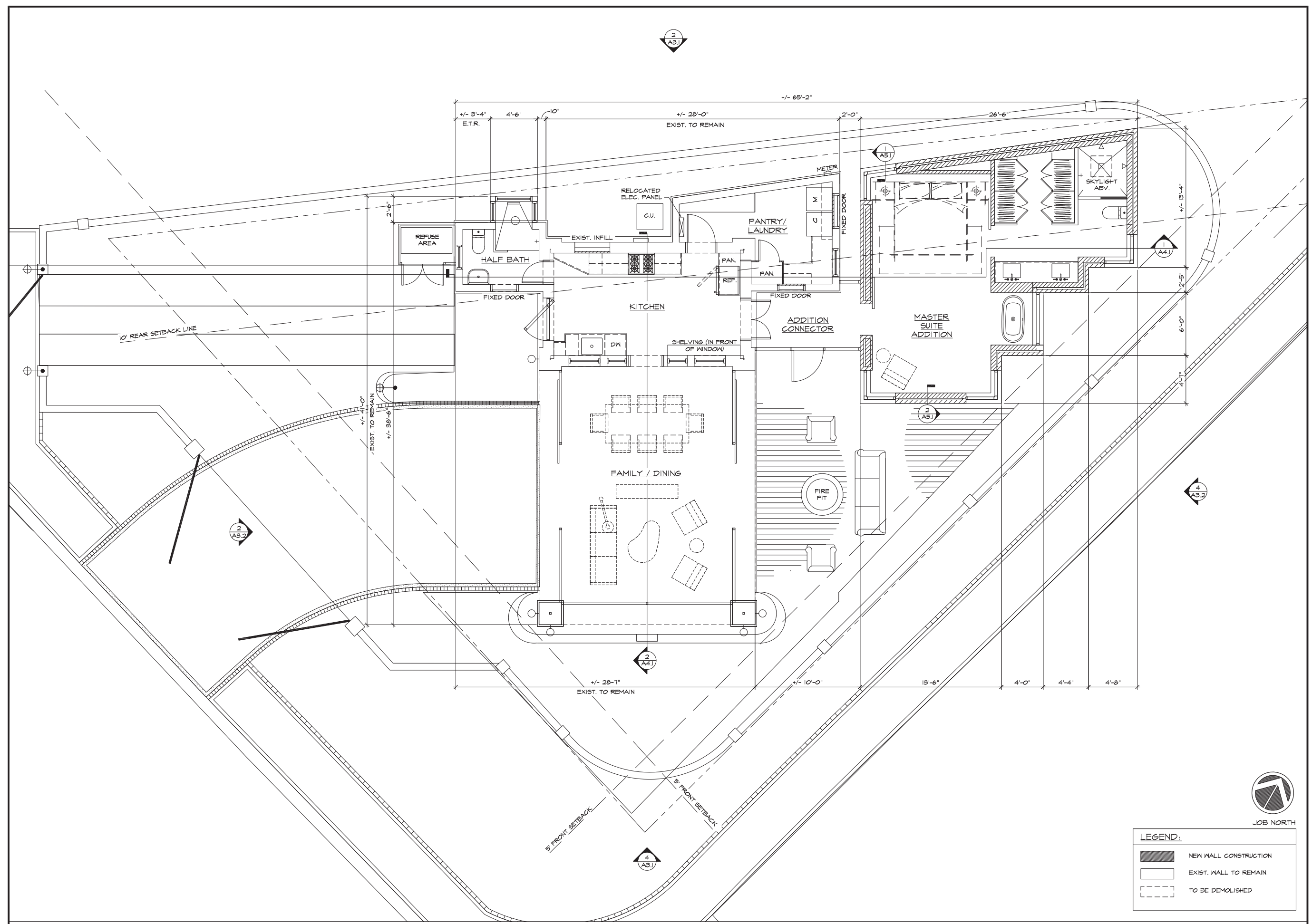
AN ADAPTIVE RE-USE OF
MILLER RESIDENCE
410 EAST 37TH STREET
SAVANNAH GEORGIA, 31401

REVISIONS	PROPOSED PLAN

ISSUED FOR REVIEW
11.04.20

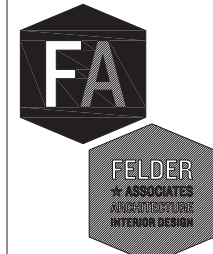
JOB NO: 19.037
ISSUE DATE: 11.04.20
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A1.1



FLOOR PLAN
SCALE: 1/4"=1'-0"





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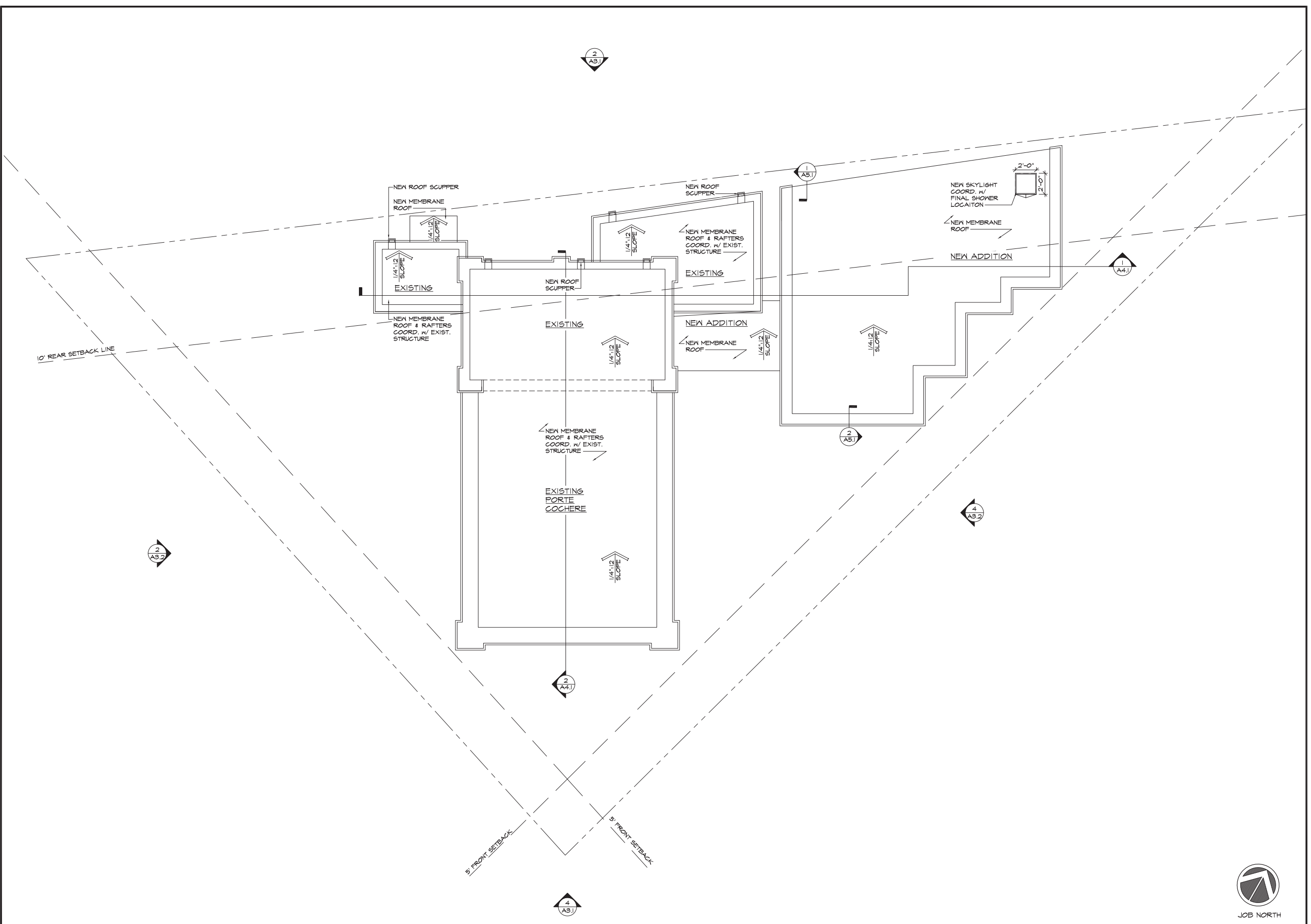
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MILLER RESIDENCE
410 EAST 37TH STREET
SAVANNAH GEORGIA, 31401

REVISIONS

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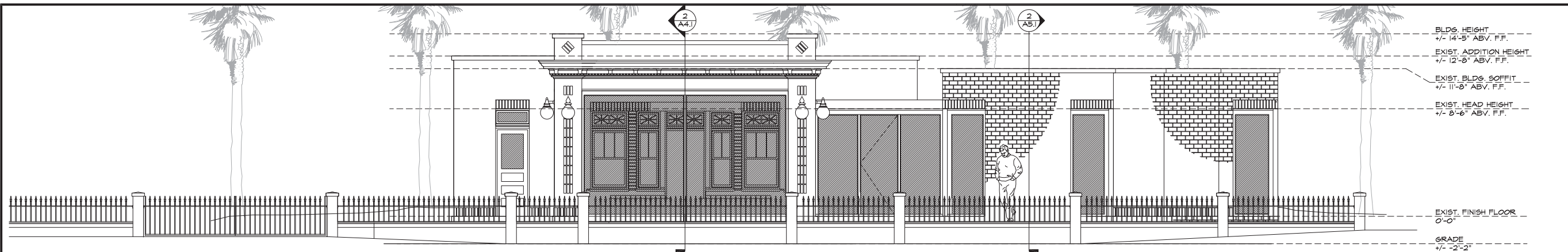
A1.2



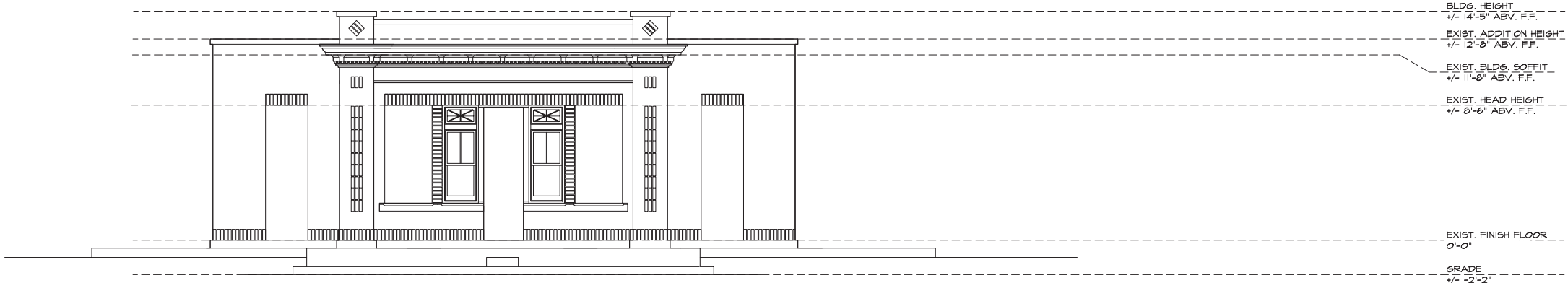
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A1.2
ROOF PLAN
SCALE: 1/4"=1'-0"



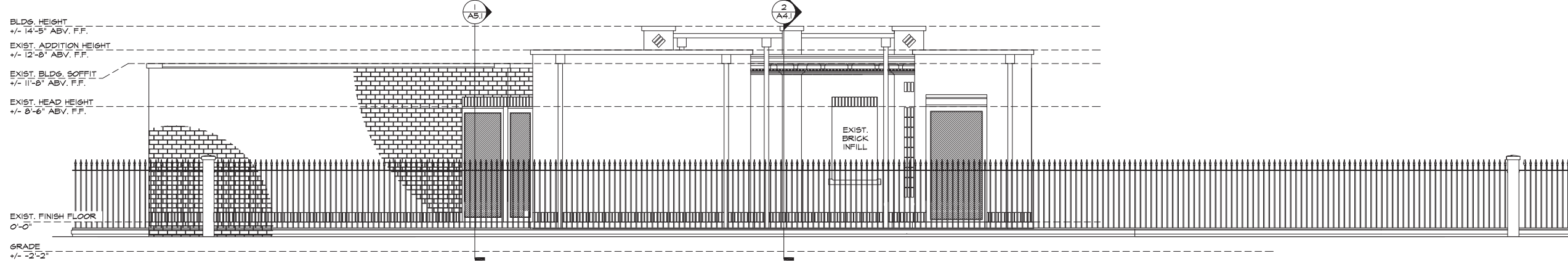
JOB NORTH



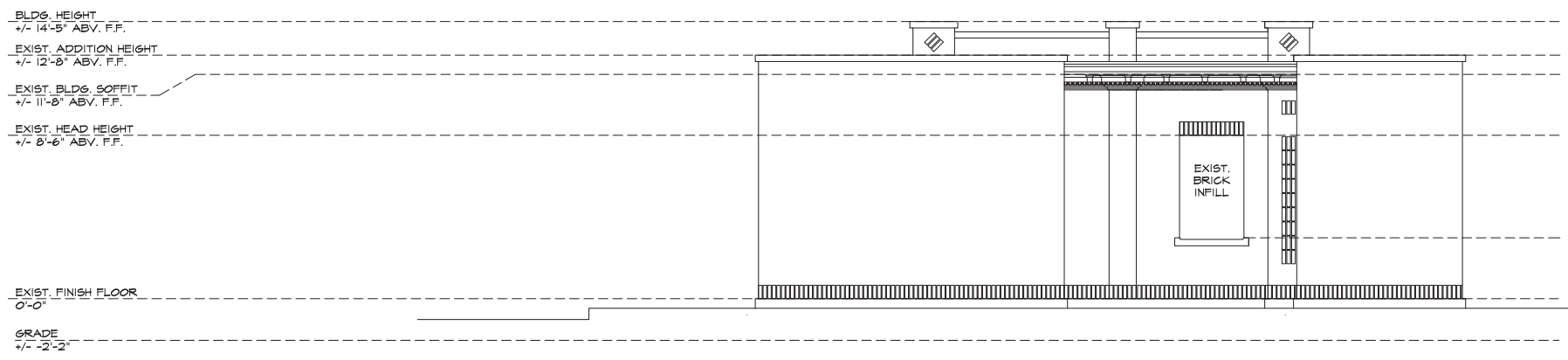
4 EAST ELEVATION (PROPOSED)
SCALE: 1/4"=1'-0"



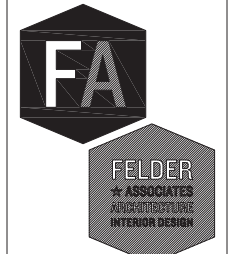
3 EAST ELEVATION (EXISTING)
SCALE: 1/4"=1'-0"



2 WEST ELEVATION (PROPOSED)
SCALE: 1/4"=1'-0"



1 WEST ELEVATION (EXISTING)
SCALE: 1/4"=1'-0"



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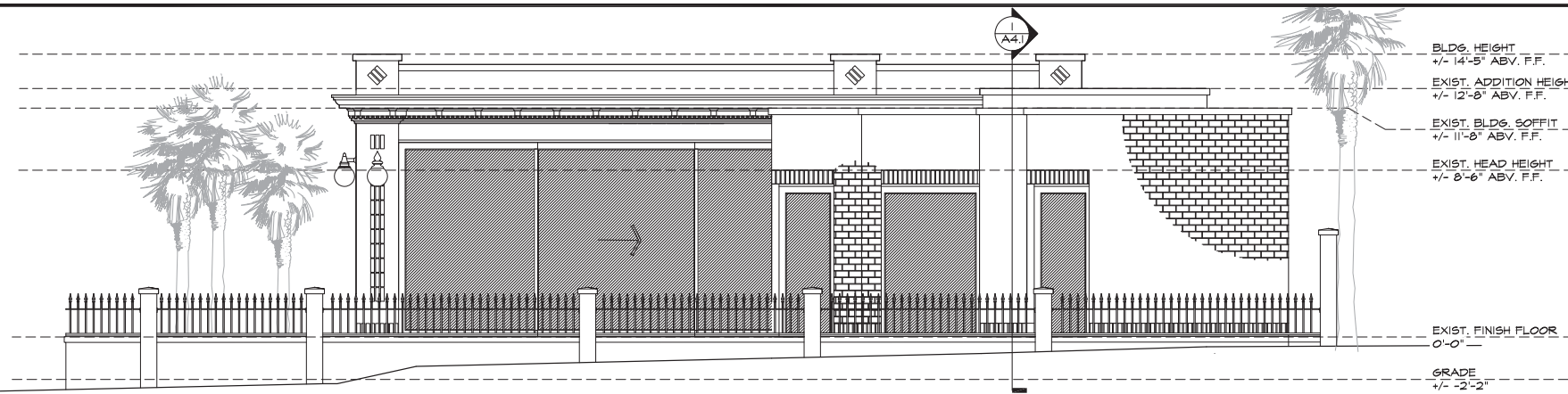
AN ADAPTIVE RE-USE OF
MILLER RESIDENCE
410 EAST 37TH STREET
SAVANNAH GEORGIA, 31401

PROPOSED / EXISTING
ELEVATIONS

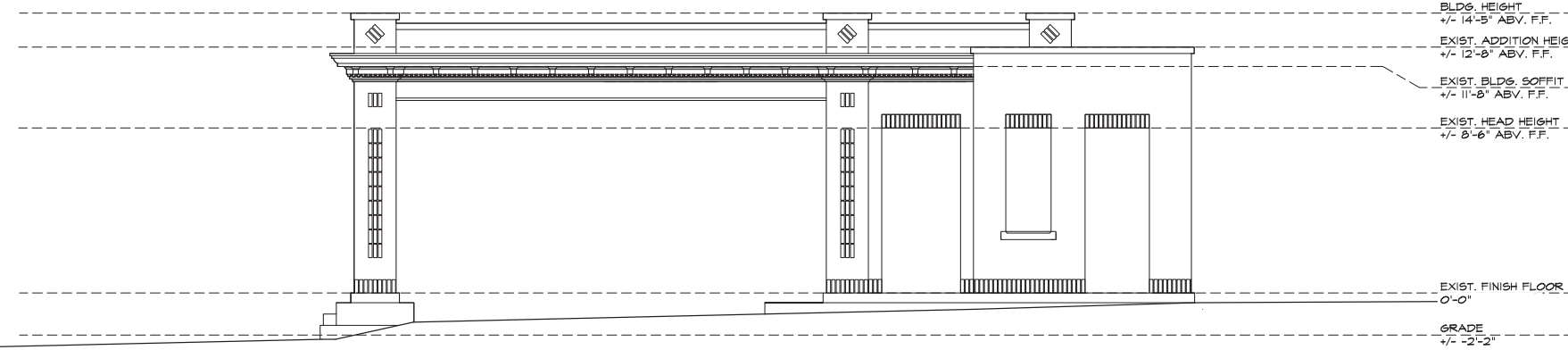
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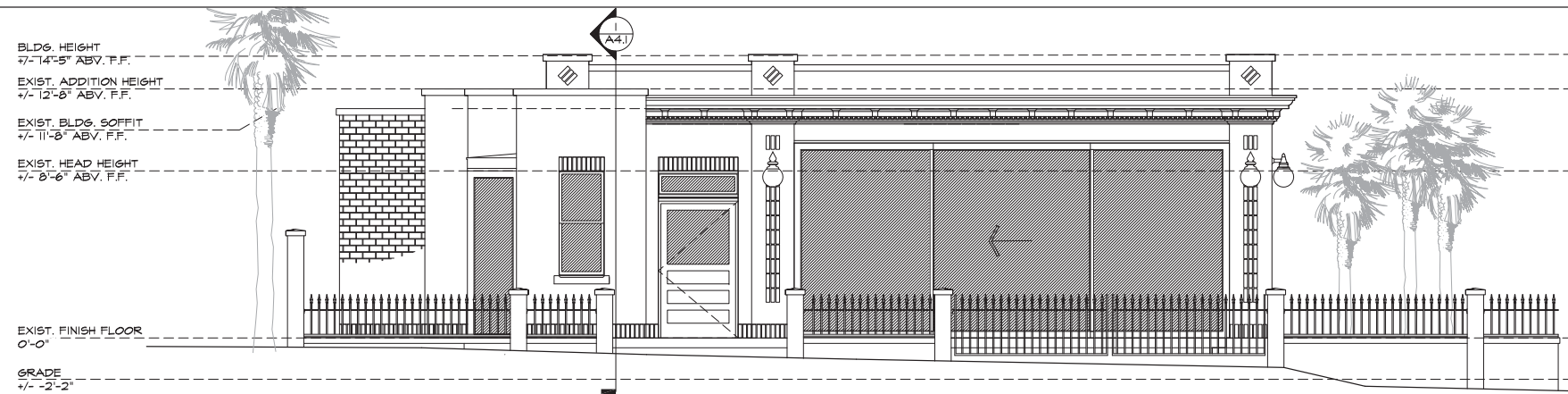
A3.1



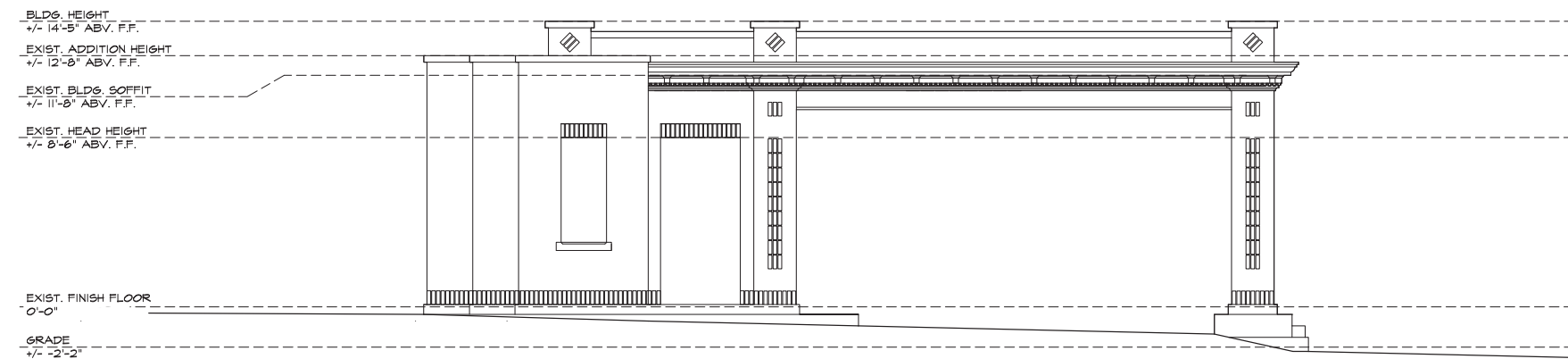
4 NORTH ELEVATION (PROPOSED)
SCALE: 1/4"=1'-0"



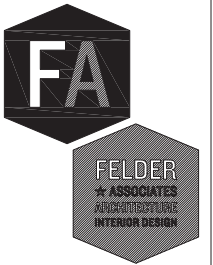
3 NORTH ELEVATION (EXISTING)
SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION (PROPOSED)
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION (EXISTING)
SCALE: 1/4"=1'-0"



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(912) 777-3979

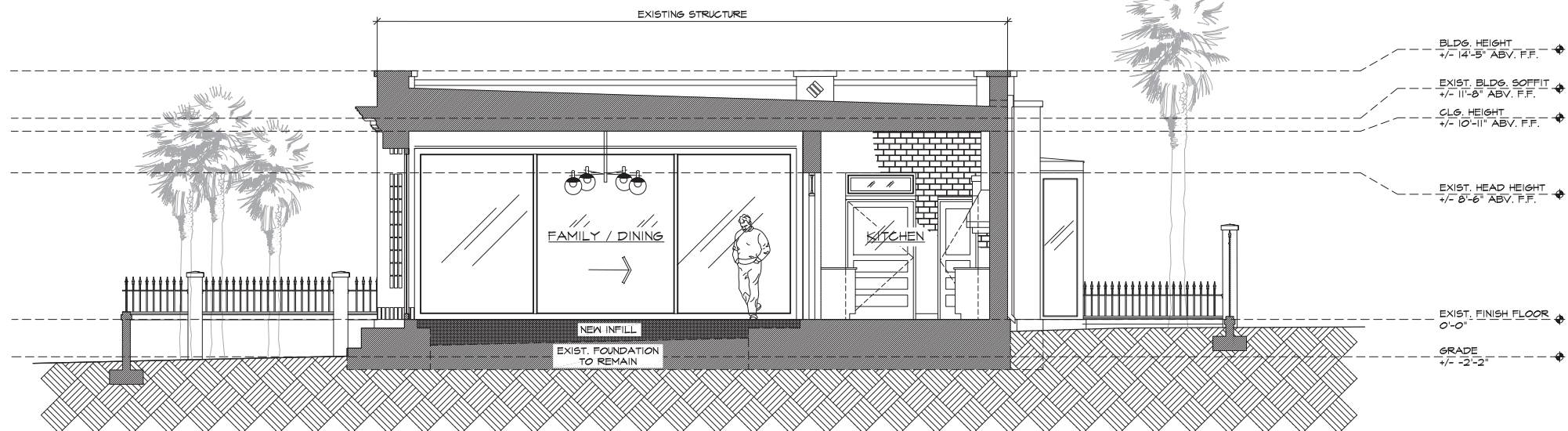
1. The drawings are the property of FELDER & ASSOCIATES, LLC and shall not be reproduced or copied in whole or in part without the prior written consent of FELDER & ASSOCIATES, LLC. All dimensions are in feet and inches unless otherwise noted.
2. Scale on related items may vary on the original drawing and shall not be used as a reference for dimensions unless otherwise noted.
3. Do not scale dimensions from plans. Revised details are not shown to scale. Use dimensions given or consult the architect for further clarification.

AN ADAPTIVE RE-USE OF
MILLER RESIDENCE
410 EAST 37TH STREET
SAVANNAH GEORGIA, 31401

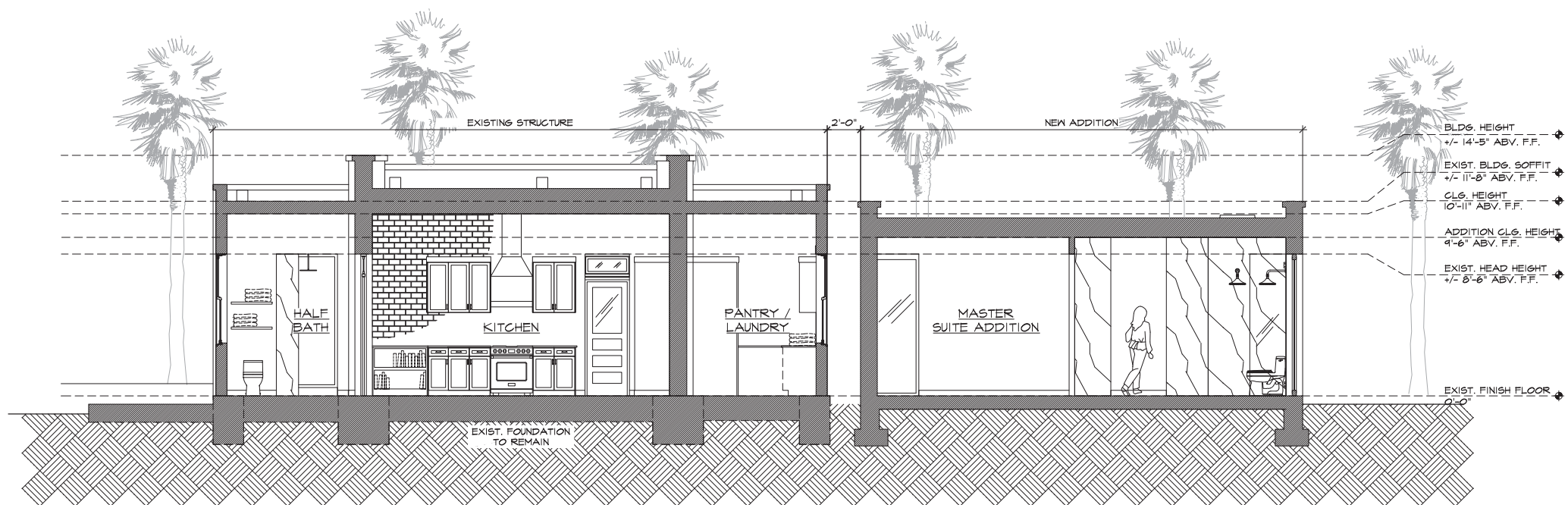
REVISIONS
PROPOSED / EXISTING
ELEVATIONS

ISSUED FOR REVIEW
11.04.20
JOB NO: 19.037
ISSUE DATE: 11.04.20
DRAWN: G

A3.2



2 TRANSVERSE BUILDING SECTION
SCALE: 1/4"=1'-0"



1 LONGITUDINAL BUILDING SECTION
SCALE: 1/4"=1'-0"

AN ADAPTIVE RE-USE OF
MILLER RESIDENCE
410 EAST 37TH STREET
SAVANNAH GEORGIA, 31401

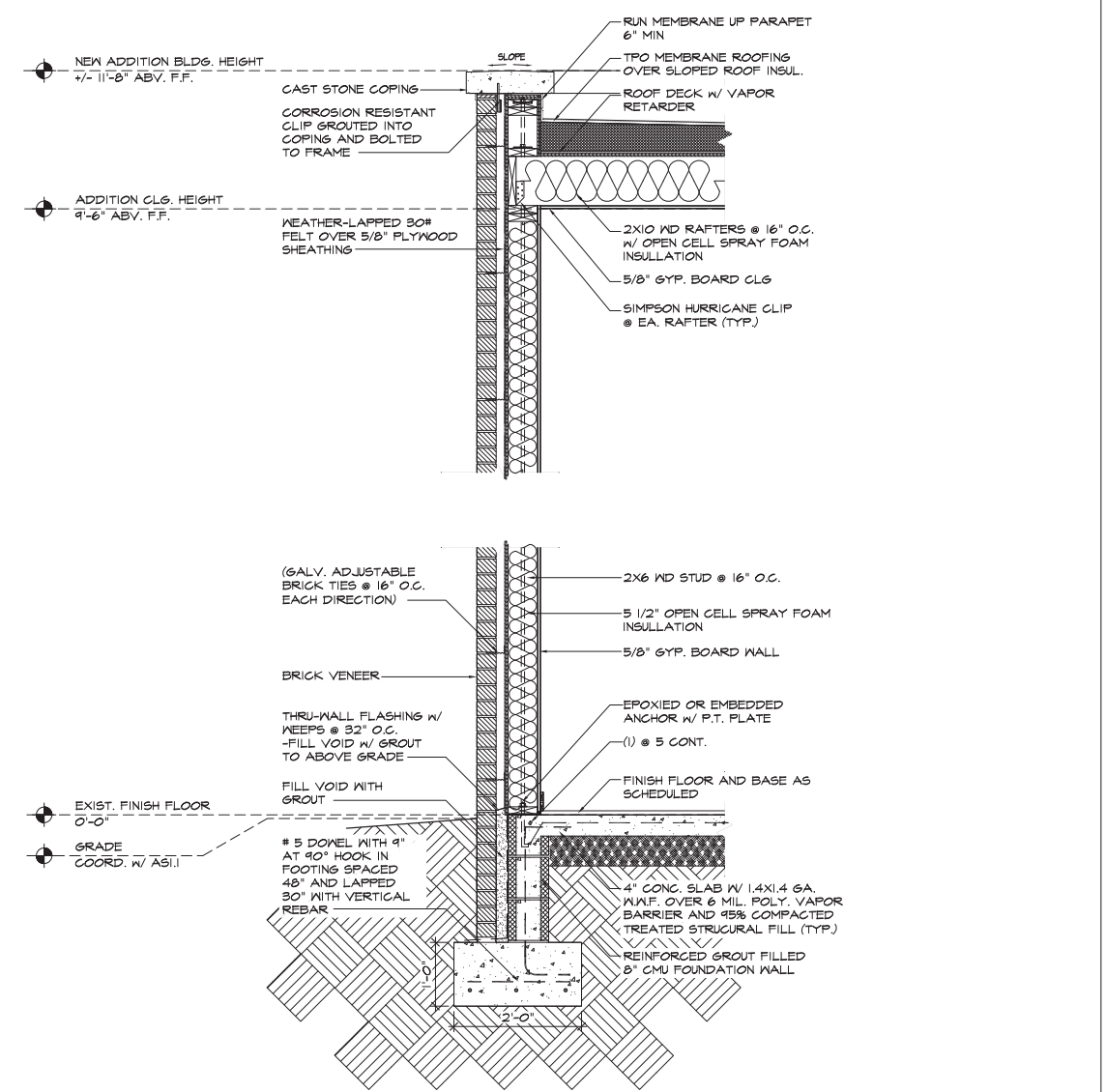
REVISIONS	BUILDING SECTIONS

ISSUED FOR REVIEW
11.04.20

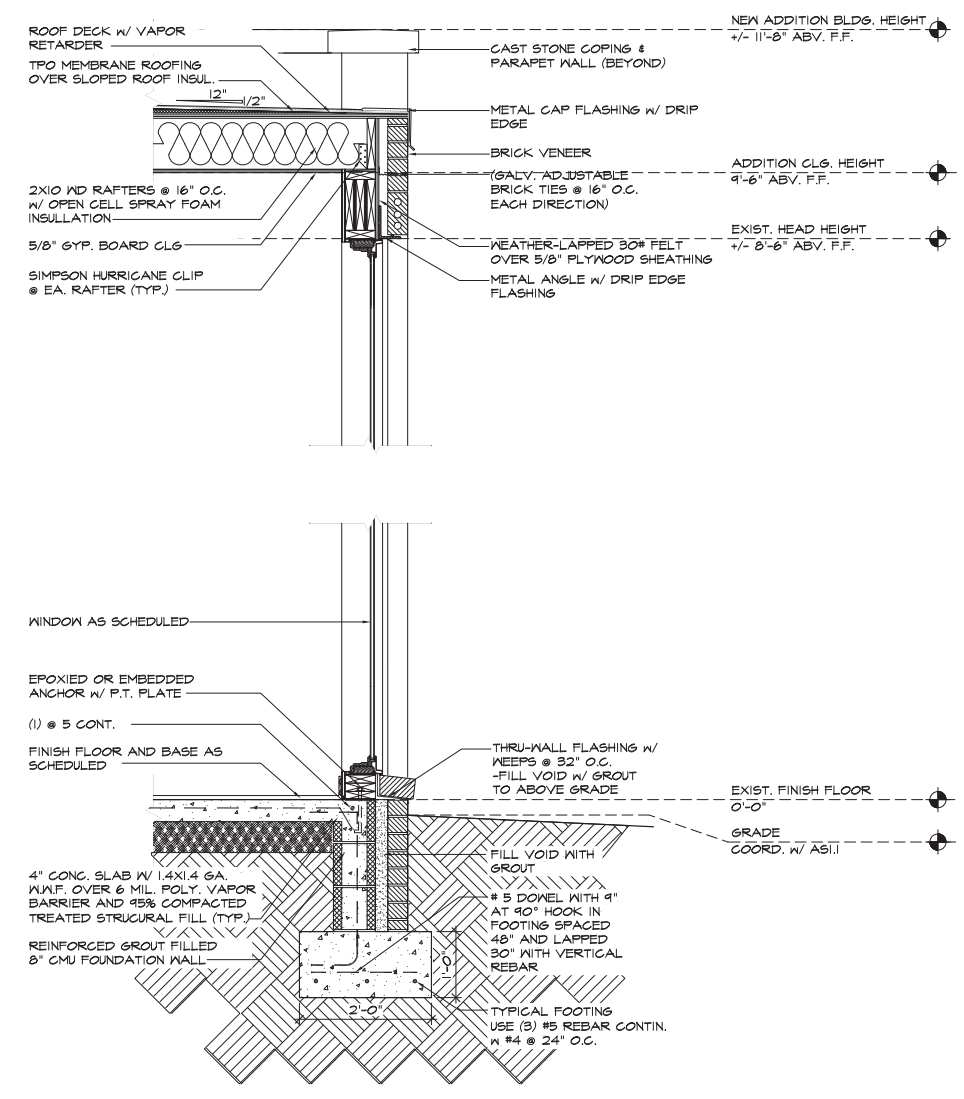
JOB NO: 19.037
ISSUE DATE: 11.04.20
DRAWN: AJ



3 LINE OF SIGHT DIAGRAM
SCALE: 1/4"=1'-0"



2 TYP. WALL SECTION @ NEW ADDITION
SCALE: 3/4"=1'-0"



1 TYP. WALL SECTION @ NEW ADDITION
SCALE: 3/4"=1'-0"

AN ADAPTIVE RE-USE OF
MILLER RESIDENCE
410 EAST 37TH STREET
SAVANNAH GEORGIA, 31401

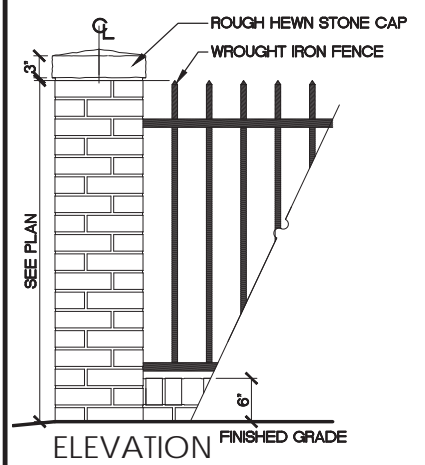
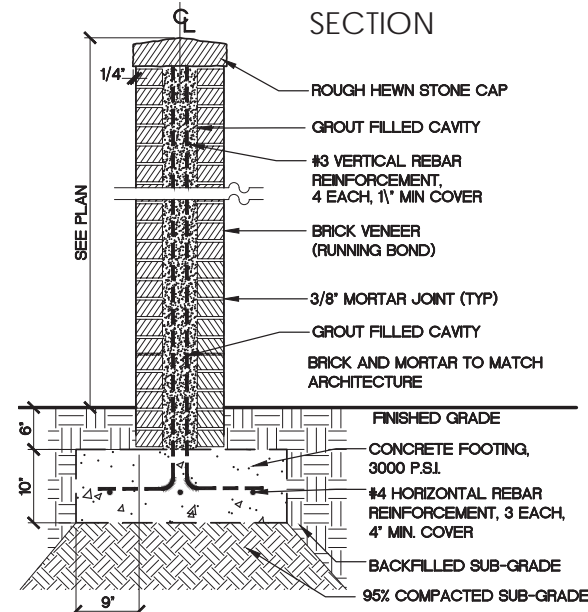
TYP. WALL SECTIONS /
MISC. DETAILS

ISSUED FOR REVIEW
11.04.20

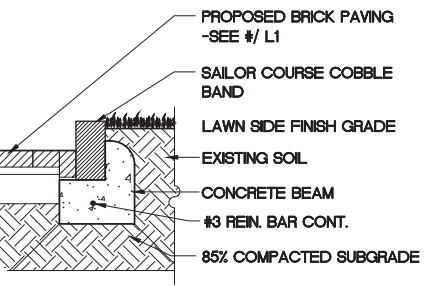
JOB NO: 19.037
ISSUE DATE: 11.04.20
DRAWN: AJ

A5.1

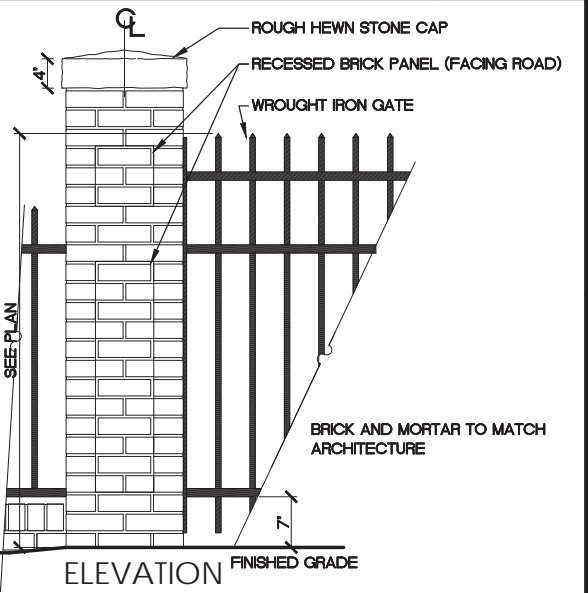
1 FENCE ELEVATION LOOKING NORTH
SCALE: 1/4"=1'-0"



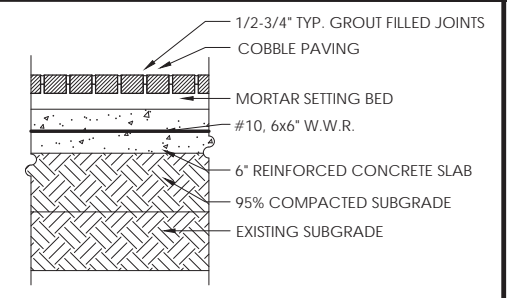
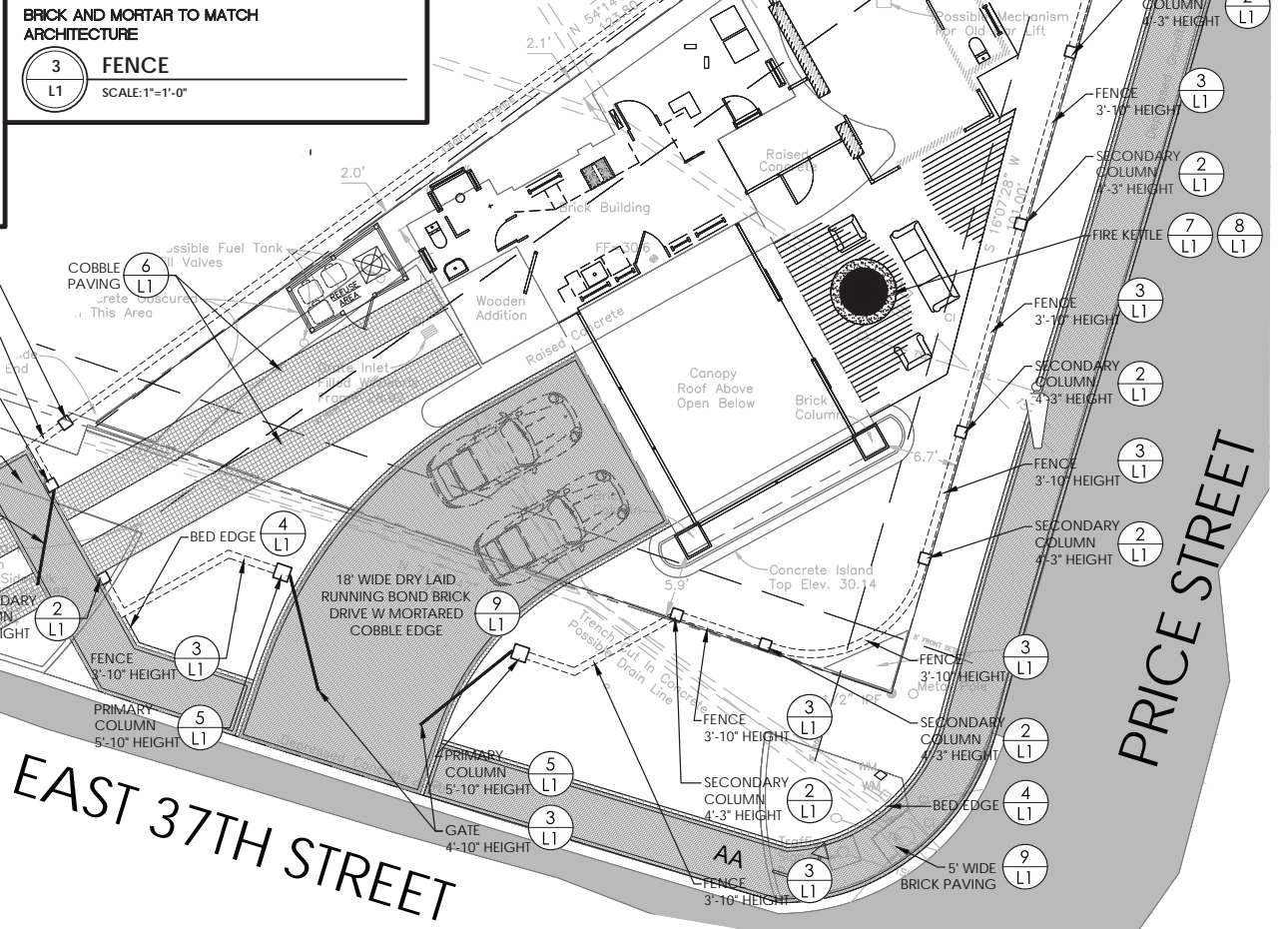
2 SECONDARY COLUMN
SCALE: 1"=1'-0"



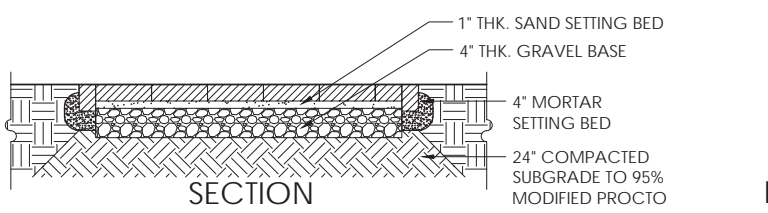
4 BED EDGE
SCALE: 1"=1'-0"



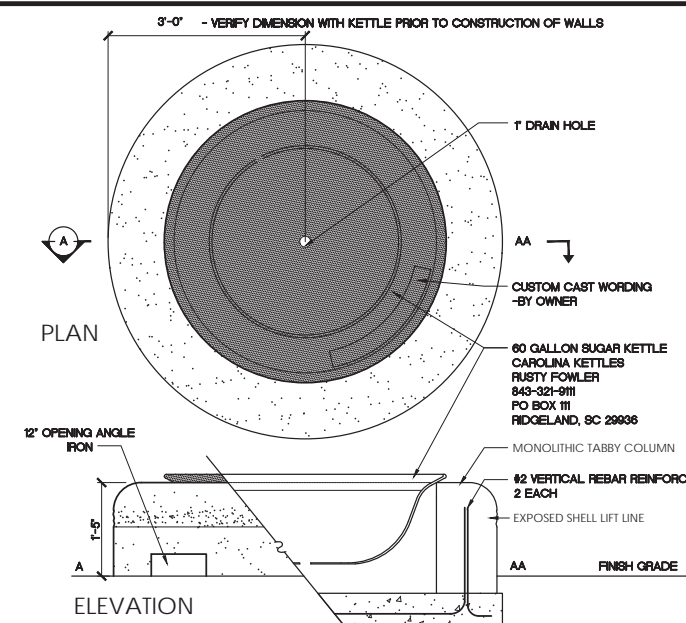
5 PRIMARY COLUMN W GATE
SCALE: 1"=1'-0"



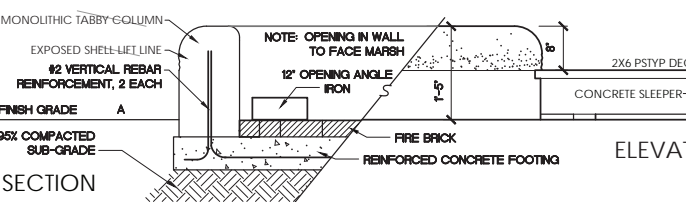
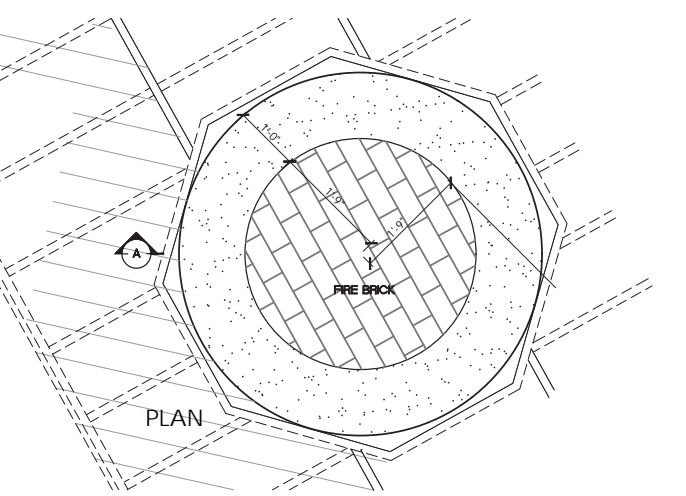
6 COBBLE PAVING
SCALE: 1"=1'-0"



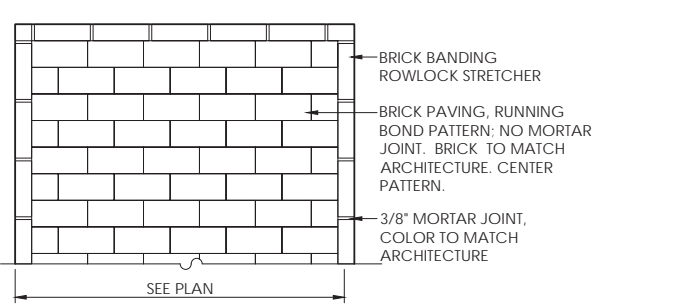
9 BRICK PAVING
SCALE: 1"=1'-0"



7 FIRE KETTLE 1
SCALE: 1"=1'-0"



8 FIRE KETTLE 2
SCALE: 1"=1'-0"



NOTE:
1. AFTER PLACING PAVERS, COMPACT WITH VIBRATORY PLATE COMPACTOR AND WET ENTIRE SURFACE. LET STAND OVERNIGHT. SWEEP JOINTS WITH MASONRY SAND.

Miller Residence
410 East 37th Street
Savannah, GA
T.M.S. #20064 33001

Alan Glasberg, LLC.
LANDSCAPE ARCHITECTURE / SITE PLANNING / URBAN DESIGN
PO BOX 315
RIDGELAND, SC 29936
843.726.4880

LANDSCAPE

DATE: November 4, 2020
REVISIONS:

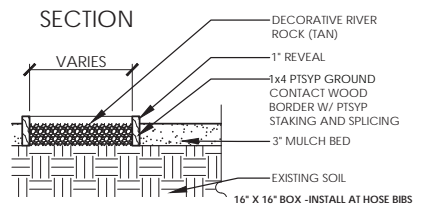
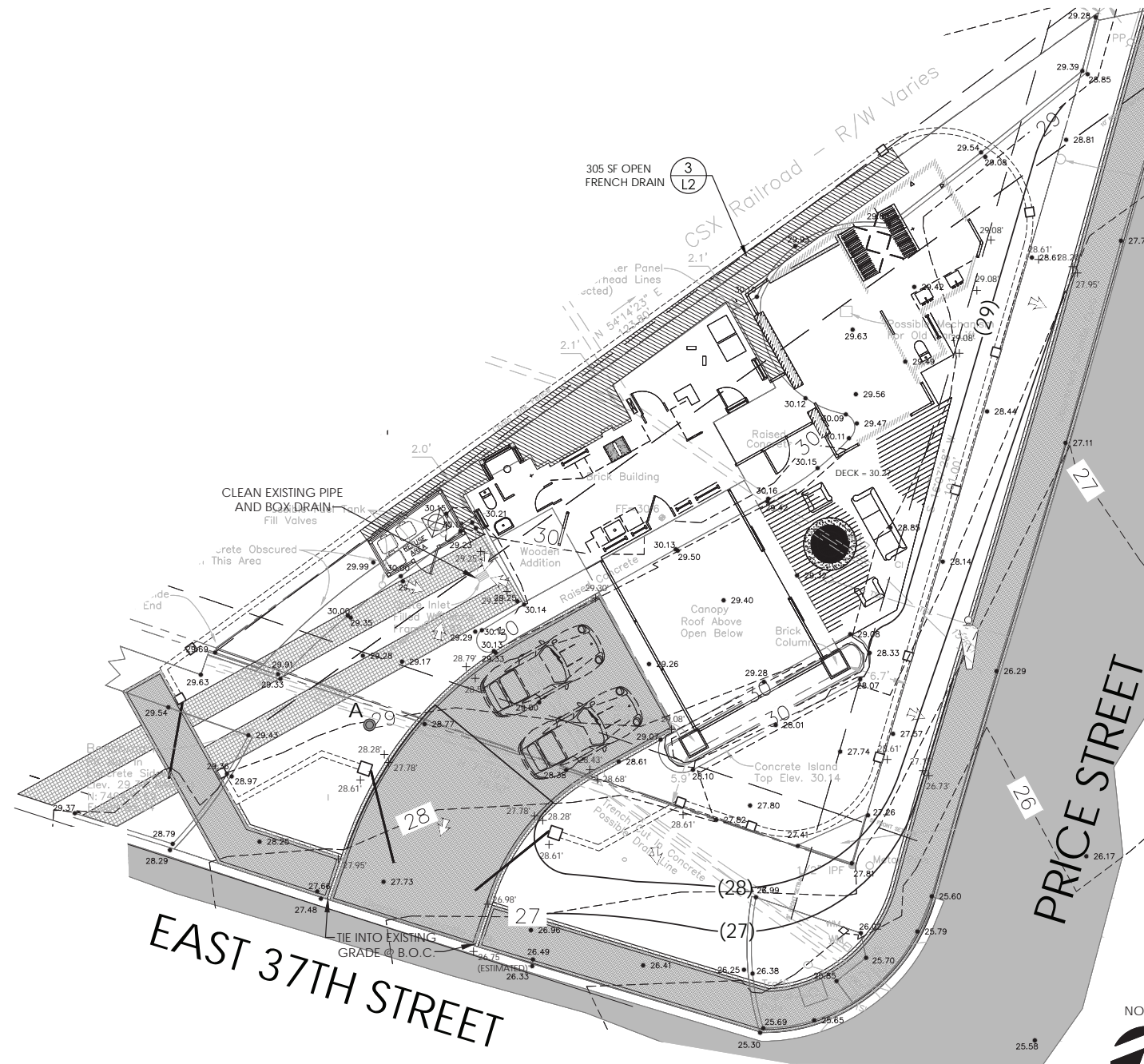
SHEET
L1

GENERAL CONSTRUCTION NOTES:

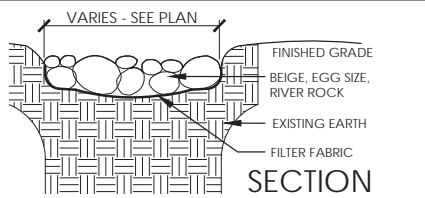
- BASE DATA AND SURVEY INFORMATION UPON WHICH THIS PLAN IS BASED HAS BEEN PROVIDED BY OTHERS. ALAN GLASSBERG, LLC. ASSUMES NO LIABILITY FOR ITS ACCURACY OR COMPLETENESS. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PERTINENT INFORMATION.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE COST OF REPAIRING ANY EXISTING UTILITIES DAMAGED DURING HIS WORK.
- CONTRACTOR WILL RESTORE TO ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, ANY AREA DISTURBED OUTSIDE THE LIMIT OF WORK. CONTRACTOR WILL REPAIR ANY DAMAGES OUTSIDE THE LIMIT OF WORK RESULTING FROM HIS WORK, AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR WILL NOT DAMAGE ANY EXISTING TREES AND SHRUBS TO REMAIN INCLUDING THE SCARRING AND SCRAPING OF TRUNKS OR LIMBS; THE BREAKING OF TRUNKS AND LIMBS; SPILLING OF FUEL, OIL OR OTHER CHEMICALS; THE COMPACTION OF ROOT ZONES AND BURNING FROM ENGINE EXHAUSTS. APPROVED TREE PROTECTION FENCING SHALL BE ERCTED AROUND SIGNIFICANT TREES, AND AS DETERMINED BY THE LANDSCAPE ARCHITECT, WITHIN THE LIMITS OF WORK.
- CONTRACTOR WILL BE RESPONSIBLE FOR VISITING THE SITE DURING HIS BID PREPARATION AND FULLY FAMILIARIZE THEMSELVES WITH ALL ASPECTS OF THE SCOPE OF WORK AND CONDITIONS OF THE SITE, INCLUDING BUT NOT LIMITED TO, UTILITIES, GRADING, ACCESS, ETC.
- CONTRACTOR WILL COORDINATE HIS WORK WITH THAT OF OTHER TRADES EMPLOYED BY THE OWNER AND WITH THE OWNER'S OWN FORCES.
- CONTRACTOR SHALL MAINTAIN SITE IN WORKMAN LIKE ORDER. SOIL AND OTHER MATERIALS FROM THIS PROJECT SHALL NOT BE ALLOWED TO MIGRATE INTO OTHER AREAS. ROADWAYS, WALKWAYS AND LANDSCAPING SHALL BE MAINTAINED FREE OF OBSTACLES AND HAZARDS.
- CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL DISPOSE OF ALL WASTE SAFELY AND LEGALLY OFF-SITE.
- CONTRACTOR WILL DESIGNATE AND USE ONE LOCATION WITHIN THE CONTRACT LIMIT OF WORK FOR CONCRETE TRUCK DISPOSAL AND WASHING. ALL WASTE SHALL BE REMOVED AND LEGALLY DISPOSED OF AT COMPLETION OF WORK.
- CONTRACTOR WILL BE RESPONSIBLE FOR SECURITY OF HIS OWN EQUIPMENT AND MATERIALS.
- REFERENCE MADE TO "ARCHITECT" IN DRAWINGS AND SPECIFICATIONS WILL BE DEFINED AS "LANDSCAPE ARCHITECT."
- NO CHANGE TO ANY ASPECT OF THESE CONTRACT DRAWINGS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER/OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- STREETS ADJACENT TO AND DIRECTLY AFFECTED BY CONSTRUCTION TRAFFIC SHALL REMAIN FREE OF SOIL AND SILT, OTHER CONSTRUCTION DEBRIS AND TRASH. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING REASONABLE CLEANLINESS OF SAID STREETS BY WASHING DOWN WITH WATER (WHEN NECESSARY) AND REMOVING ANY OTHER TRASH, WASTE OR CONSTRUCTION DEBRIS, AND DISPOSING OF IT PROPERLY ON A DAILY BASIS.
- NO PERSONAL VEHICLES, CONSTRUCTION EQUIPMENT OR MATERIALS SHALL BE STORED ON ADJACENT SITES WITHOUT PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER.
- CONTRACTOR WILL ADHERE TO THE WEIGHT LIMITS PRESCRIBED ON ALL ROADS FOR HAULING EQUIPMENT AND/OR MATERIALS TO AND FROM THE SITE. CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO THE ROADS AND/OR UTILITIES DUE TO FAILURE TO COMPLY WITH WEIGHT LIMIT AND OTHER IMPOSED LIMITS. ALL DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- DO NOT SCALE DIRECTLY FROM DRAWINGS; USE THE WRITTEN DIMENSIONS PROVIDED. IN THE EVENT NO WRITTEN DIMENSION EXISTS, CONTACT THE LANDSCAPE ARCHITECT.
- SHOP DRAWINGS MUST BE CHECKED, APPROVED AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE LANDSCAPE ARCHITECT FOR APPROVAL. SHOP DRAWINGS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE, COUNTY AND LOCAL MUNICIPAL CODES, ORDINANCES AND REGULATIONS.
- CONTRACTOR TO INSTALL ALL ITEMS CONTAINED WITHIN THESE DRAWINGS, UNLESS OTHERWISE INDICATED AS "N.I.C." (NOT IN CONTRACT)
- PAVING PATTERNS, BOTH HORIZONTAL AND VERTICAL, SHALL BE CENTERED. HORIZONTAL MORTAR LINE TRANSITIONS FROM COLUMN TO WALL SHALL REMAIN CONTINUOUS - DO NOT STAGGER HORIZONTAL MORTAR LINES.

UTILITIES

- CONTRACTOR SHALL CALL EACH UTILITY COMPANY DIRECTLY TO PERFORM AN ON-SITE UTILITY LOCATING SERVICE. EACH UTILITY IS TO BE IDENTIFIED AND LOCATED BOTH AT THE GROUND PLANE AND DEPTH PRIOR TO CONSTRUCTION ACTIVITIES.
- COORDINATE WITH COMPANIES FOR DISCONNECTION OF ANY ACTIVE UTILITIES WITHIN THE CONTRACT LIMITS, AND TEMPORARY REROUTE OF ANY OF THESE THAT WOULD INTERFERE WITH THE USE OF ANY OF THE OTHER FACILITIES WITHIN THE IMMEDIATE AND SURROUNDING AREA OF THE SITE WORK.



1 OPEN FRENCH DRAIN #1
SCALE: nts



2 OPEN FRENCH DRAIN #2
SCALE: 1" = 1'-0"

GRADING and DRAINAGE NOTES:

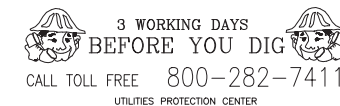
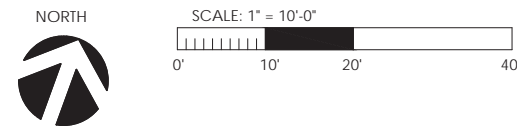
- PROTECT ADJACENT PUBLIC AND PRIVATE PROPERTIES FROM STORM WATER, EROSION, AND SEDIMENTATION.
- INSTALL AND MAINTAIN DEVICES AS NECESSARY TO PROVIDE CONTINUOUS CONTROL OF EROSION AND SEDIMENTATION.
- WHEN TRENCHING FOR DRAIN PIPE / RAIN GARDEN / SWALE, CUT ANY ROOTS GREATER THAN 4" THICK WITH A CLEAN, SHARP AXE. DO NOT TEAR ROOTS WITH HEAVY EQUIPMENT.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL WALLS AND TOWARDS EXISTING DRAIN INLETS, SWALES, RAIN GARDENS.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES. IF DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GRADE. THE CONTRACTOR WITH PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE SHALL MAKE GRADING ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN.
- CONTRACTOR IS RESPONSIBLE TO REPAIR AREAS DAMAGED DURING CONSTRUCTION.

KEY:

- PROPOSED SPOT ELEVATION - 29.30'
- DIRECTION OF SURFACE DRAINAGE -
- PROPOSED CONTOUR - (28)-
- EXISTING CONTOUR - 28

PERVIOUS TO IMPERVIOUS

TOTAL SITE AREA=43,560 SQUARE FEET
(MAIN HOUSE ROOF, GUEST HOUSE ROOF, GARAGE ROOF, DRIVE DROP OFF PAVED AREA) =8,721 SQUARE FEET
IMPERVIOUS: 20% OF SITE IS IMPERVIOUS



GRADING / DRAINAGE / UTILITY
Alan Glassberg, LLC.
Landscape Architecture Site Planning Urban Design
Ridgeland, South Carolina 29936 843-726-4880

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RIDGELAND, SC 29936
843.726.4880

GRADING / DRAINAGE / UTILITY

SHEET
L2

DATE: November 3, 2020
REVISIONS: