

620 WEST 42ND STREET REHABILITATION

620 West 42nd Street

Cuyler-Brownville
Historic District

PIN# 20073 33028

HPC SET - DEC. 7, 2022



PROJECT DESCRIPTION:

THIS SUBMITTAL SEEKS THE APPROVAL FOR THE RENOVATION OF 620 WEST 42ND STREET, IN SAVANNAH'S CUYLER BROWNVILLE HISTORIC DISTRICT. THE 1-STORY DWELLING WAS CONSTRUCTED CA. 1901. HISTORIC FRONT PORCH AND REAR PORTION OF THE BUILDING WERE REMOVED C.2017. THE HISTORIC HOUSE WILL BE RENOVATED WHILE ADHERING TO THE SECRETARY OF INTERIOR'S STANDARDS IN ORDER TO RECEIVE TAX CREDITS.

INTERIOR

INTERIOR MODIFICATIONS INCLUDE NEW PLUMBING, ELECTRICAL AND HVAC AND ADDING A BATHROOM. EXISTING FLOORING, PLASTER, TRIM, AND DOORS WILL REMAIN AND BE REPAIRED 'IN KIND' WHERE NECESSARY.

EXTERIOR

EXTERIOR MODIFICATIONS INCLUDE CONSTRUCTING A NEW FRONT PORCH AND REAR KITCHEN ADDITION AND REPLACING THE ASPHALT SHINGLE ROOF. ALL EXTERIOR WINDOWS WILL BE RETAINED. A NEW WOOD paneled DOOR WILL BE INSTALLED IN THE FRONT ENTRY. WINDOWS IN THE NEW ADDITION WILL BE CLAD, 2/2 SDL WINDOWS, AND A NEW WOOD/GLASS DOOR WILL BE INSTALLED IN THE NEW REAR ENTRY. THE EXISTING ASPHALT ROOF WILL BE REMOVED AND REPLACED WITH A NEW ASPHALT SHINGLE ROOF. THE NEW FRONT PORCH WILL BE SIMILAR TO THE HISTORIC PORCH REMOVED C.2017 AND WILL INCLUDE 8" ROUND WOOD COLUMNS SUPPORTING A LOW-HIPPED ROOF AND WOOD T&G DECKING. THE PORCH PIERS WILL BE SMOOTH STUCCO OVER CMU. THERE WILL ALSO BE REPAIRING AND/OR REPLACEMENT OF DAMAGED WOOD FRAMING, SIDING AND TRIM WHERE NECESSARY ON THE EXTERIOR. ALL EXTERIOR WOOD WILL BE PAINTED.

PROJECT PARAMETERS:

ZONING: TR-1
 REQUIRED FRONT YARD SETBACK: 5'-0" MIN, 10'-0" MAX
 REQUIRED SIDE YARD SETBACK: 3'-0"
 REQUIRED REAR YARD SETBACK: 20'-0"
 LOT SIZE: 1700 SF (20' X 85')
 ALLOWABLE LOT COVERAGE: 50% (850 SF)
 EXISTING LOT COVERAGE: 668 SF
 PROPOSED PORCH: 90 SF
 PROPOSED REAR ADDITION: 90 SF
 PROPOSED TOTAL ADDITIONS: 180 SF
 PROPOSED LOT COVERAGE: 848 SF

DRAWING INDEX:

G000B	COVER SHEET
G001B	620 W 42ND ST CONTEXT
G002B	620 W 42ND ST EXISTING CONDITIONS
G101B	620 W 42ND ST SITE PLANS
D101B	620 W 42ND ST EXISTING PLANS
A101B	620 W 42ND ST PROPOSED PLANS
A201B	620 W 42ND ST SOUTH AND NORTH ELEVATIONS
A202B	620 W 42ND ST WEST ELEVATIONS
A203B	620 W 42ND ST EAST ELEVATIONS
A301B	620 W 42ND ST WALL SECTIONS



625 EAST 44TH STREET
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**606, 620, 634
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COVER SHEET

PROJECT NO. 2215.00
DATE 12.07.2022
SHEET NO.

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WEST 42ND ST. LOOKNG NW



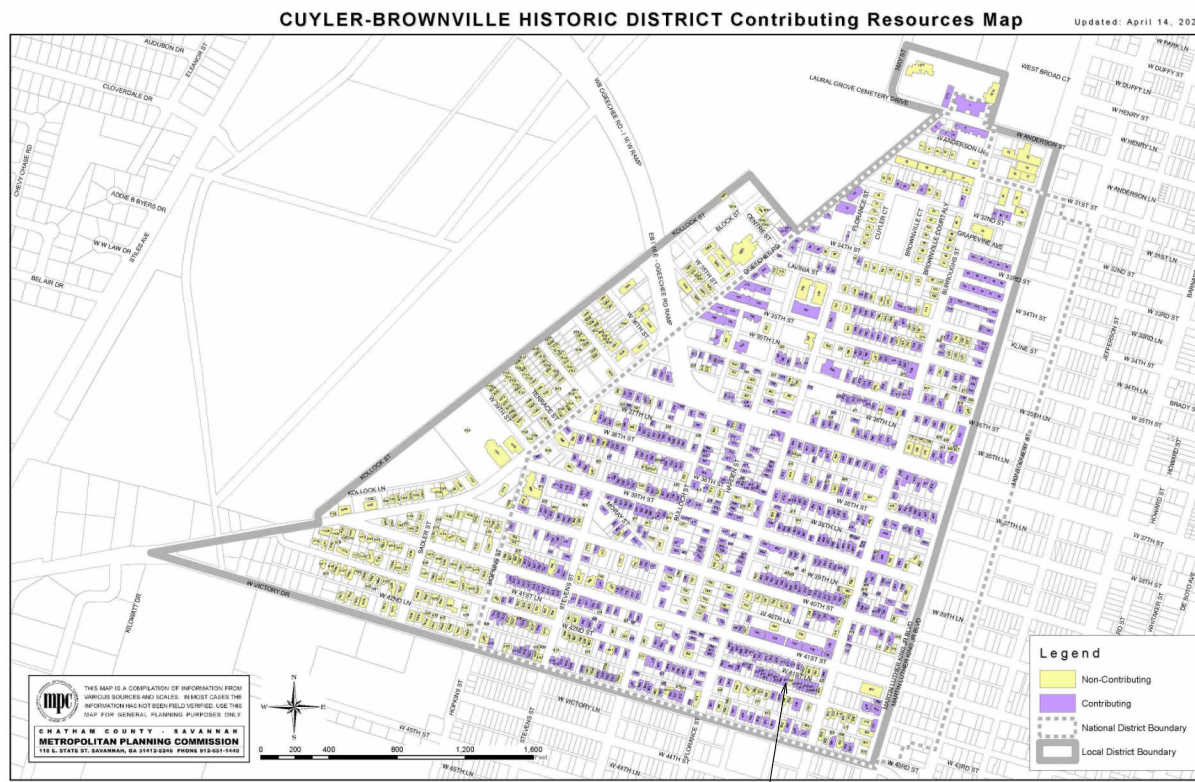
WEST 42ND ST. LOOKNG NE



WEST 42ND ST. LOOKNG SE



AERIAL



SITE

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620 W 42ND ST
CONTEXT

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SOUTH ELEVATION



SOUTH AND EAST ELEVATIONS



EAST AND NORTH ELEVATIONS



NORTH ELEVATION AND REAR YARD



NORTH AND WEST ELEVATIONS



WEST ELEVATION - SOUTH END

01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20

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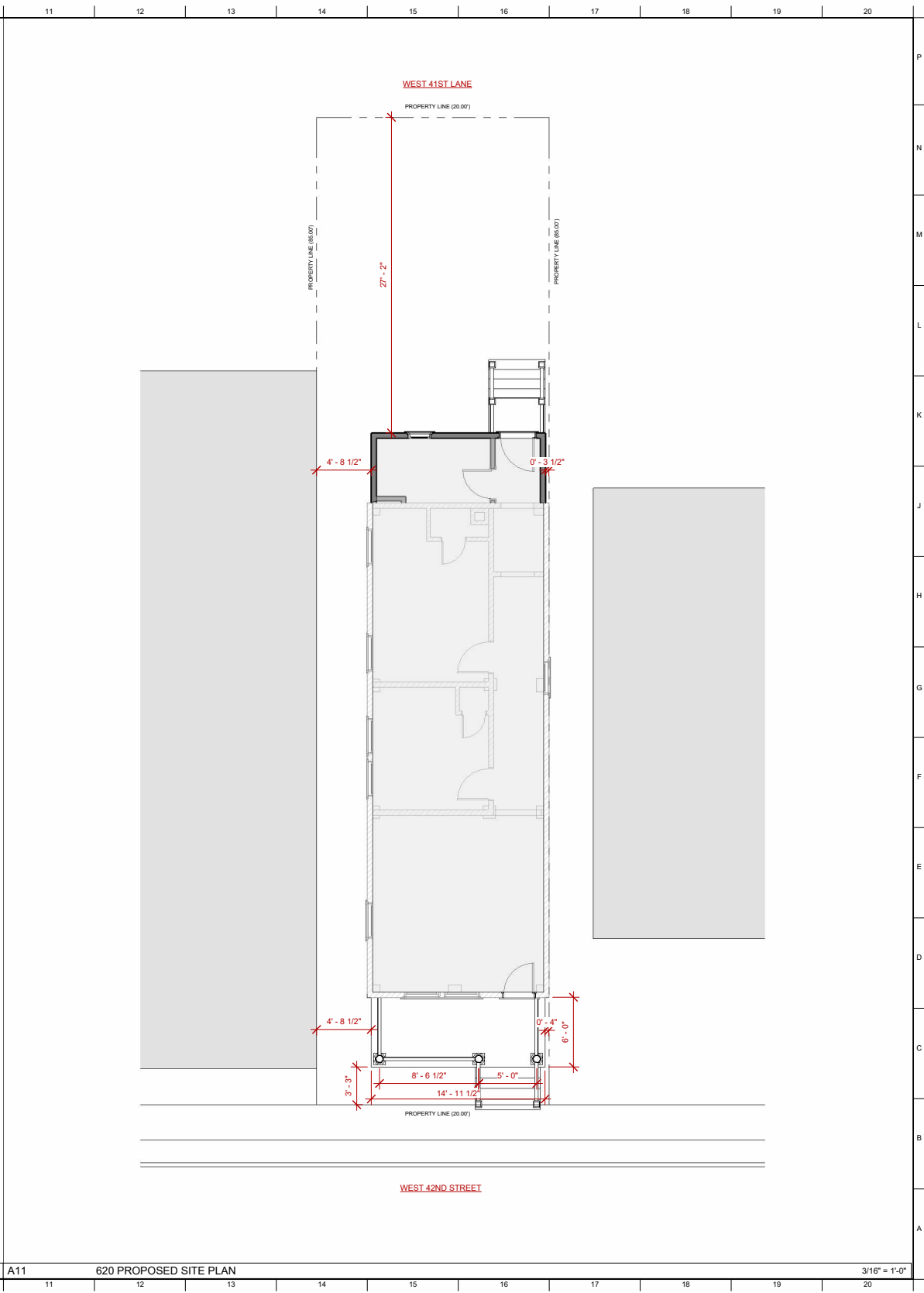
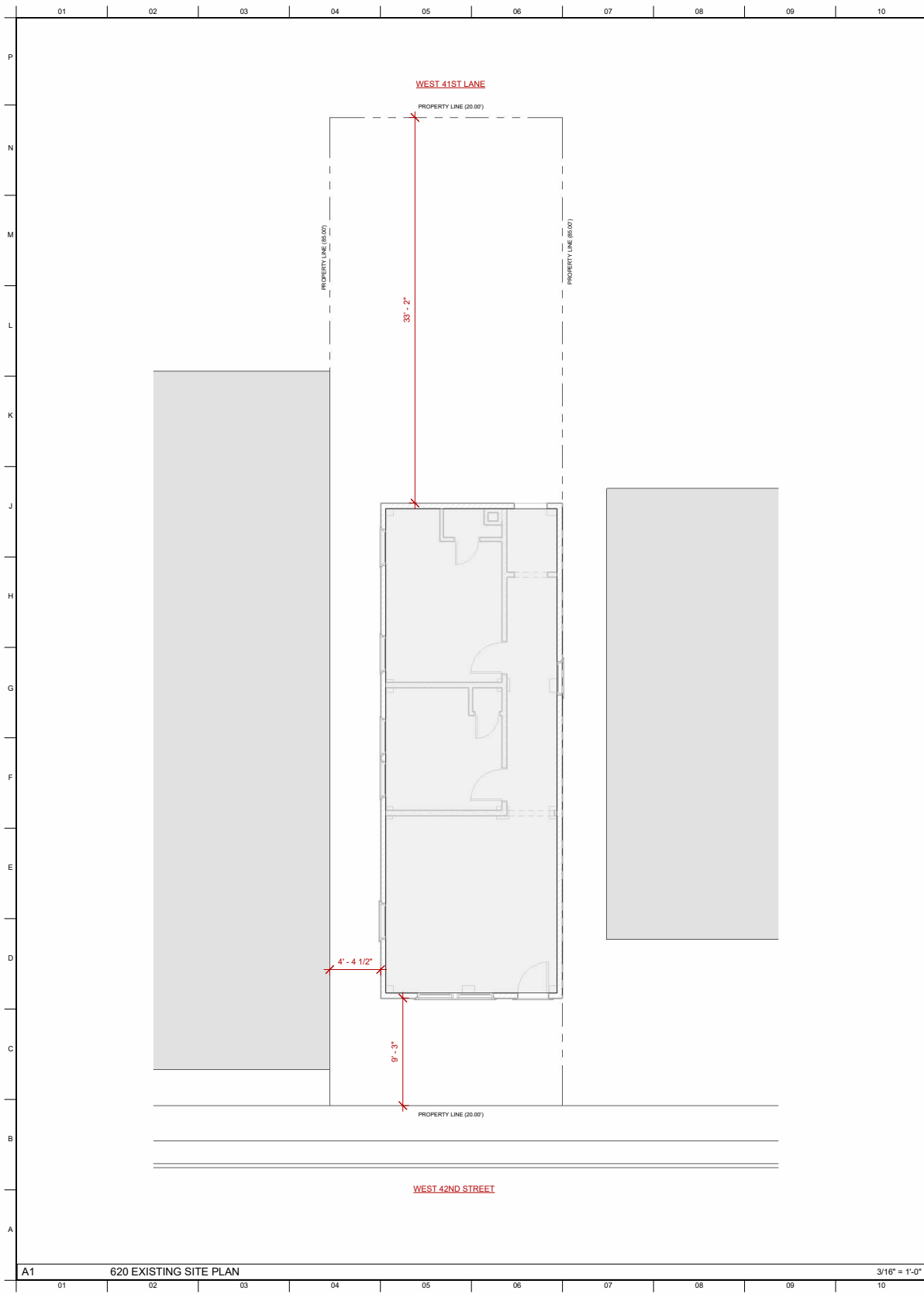
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620 W 42ND ST
EXISTING
CONDITIONS

PROJECT NO. 2215.00
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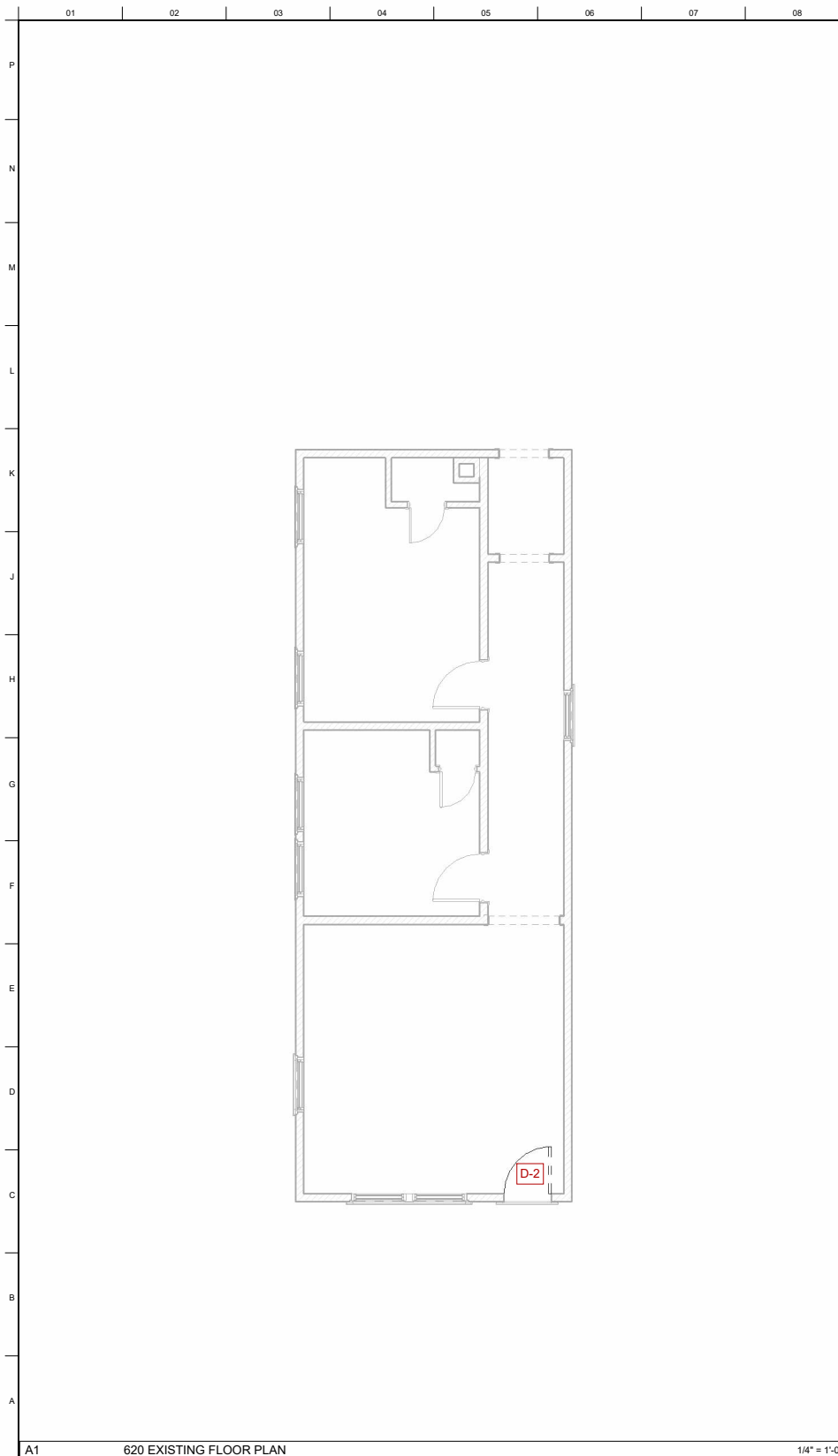
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620 W 42ND ST SITE PLANS

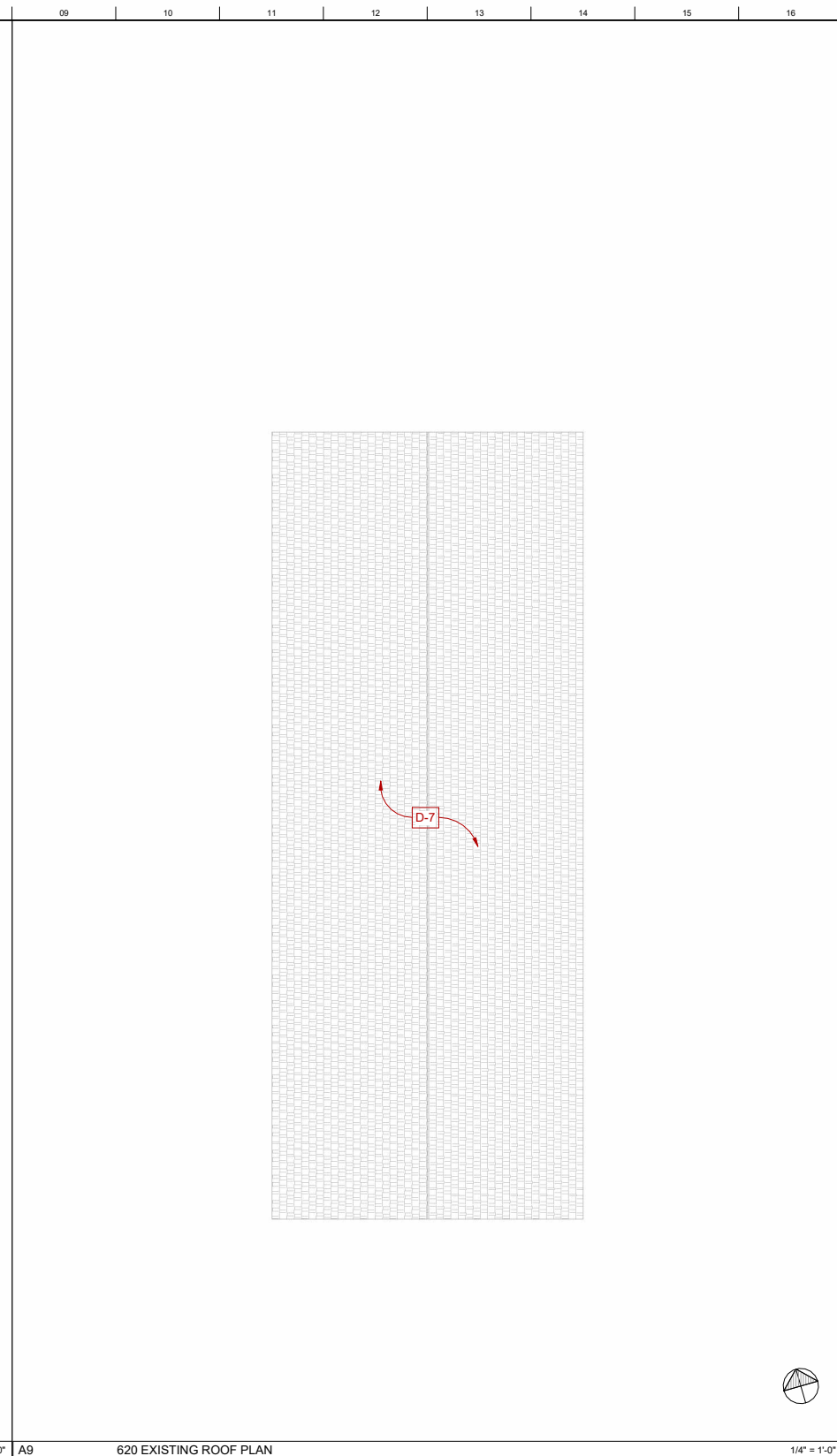
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620 EXISTING FLOOR PLAN



620 EXISTING ROOF PLAN

DEMO LEGEND

	EXISTING PARTITION
	DEMOLISHED PARTITION
	MATERIAL TO BE REMOVED

GENERAL DEMOLITION NOTES

- * BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL REQUIRED FEES BY THE CITY/COUNTY HAVING JURISDICTION. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF THE LOCAL AUTHORITIES.
- * THE CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND WILL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS.
- * DISCONNECT ANY EXISTING ACTIVE UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. THE CONTRACTOR IS TO COORDINATE TEMPORARY UTILITIES WITH CITY, UTILITY COMPANIES, AND OWNER DURING THE COURSE OF CONSTRUCTION.
- * CONSULT WITH THE ARCHITECT BEFORE THE DEMOLITION OF ANY HISTORIC FABRIC UNLESS NOTED ON THE DRAWINGS. THIS PERTAINS TO ALL STRUCTURE, HARDWARE, FENESTRATION, FINISHES, FIXTURES, AND/OR EQUIPMENT.
- * ALL SHORING NECESSARY FOR TEMPORARY SUPPORT OF EXISTING WALLS, FLOORS, OR ROOFS DURING DEMOLITION SHALL BE PROVIDED AND DESIGNED BY THE CONTRACTOR.
- * COORDINATE THE PATCHING AND REPAIRING OF ANY EXTERIOR PENETRATIONS WITH NEW CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ALL EXISTING CONSTRUCTION TO REMAIN THAT IS DAMAGED DURING DEMOLITION.
- * ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/STRUCTURE UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS NOTED OTHERWISE.
- * DO NOT TO SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

DEMOLITION NOTES

- D-1** REMOVE NON-HISTORIC WINDOW
- D-2** REMOVE NON-HISTORIC DOOR
- D-3** REMOVE HISTORIC DOOR, STORE ON SITE OR REUSE.
- D-4** REMOVE NON-HISTORIC WALL OR INFILL
- D-5** REMOVE WALL AND DOOR, RETAINING PORTION AT TOP AS SOFFIT TO MARK HISTORIC WALL LOCATION.
- D-6** FIX HISTORIC DOOR IN PLACE OR REMOVE DOOR FOR REUSE AND INFILL, RETAINING TRIM ON AT LEAST ONE SIDE.
- D-7** REMOVE ROOFING MATERIAL, CONTRACTOR TO REPAIR AND REPLACE ROOF SHEATHING AS NECESSARY.
- D-8** REMOVE HISTORIC EXTERIOR DOOR AND RELOCATE TO FRONT DOOR.



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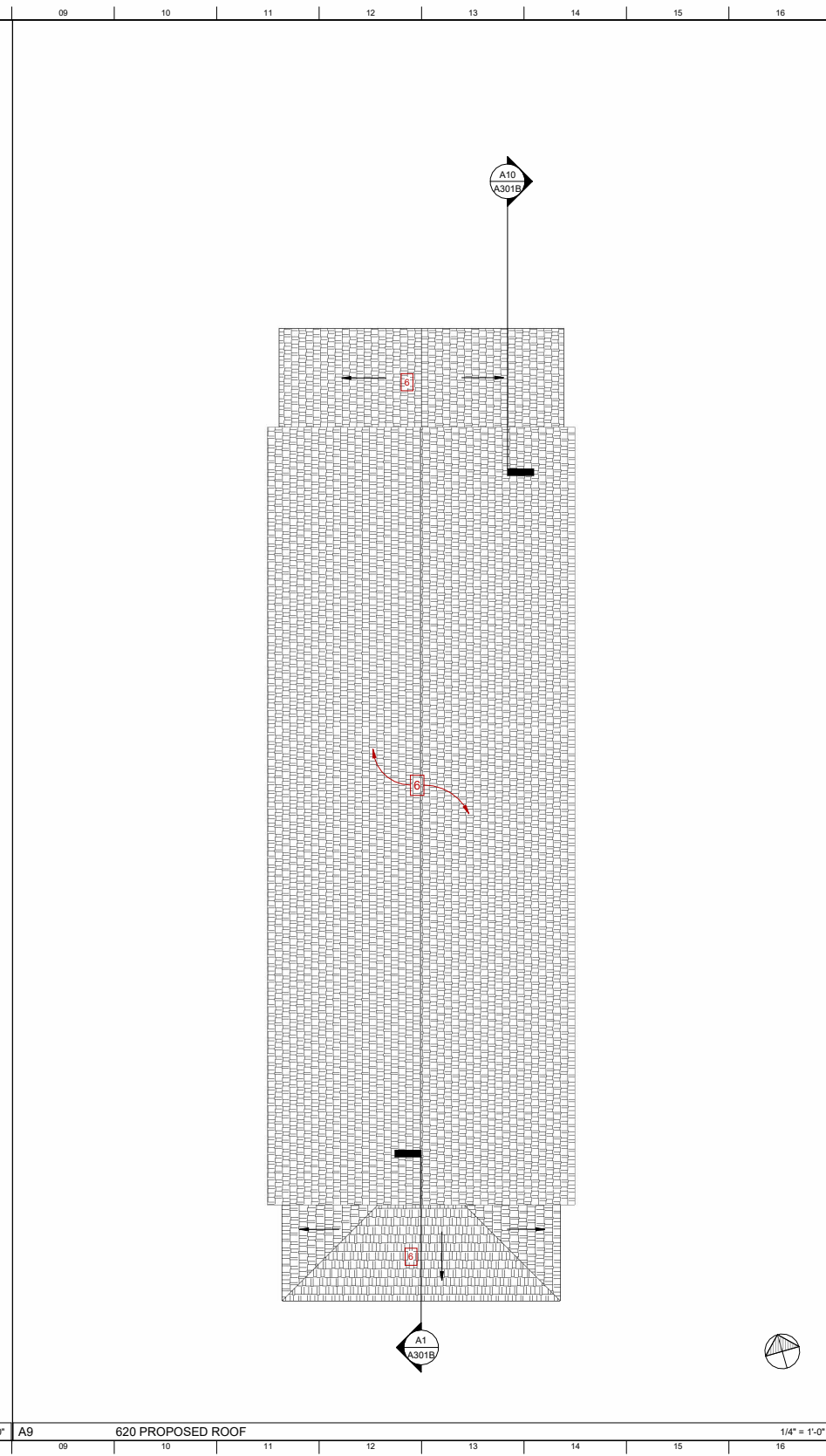
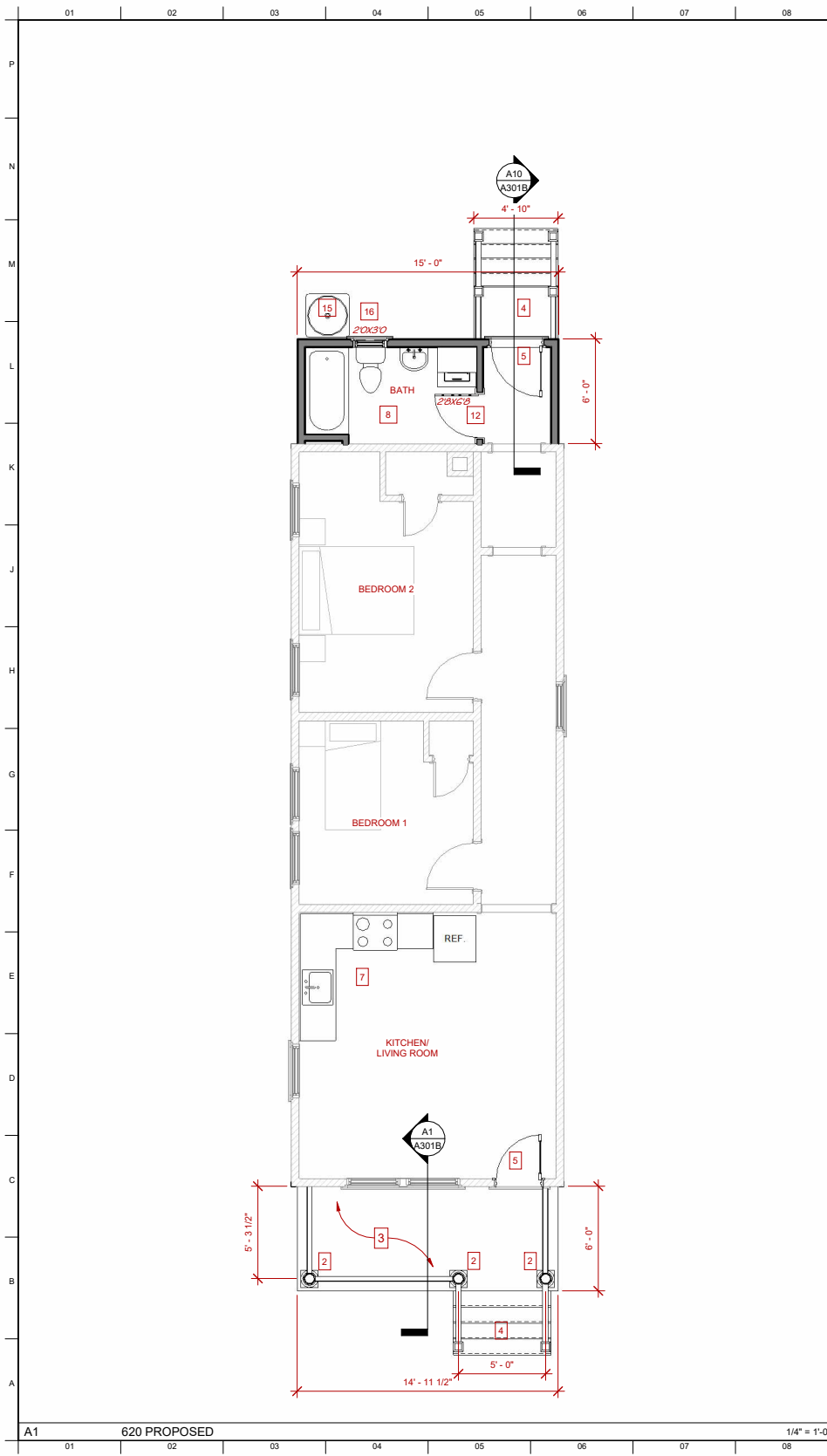
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620 W 42ND ST
EXISTING PLANS

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LEGEND	
	EXISTING PARTITION
	NEW PARTITION
	NEW FLOOR INFILL/PATCH

- GENERAL NOTES**
- * NO HIGH PRESSURE WASHING OR SAND BLASTING IS TO OCCUR ON ANY HISTORIC MATERIAL WITHOUT CONSULTING WITH ARCHITECT.
 - * EXISTING MASONRY TO BE CLEANED AND REPOINTED WHERE NECESSARY.
 - * ALL EXTERIOR WOOD, EXISTING OR NEW, TO BE PRIMED AND PAINTED. OWNER TO SELECT PAINT COLORS.
 - * ALL PLUMBING FIXTURES, CABINETS, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.
 - * WHERE HISTORIC TRIM IS MISSING, INSTALL NEW WOOD TRIM, BASEBOARD, AND WINDOW/DOOR SURROUNDS TO MATCH EXISTING SIZE AND PROFILE 'IN KIND'. ALL REPLACEMENT TRIM TO MATCH EXISTING IN SIZE AND PROFILE 'IN KIND'. ALL NEW TRIM TO BE DIFFERENTIATED FROM ORIGINAL.
 - * ALL EXISTING PLASTER SURFACES TO BE REPAIRED WHERE NECESSARY. REFER TO PRESERVATION BRIEF #21 AND #23 FOR APPROPRIATE TREATMENT.
 - * INSTALL NEW FINISH FLOOR AS SELECTED BY OWNER. ALL EXISTING WOOD FLOORS TO BE REFINISHED AND STAINED. STAIN COLOR TO BE SELECTED BY OWNER.
 - * ALL EXISTING HISTORIC WINDOWS TO BE SCRAPPED, SANDED, RE-PAINTED, AND RE-GLAZED WHERE NECESSARY. ALL WINDOWS TO BE OPERABLE. REFER TO PRESERVATION BRIEF #9 FOR APPROPRIATE TREATMENT.
 - * ALL NEW WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS. INSET WINDOW FRAME MIN. 3" FROM EXTERIOR FACE WHEN INSTALLED IN STUCCO OR MASONRY BUILDING.
 - * ALL NEW INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH.

- NOTES**
- 4" SQUARE P.T. WOOD COLUMN TO MATCH EXISTING 'IN KIND'
 - WOOD COLUMNS, FRAMING, AND PROCH ROOF TO RECREATE MISSING HISTORIC FEATURE
 - 5/4 WOOD T&G DECKING
 - PAINTED P.T. WOOD STAIR AND RAILING (7-3/4" MAX. RISER, 10" MIN. TREAD, 2'-10" HIGH RAILING MIN.)
 - WOOD/GLASS DOOR (7/8" MUNTIN MAX.)
 - ARCHITECTURAL ASPHALT SHINGLE ROOF OVER ICE & WATER SHIELD
 - KITCHEN CABINETS, COUNTERTOPS, AND APPLIANCES AS SELECTED BY OWNER
 - PLUMBING FIXTURES AND FITTINGS AS SELECTED BY OWNER
 - SIDING TO MATCH EXISTING 'IN KIND'. INSTALL OVER BUILDING PAPER AND WALL SHEATHING
 - REPAIR SUBFLOOR AND INSTALL NEW FINISHED FLOOR
 - DOOR TO BE FIXED IN CLOSED POSITION OR OPENING TO BE INFILLED WITH TRIM REMAINING.
 - NEW WOOD 4-PANELED DOOR. CONFIGURATION TO MATCH EXISTING WITH SQUARE STICKING.
 - WOOD TDL DOUBLE-HUNG SINGLE GLAZE WINDOW. SIZE AND CONFIGURATION TO MATCH EXISTING ADJACENT UNIT. 7/8" MUNTINS MAX.
 - REINSTALL HISTORIC DOOR IN ITS ORIGINAL LOCATION
 - NEW HVAC LOCATION
 - CLAD 2/2 SDL WINDOW IN ADDITION



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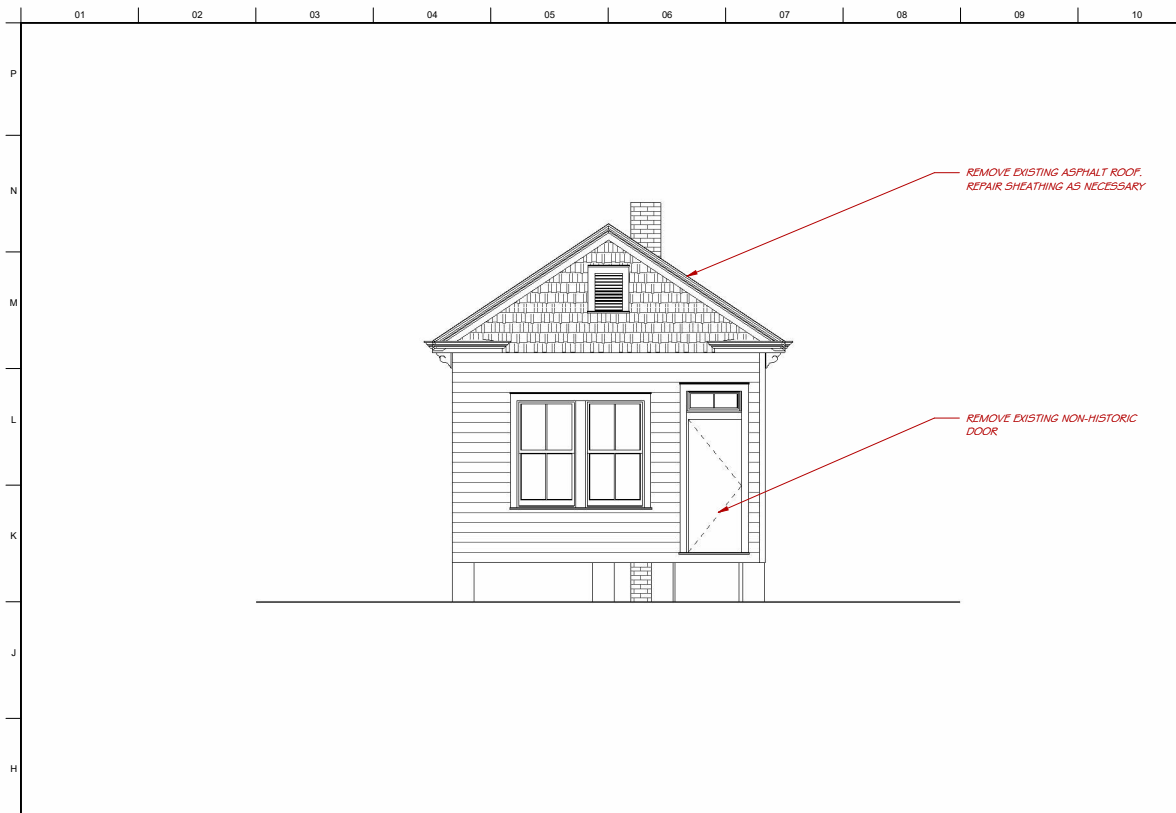
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**620 W 42ND ST
PROPOSED PLANS**

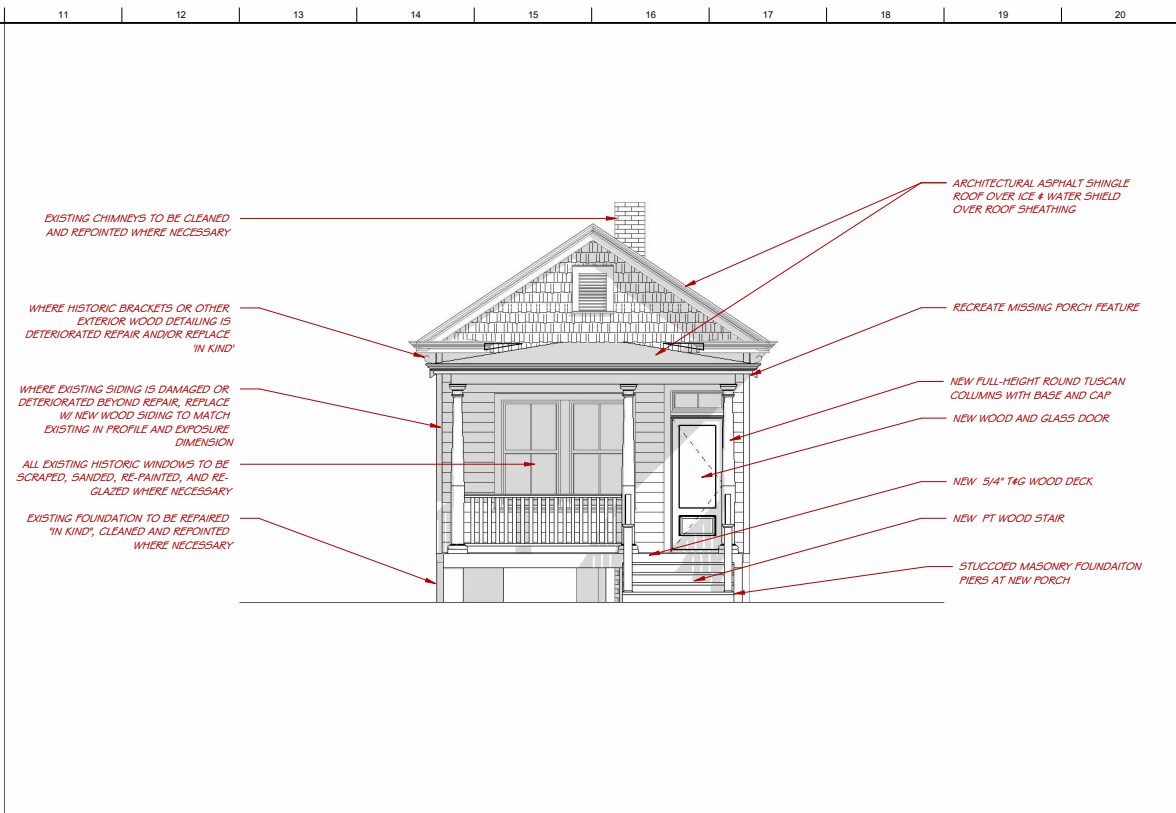
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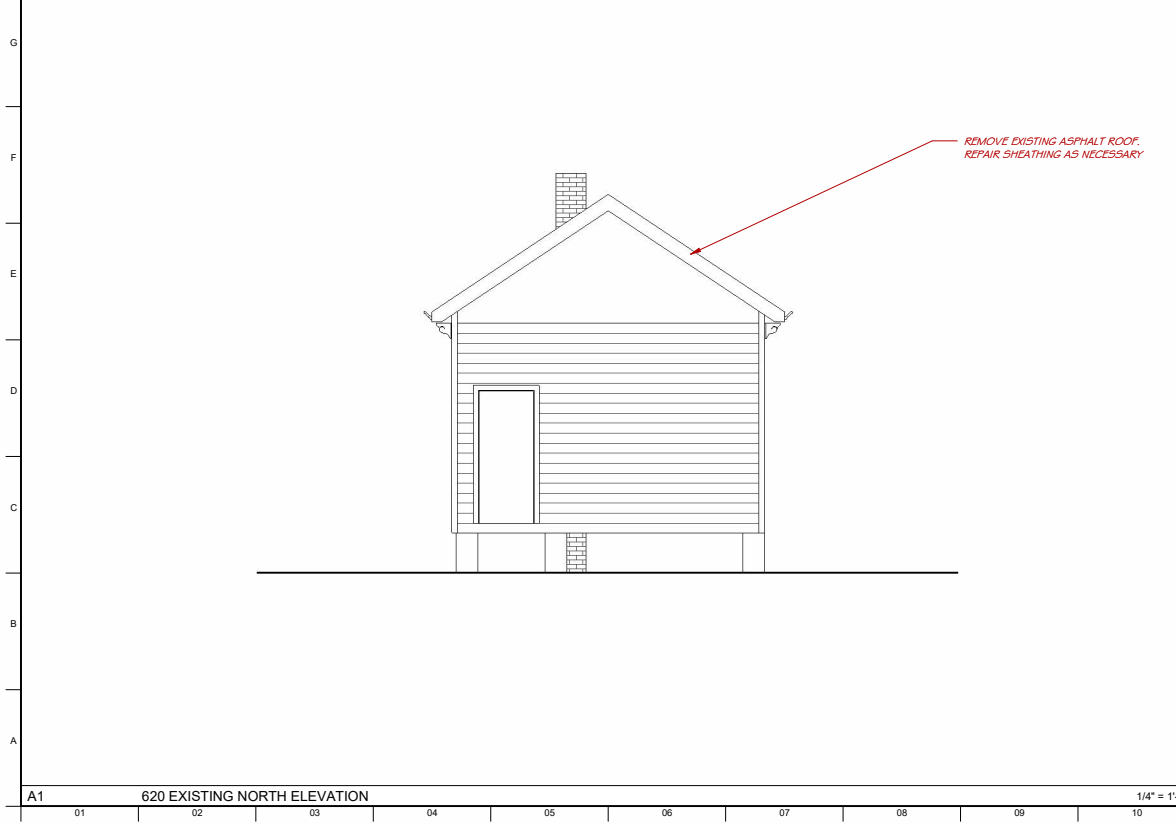
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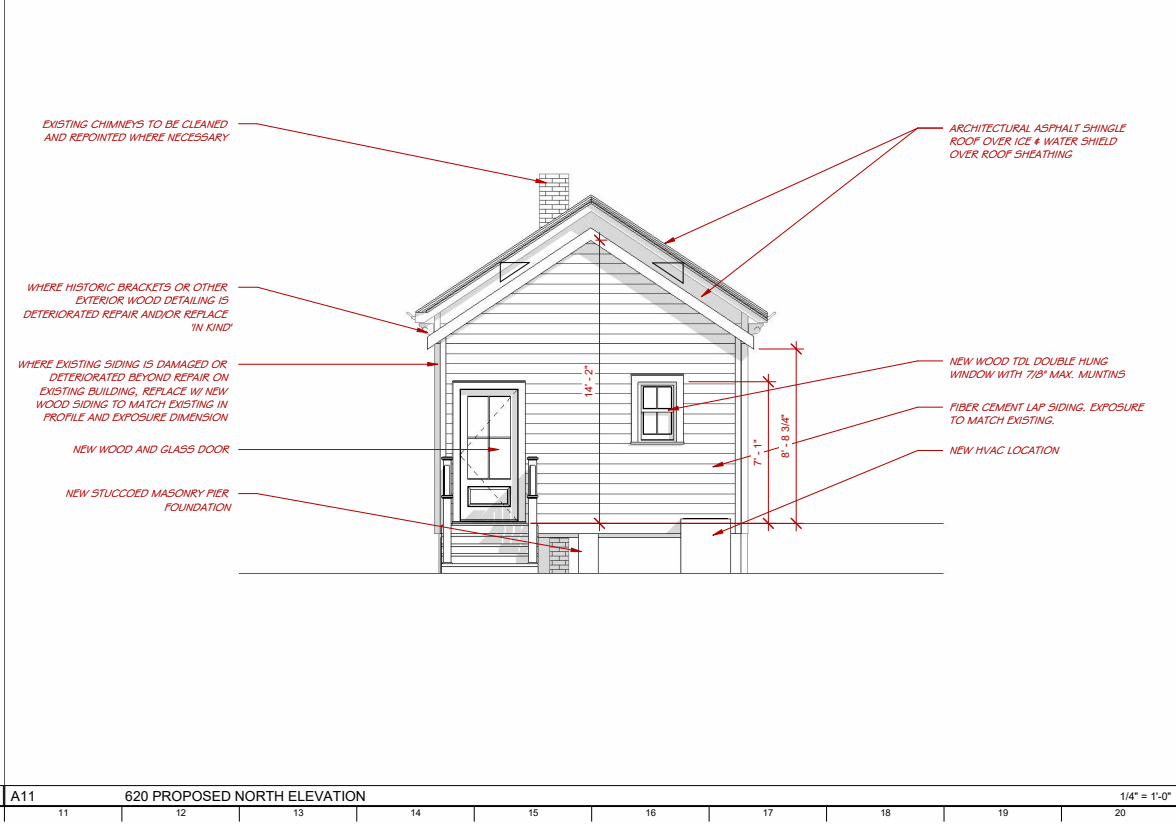
H1 620 EXISTING SOUTH ELEVATION 1/4" = 1'-0"



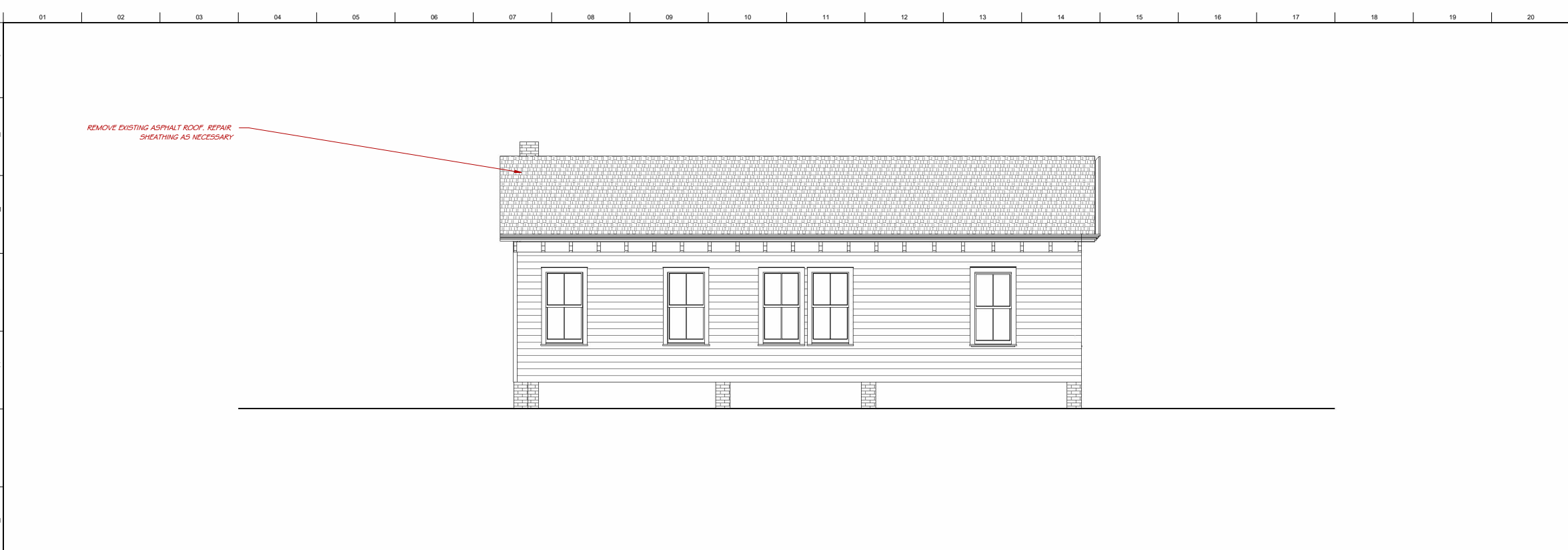
H11 620 PROPOSED SOUTH ELEVATION 1/4" = 1'-0"



A1 620 EXISTING NORTH ELEVATION 1/4" = 1'-0"

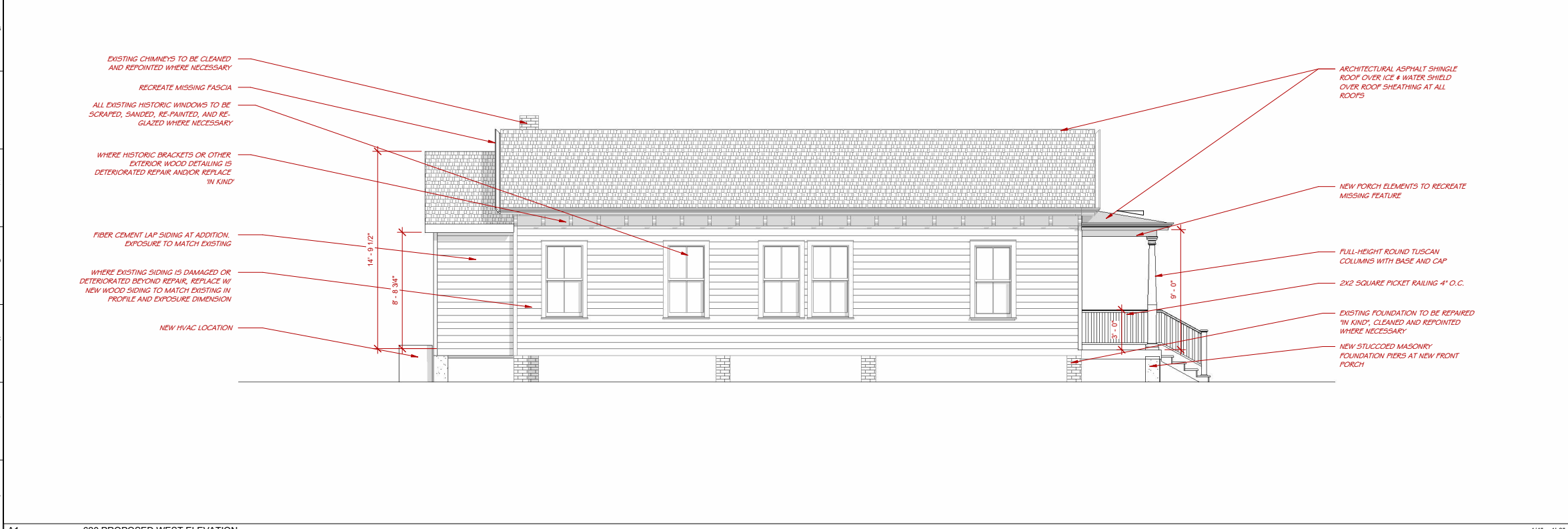


A11 620 PROPOSED NORTH ELEVATION 1/4" = 1'-0"



H1 620 EXISTING WEST ELEVATION

1/4" = 1'-0"



A1 620 PROPOSED WEST ELEVATION

1/4" = 1'-0"



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620 W 42ND ST
WEST ELEVATIONS

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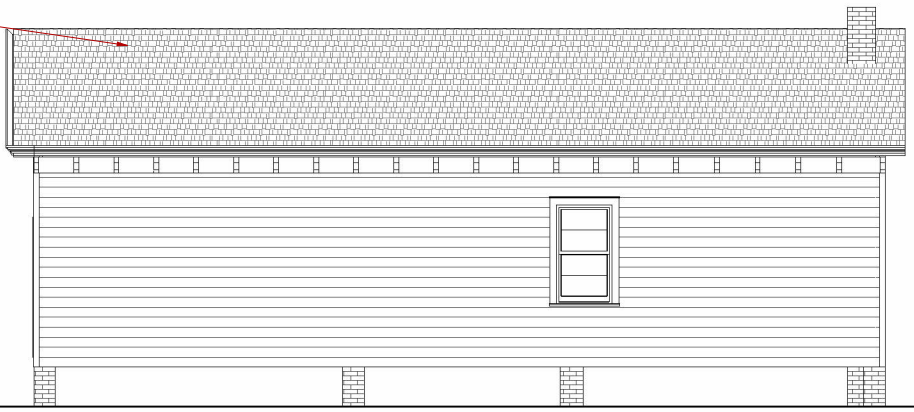
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REMOVE EXISTING ASPHALT ROOF. REPAIR SHEATHING AS NECESSARY



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H1 620 EXISTING EAST ELEVATION

1/4" = 1'-0"

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ARCHITECTURAL ASPHALT SHINGLE ROOF OVER ICE & WATER SHIELD OVER ROOF SHEATHING AT ALL ROOFS

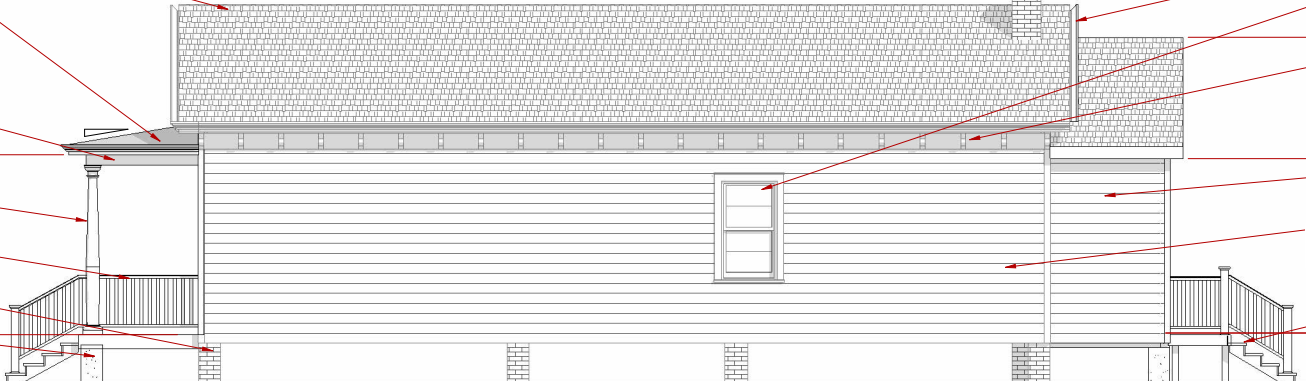
NEW PORCH ELEMENTS TO RECREATE MISSING FEATURE

FULL-HEIGHT ROUND TUSCAN COLUMNS WITH BASE AND CAP

2X2 SQUARE PICKET RAILING 4" O.C.

EXISTING FOUNDATION TO BE REPAIRED "IN KIND", CLEANED AND REPOINTED WHERE NECESSARY

NEW STUCCOED MASONRY FOUNDATION PIERS AT NEW FRONT PORCH



EXISTING CHIMNEYS TO BE CLEANED AND REPOINTED WHERE NECESSARY

RECREATE MISSING FASCIA

ALL EXISTING HISTORIC WINDOWS TO BE SCRAPPED, SANDED, RE-PAINTED, AND RE-GLAZED WHERE NECESSARY

WHERE HISTORIC BRACKETS OR OTHER EXTERIOR WOOD DETAILING IS DETERIORATED REPAIR AND/OR REPLACE "IN KIND"

FIBER CEMENT LAP SIDING. EXPOSURE TO MATCH EXISTING

WHERE EXISTING SIDING IS DAMAGED OR DETERIORATED BEYOND REPAIR, REPLACE W/ NEW WOOD SIDING TO MATCH EXISTING IN PROFILE AND EXPOSURE DIMENSION

NEW PT STAIR AND LANDING WITH 2X2 SQUARE PICKET RAILING AT 4" O.C.

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620 W 42ND ST EAST ELEVATIONS

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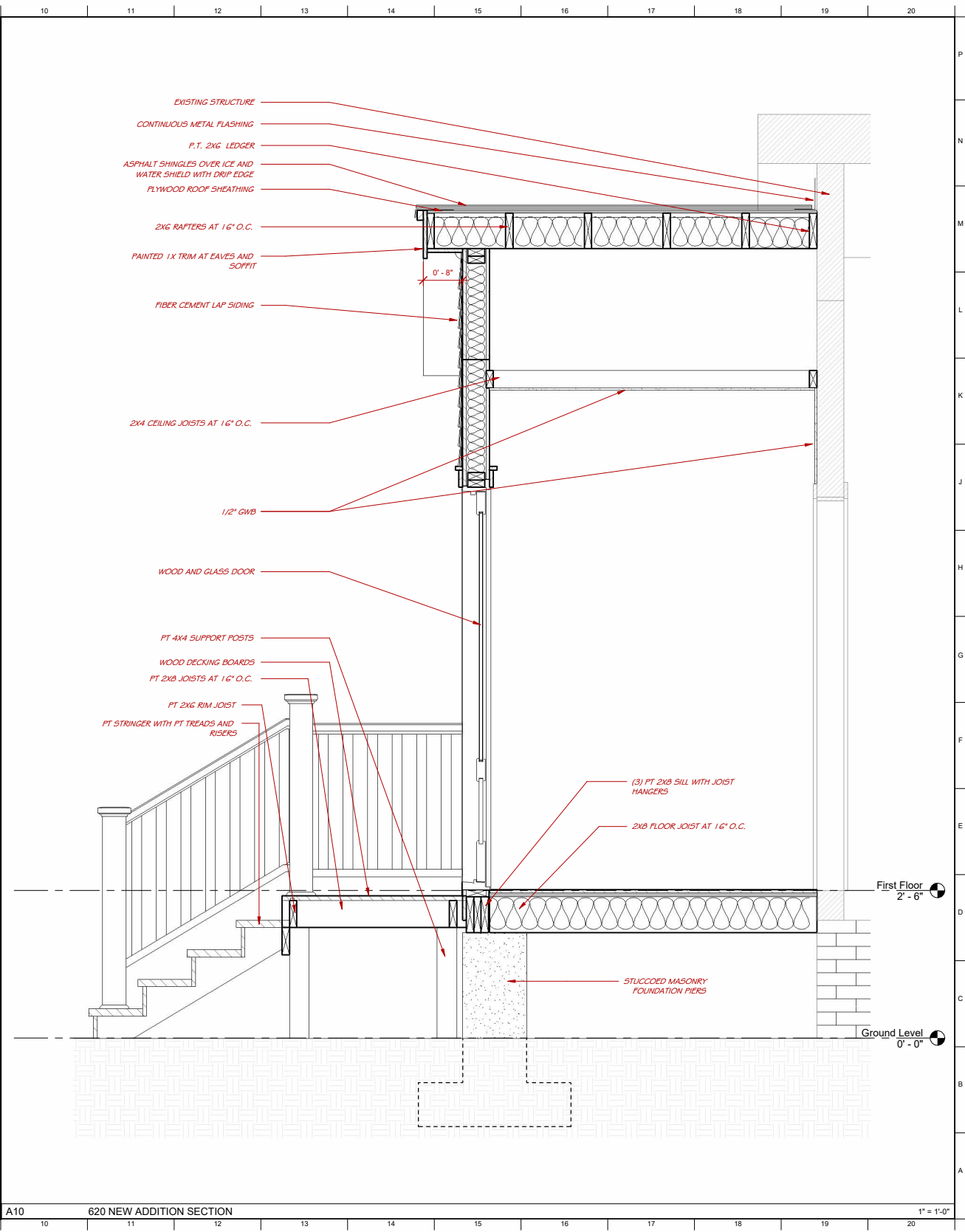
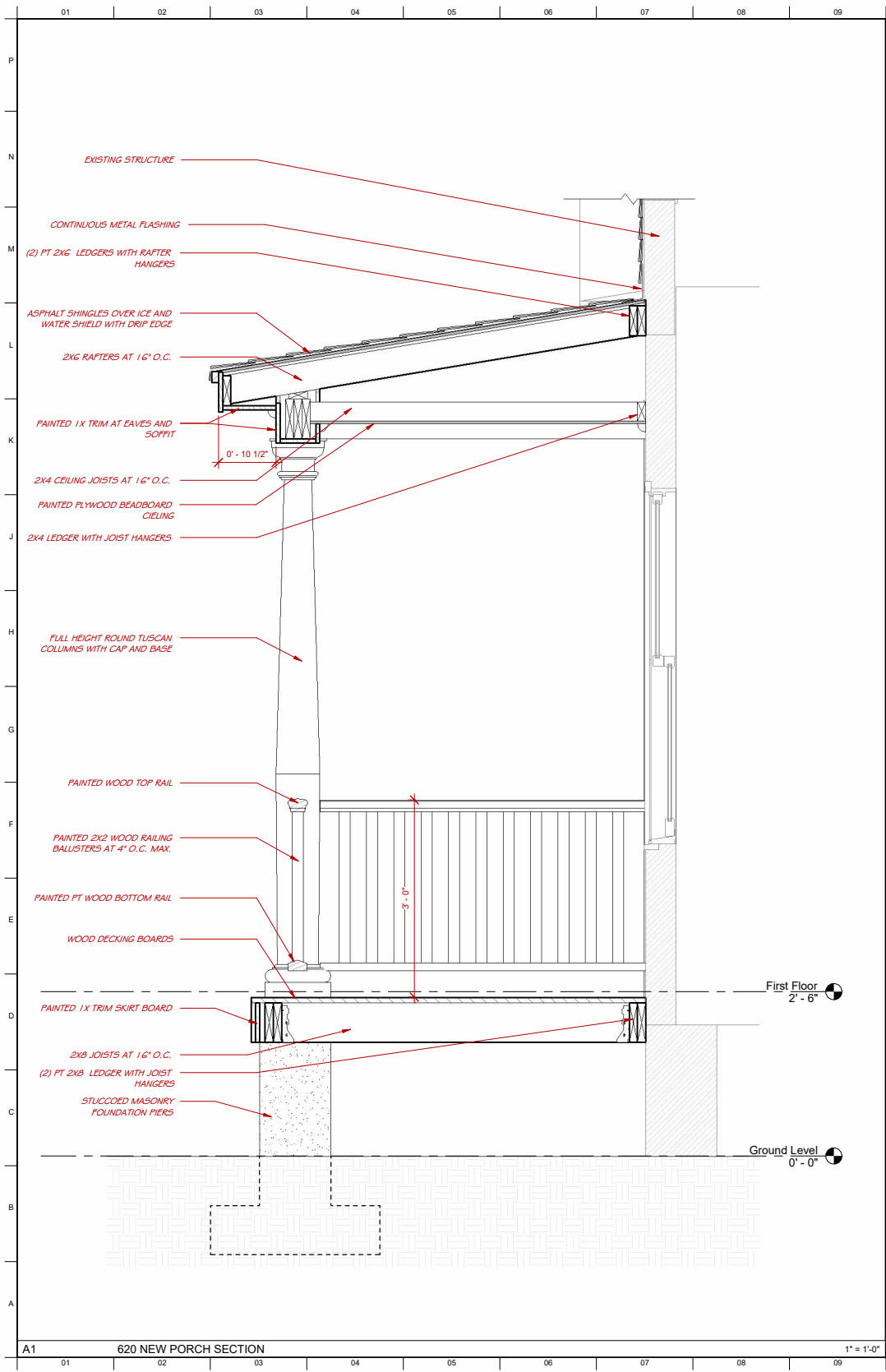
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A1 620 PROPOSED EAST ELEVATION

1/4" = 1'-0"

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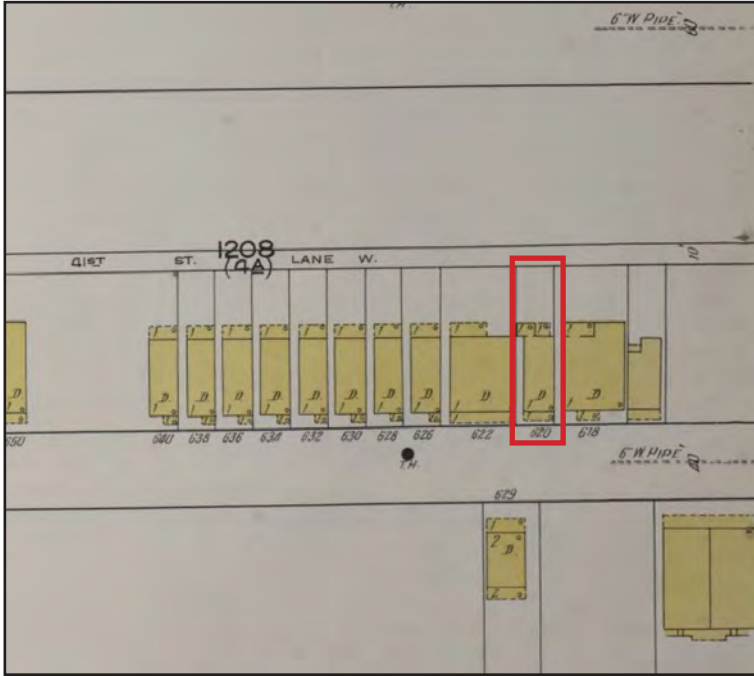
**620 W 42ND ST
WALL SECTIONS**

PROJECT NO. 2215.00
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SHEET NO.

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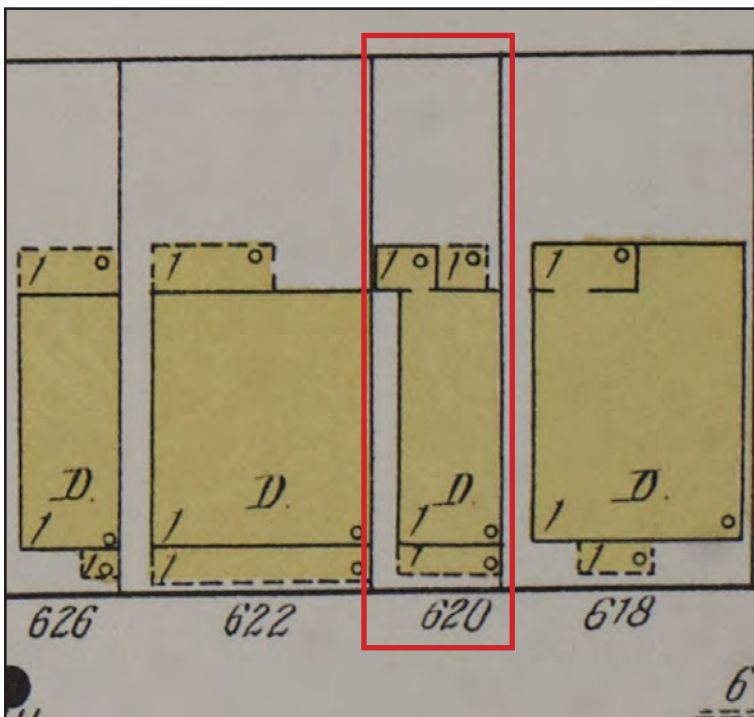
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Honza Properties LLC, Shotgun
620 West 42nd Street, Savannah, GA
Cuyler-Brownville Historic District
Illustrated History. North is at the top.



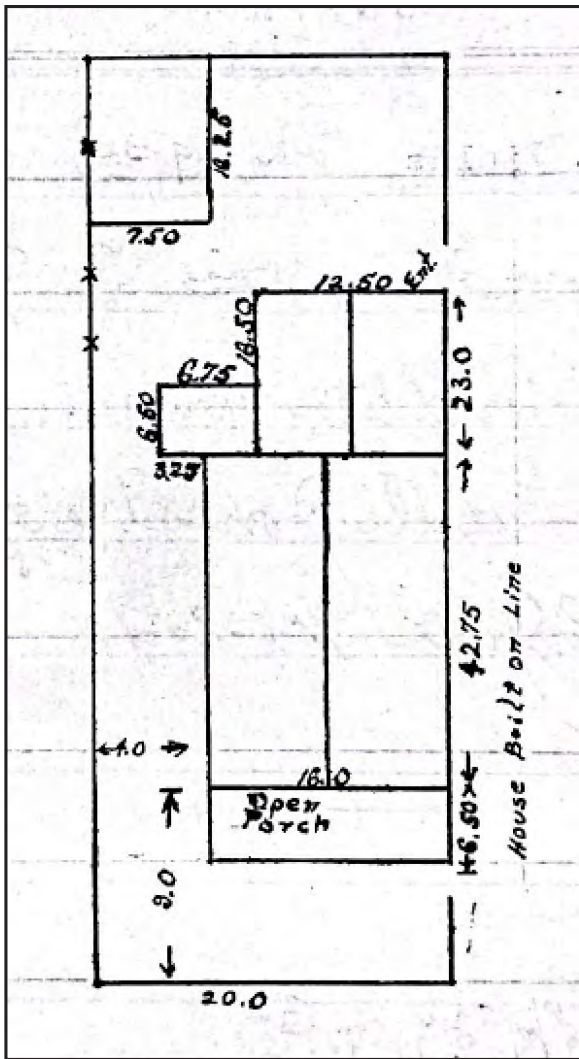
1916

The 1916 Sanborn Fire Insurance Map shows the west half of the 600 block of West 42nd Street, between Burroughs and Florance. The area is a developing residential neighborhood with one- and two-story, attached and detached, wood frame dwellings. It is part of a row of front gable shotguns, all developed in 1900. This is the first depiction of the subject property on the map.



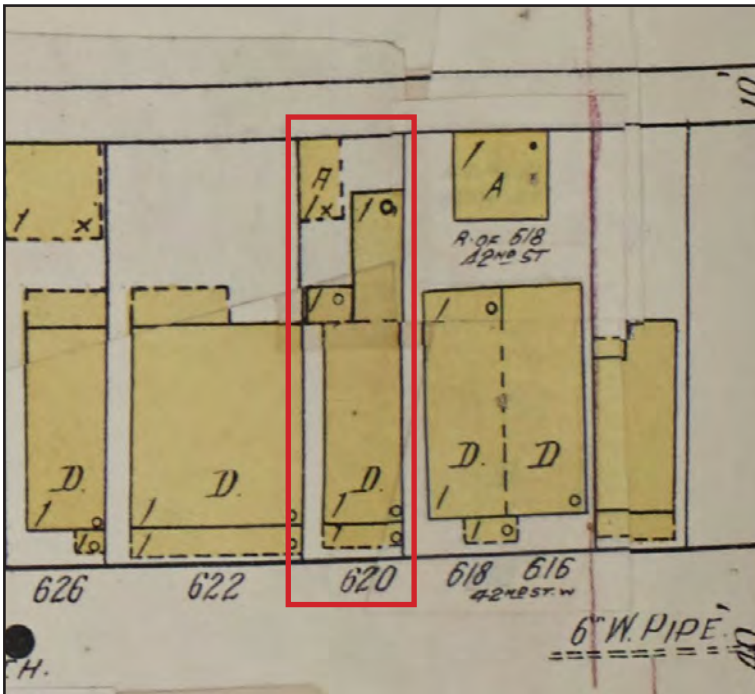
1916

A detail of the 1916 Sanborn shows a one-story, detached, wood frame dwelling, rectangular in shape. It features a full-width, one-story front porch, a small one-story rear porch, and a small rear projection on the northwest corner. All roofs are finished in tin.



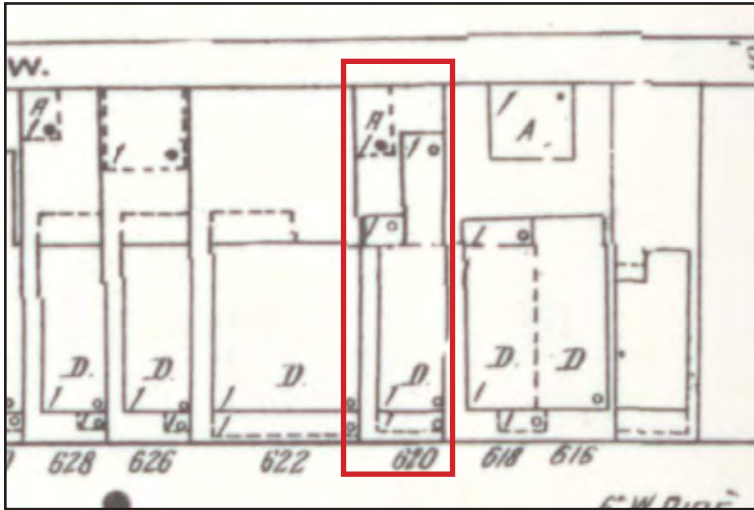
1937

The field sketch detail from the 1936 Cadastral Survey illustrates the building at 620 West 42nd Street with a rectangular core topped by a front gable roof, a partial width rear extension, and a small projection on the northwest corner (likely the bathroom). The roof is finished in tin. There is an open shed, wood frame one-car garage along the lane. The front facade features a one-story, full-width porch. The surveyor notes indicate a building height of 10 feet and a brick pier foundation at the height of 3.5 feet.



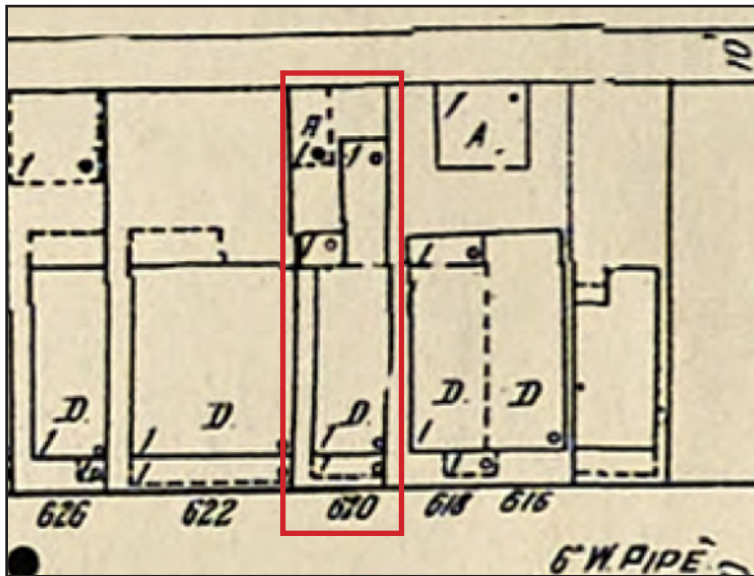
1916-1950

A detail of the 1916 Sanborn Map revised through 1950 shows a long rear extension where a rear entry porch was previously and an open auto shed along the lane.



1955

A detail of the 1955 Sanborn Map shows no changes.



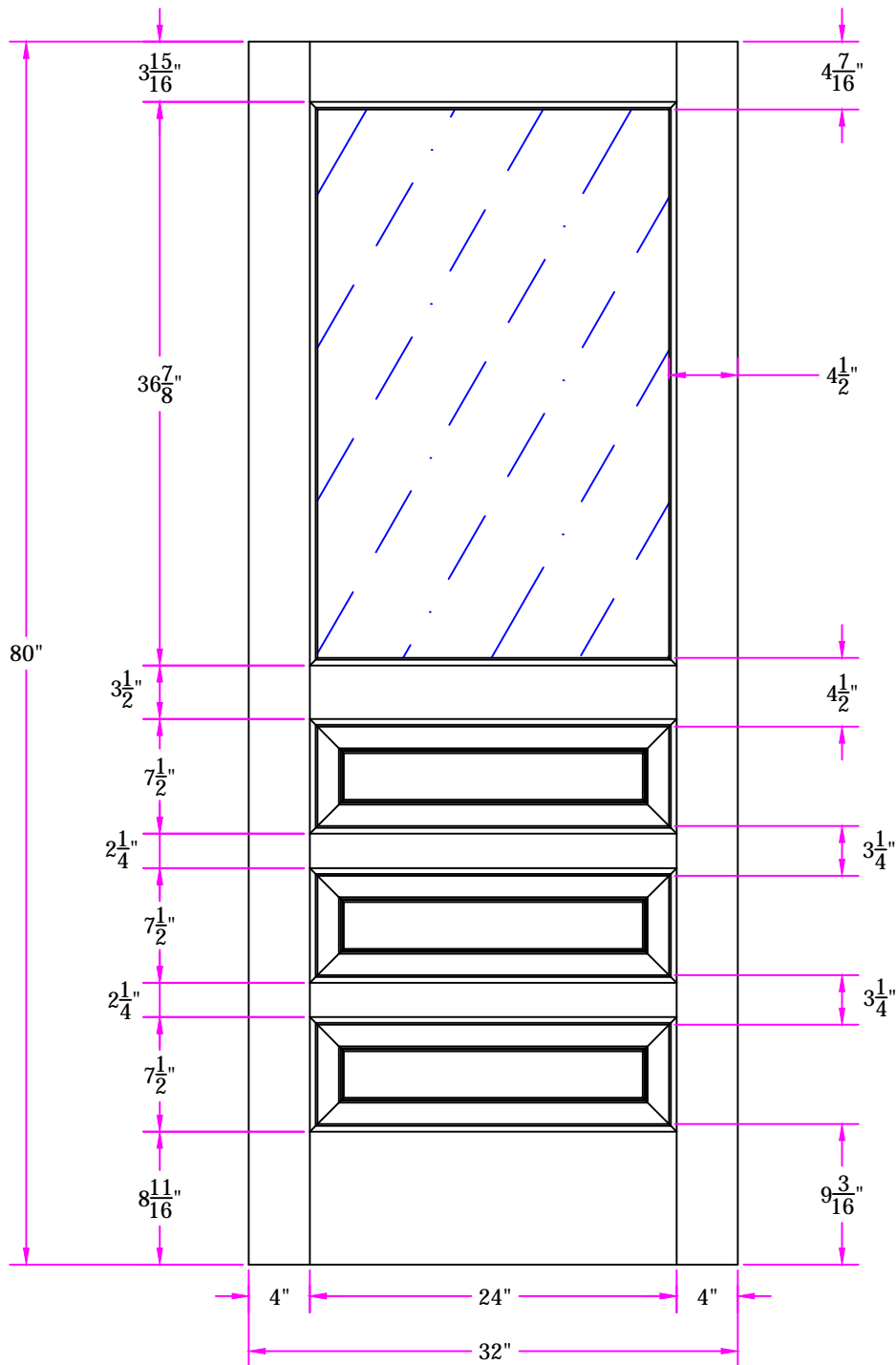
1955-66

A detail of the 1955 Sanborn Map revised through 1966 shows no changes.



2017

One of a row of 16 shotgun houses developed circa 1900 - originally they all featured elements of Folk Victorian styling with decorative jigsaw brackets on the side of the eaves, a two-light transom over front door, clapboard siding, and wood shingles in the gable ends all of which it retains. Additionally, the house maintains two-over-two double-hung wood windows and the front gable has entablature detailing with returns. The building had its original porch (pictured here) until it was removed circa 2017. It was a half-hip roof porch with simple entablature and full height Tuscan columns.



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Revisions

Rev. #	Description	Date	by Whom

TITLE **7118 2/8 x 6/8**
Customer Layout

DRAWING NO. **D-7118-208-608-0700**

LAYOUT **00** SCALE **NTS** BORE PATTERN # **7007**

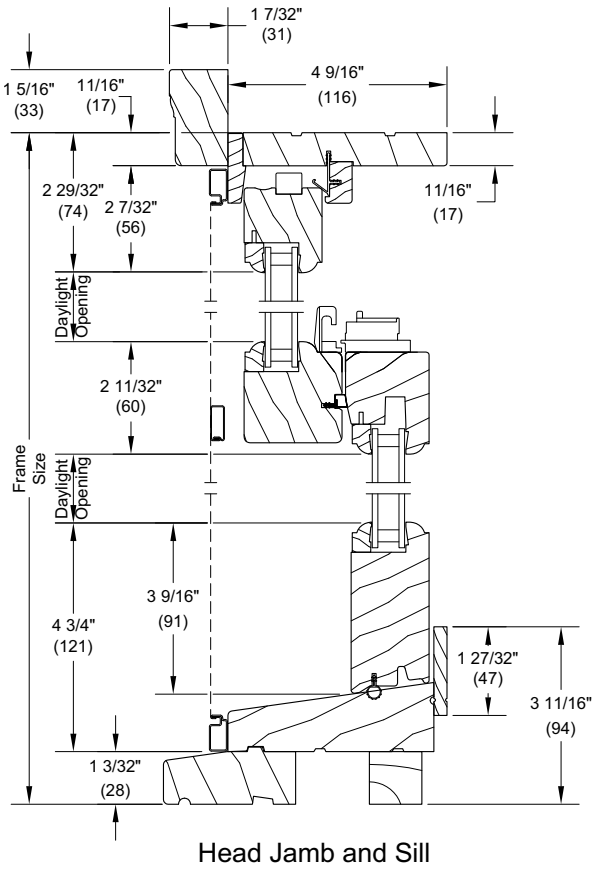
DRAWN BY: **J. Decker** DATE **11/28/2007**



Section Details: Operating

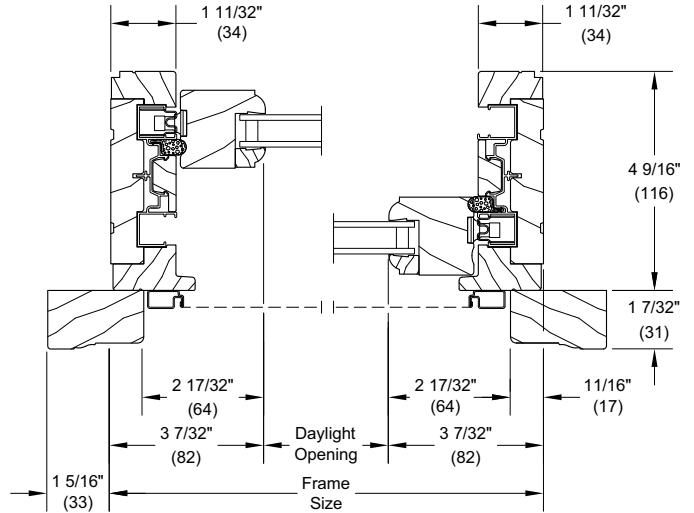
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Double Hung

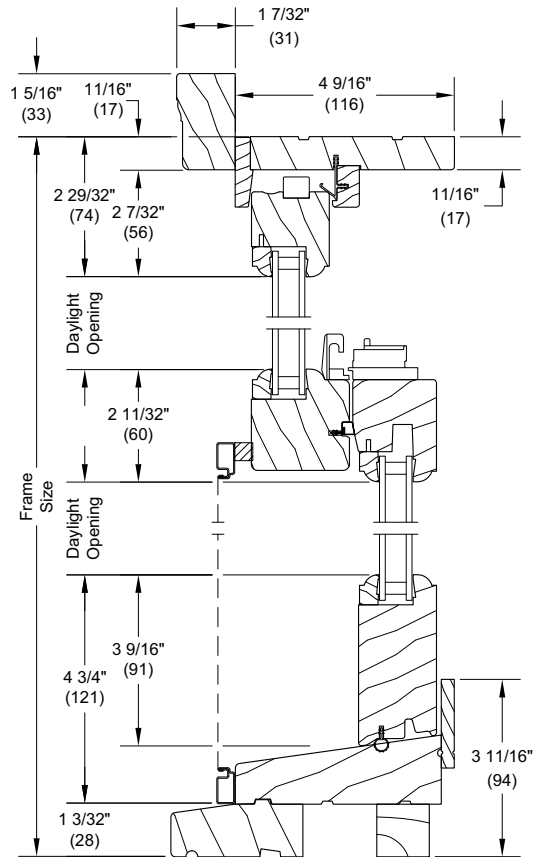


Lower Sash

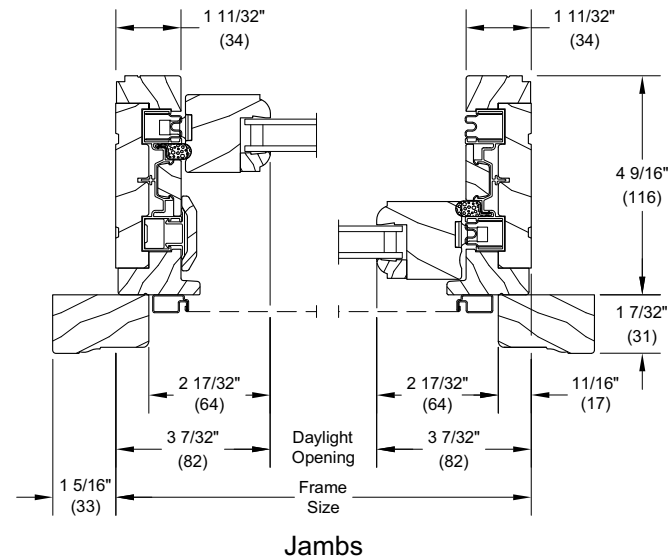
Upper Sash



Jambs



Single Hung



Head Jamb and Sill

