

606 WEST 42ND STREET REHABILITATION

606 West 42nd Street

Cuyler-Brownville
Historic District

PIN# 20073 33022

HPC SET - DEC. 7, 2022



PROJECT DESCRIPTION:

THIS SUBMITTAL SEEKS THE APPROVAL FOR THE RENOVATION OF 606 WEST 42ND STREET, IN SAVANNAH'S CUYLER BROWNVILLE HISTORIC DISTRICT. THE 1-STORY DWELLING WAS CONSTRUCTED CA. 1901. THE HISTORIC HOUSE WILL BE RENOVATED WHILE ADHERING TO THE SECRETARY OF INTERIOR'S STANDARDS IN ORDER TO RECEIVE TAX CREDITS.

INTERIOR

INTERIOR MODIFICATIONS INCLUDE NEW PLUMBING, ELECTRICAL AND HVAC AND RENOVATING THE EXISTING BATHROOM AND KITCHEN. EXISTING FLOORING, PLASTER, TRIM, AND DOORS WILL REMAIN AND BE REPAIRED 'IN KIND' WHERE NECESSARY.

EXTERIOR

ALL EXTERIOR WINDOWS WILL BE RETAINED. NEW WOOD T&G WINDOWS WILL BE INSTALLED IN EXISTING OPENINGS IF NECESSARY. A NEW WOOD PANELED DOOR WILL BE INSTALLED IN THE FRONT ENTRY. THE EXISTING ASPHALT ROOF WILL BE REMOVED AND REPLACED WITH A NEW ASPHALT SHINGLE ROOF. THERE WILL ALSO BE REPAIRING AND/OR REPLACEMENT OF DAMAGED WOOD FRAMING, CEMENT FIBER SIDING AND WOOD TRIM WHERE NECESSARY. ALL EXTERIOR WOOD AND SIDING WILL BE PAINTED.

PROJECT PARAMETERS:

ZONING: TR-1
 REQUIRED FRONT YARD SETBACK: 5'-0" MIN, 10'-0" MAX
 REQUIRED SIDE YARD SETBACK: 3'-0"
 REQUIRED REAR YARD SETBACK: 20'-0"
 ALLOWABLE LOT COVERAGE: 50%
 LOT SIZE: 1700 SF (20' X 85')
 EXISTING LOT COVERAGE: 1015 SF
 PROPOSED ADDITIONS: 0 SF
 PROPOSED LOT COVERAGE: 1015 SF

DRAWING INDEX:

G000A	COVER SHEET
G001A	606 W 42ND ST CONTEXT
G002A	606 W 42ND ST EXISTING CONDITIONS
D101A	606 W 42ND ST EXISTING PLANS
A101A	606 W 42ND ST PROPOSED PLANS
A201A	606 W 42ND ST SOUTH AND NORTH ELEVATIONS
A202A	606 W 42ND ST WEST ELEVATIONS
A203A	606 W 42ND ST EAST ELEVATIONS



625 EAST 44TH STREET
SAVANNAH, GA
31405
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**606, 620, 634
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COVER SHEET

PROJECT NO. 2215.00
DATE 12.07.2022
SHEET NO.

G000A

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WEST 42ND ST. LOOKNG NE



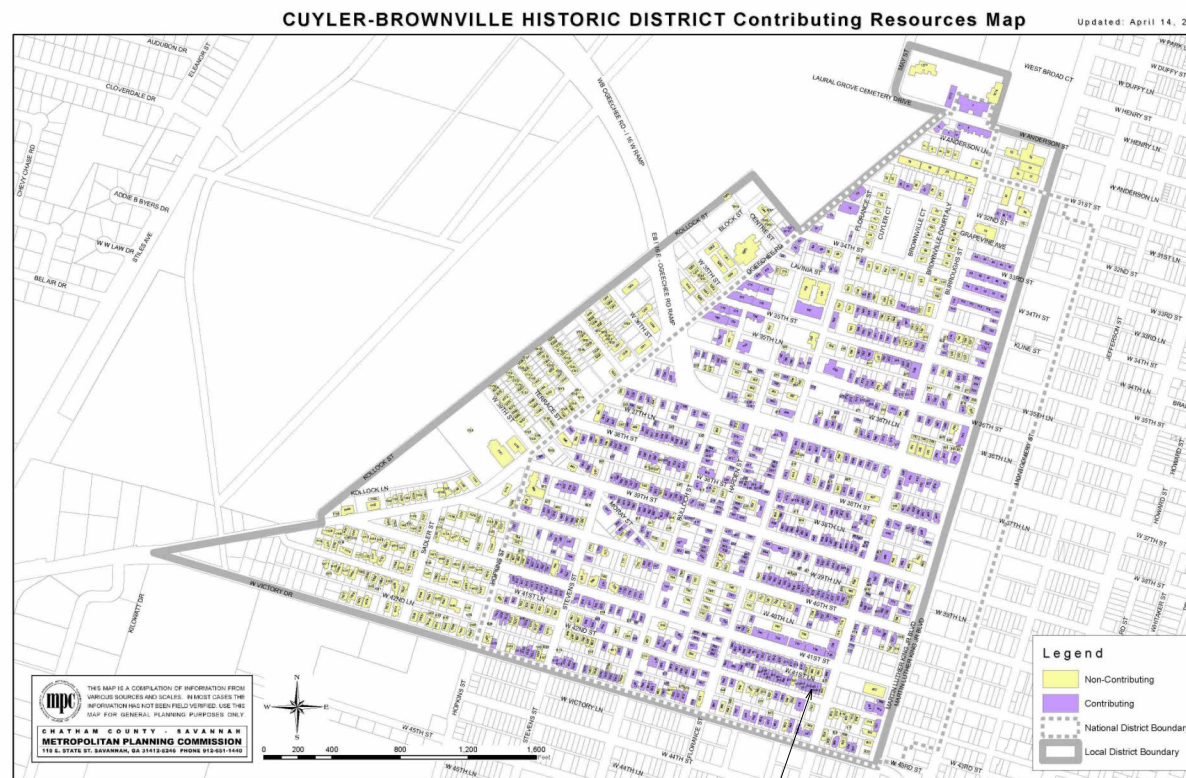
WEST 42ND ST. LOOKNG NW



WEST 42ND ST. LOOKNG SW



AERIAL



SITE

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606 W 42ND ST
CONTEXT

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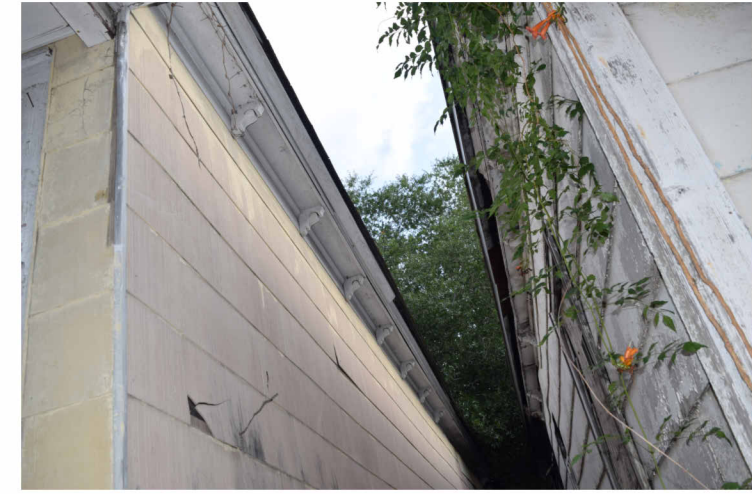
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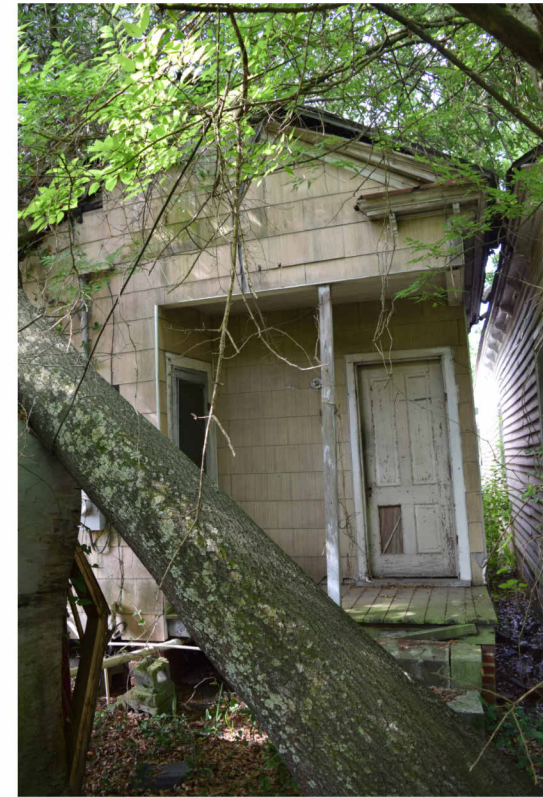
SOUTH ELEVATION



SOUTH ELEVATION - DETAIL



EAST ELEVATION



NORTH ELEVATION



NORTH ELEVATION DETAIL



WEST ELEVATION - NORTH END



WEST ELEVATION - SOUTH END

01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20

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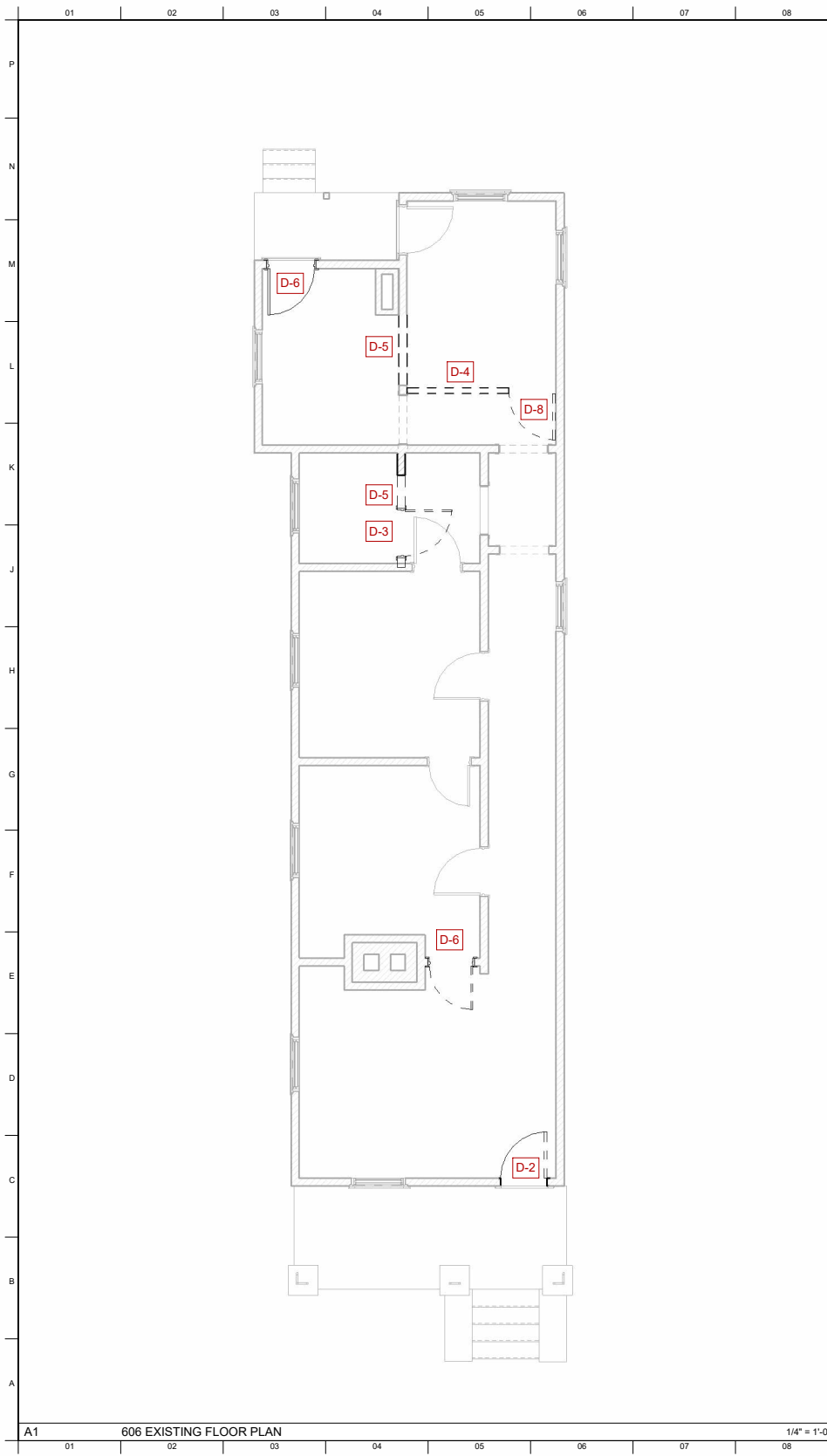
606, 620, 634
WEST 42ND
STREET
SAVANNAH, GA, 31515

606 W 42ND ST
EXISTING
CONDITIONS

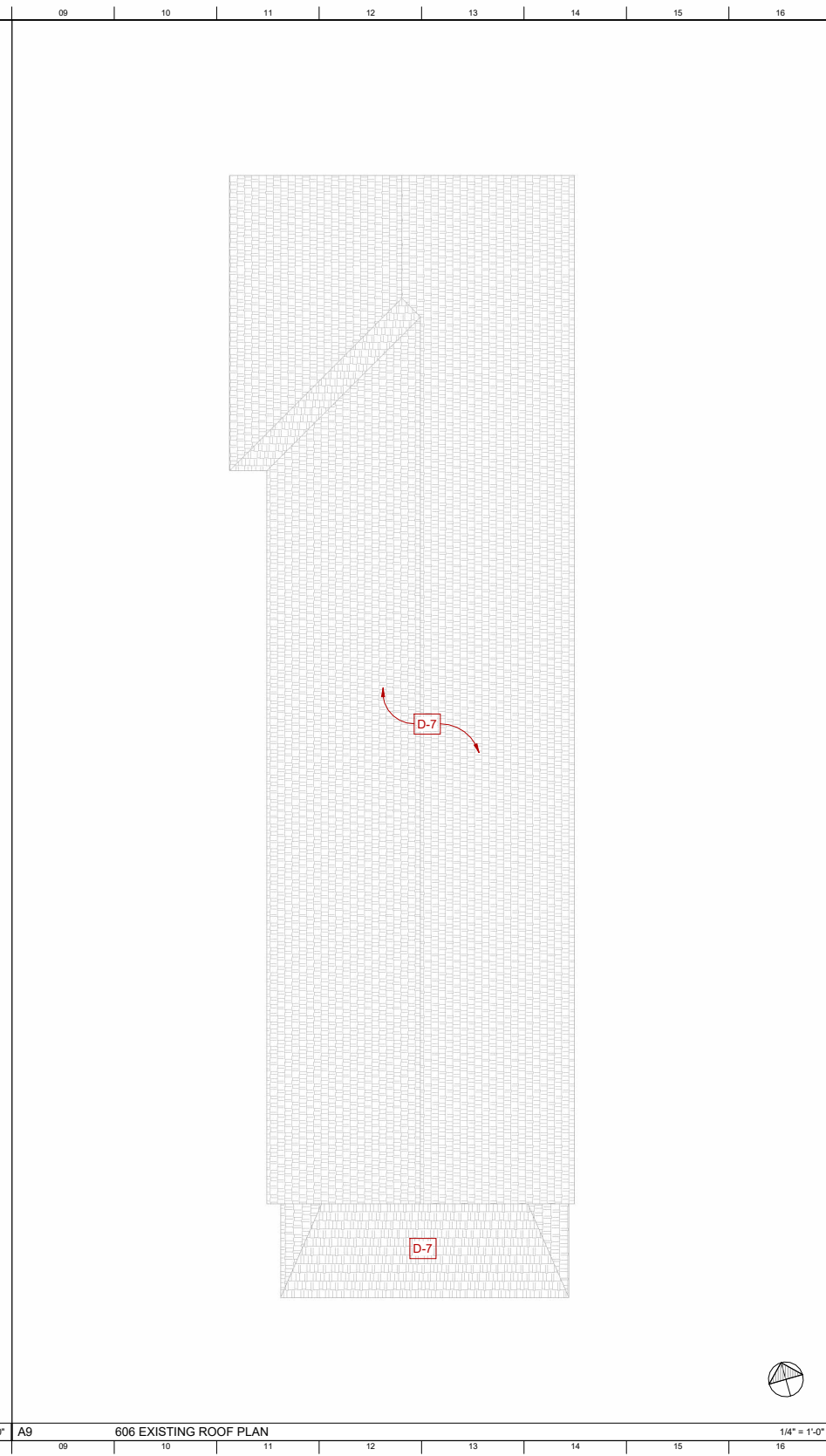
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606 EXISTING FLOOR PLAN



606 EXISTING ROOF PLAN

DEMO LEGEND	
	EXISTING PARTITION
	DEMOLISHED PARTITION
	MATERIAL TO BE REMOVED

GENERAL DEMOLITION NOTES

- * BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL REQUIRED FEES BY THE CITY/COUNTY HAVING JURISDICTION. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF THE LOCAL AUTHORITIES.
- * THE CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND WILL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS.
- * DISCONNECT ANY EXISTING ACTIVE UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. THE CONTRACTOR IS TO COORDINATE TEMPORARY UTILITIES WITH CITY UTILITY COMPANIES, AND OWNER DURING THE COURSE OF CONSTRUCTION.
- * CONSULT WITH THE ARCHITECT BEFORE THE DEMOLITION OF ANY HISTORIC FABRIC UNLESS NOTED ON THE DRAWINGS. THIS PERTAINS TO ALL STRUCTURE, HARDWARE, FENESTRATION, FINISHES, FIXTURES, AND/OR EQUIPMENT.
- * ALL SHORING NECESSARY FOR TEMPORARY SUPPORT OF EXISTING WALLS, FLOORS, OR ROOFS DURING DEMOLITION SHALL BE PROVIDED AND DESIGNED BY THE CONTRACTOR.
- * COORDINATE THE PATCHING AND REPAIRING OF ANY EXTERIOR PENETRATIONS WITH NEW CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ALL EXISTING CONSTRUCTION TO REMAIN THAT IS DAMAGED DURING DEMOLITION.
- * ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/STRUCTURE UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS NOTED OTHERWISE.
- * DO NOT TO SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

DEMOLITION NOTES	
D-1	REMOVE NON-HISTORIC WINDOW
D-2	REMOVE NON-HISTORIC DOOR
D-3	REMOVE HISTORIC DOOR, STORE ON SITE OR REUSE.
D-4	REMOVE NON-HISTORIC WALL OR INFILL
D-5	REMOVE WALL AND DOOR, RETAINING PORTION AT TOP AS SOFFIT TO MARK HISTORIC WALL LOCATION.
D-6	FIX HISTORIC DOOR IN PLACE OR REMOVE DOOR FOR REUSE AND INFILL, RETAINING TRIM ON AT LEAST ONE SIDE.
D-7	REMOVE ROOFING MATERIAL. CONTRACTOR TO REPAIR AND REPLACE ROOF SHEATHING AS NECESSARY.
D-8	REMOVE HISTORIC EXTERIOR DOOR AND RELOCATE TO FRONT DOOR.



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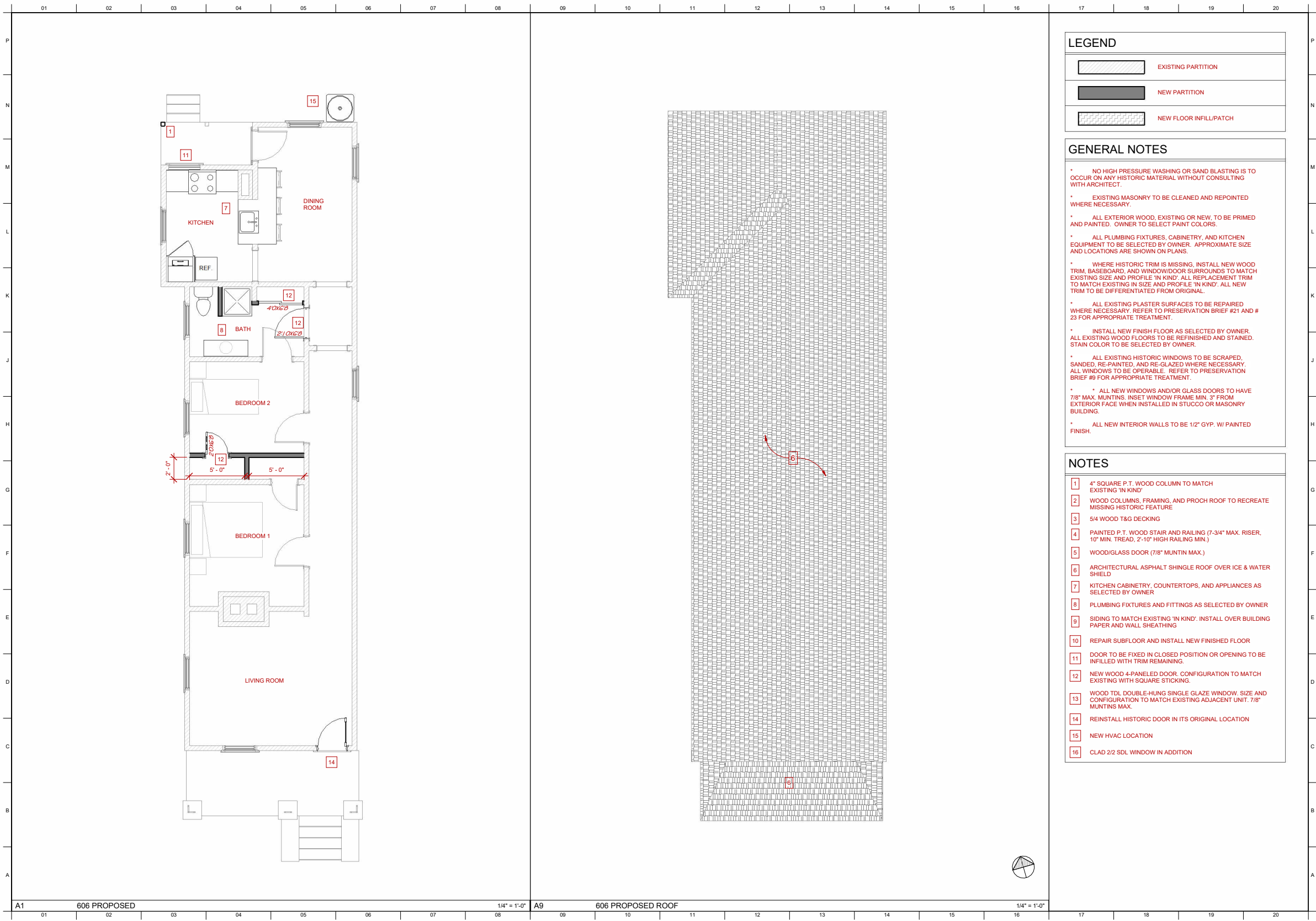
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606 W 42ND ST
EXISTING PLANS

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SHEET NO.

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LEGEND

	EXISTING PARTITION
	NEW PARTITION
	NEW FLOOR INFILL/PATCH

GENERAL NOTES

- * NO HIGH PRESSURE WASHING OR SAND BLASTING IS TO OCCUR ON ANY HISTORIC MATERIAL WITHOUT CONSULTING WITH ARCHITECT.
- * EXISTING MASONRY TO BE CLEANED AND REPOINTED WHERE NECESSARY.
- * ALL EXTERIOR WOOD, EXISTING OR NEW, TO BE PRIMED AND PAINTED. OWNER TO SELECT PAINT COLORS.
- * ALL PLUMBING FIXTURES, CABINETS, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.
- * WHERE HISTORIC TRIM IS MISSING, INSTALL NEW WOOD TRIM, BASEBOARD, AND WINDOW/DOOR SURROUNDS TO MATCH EXISTING SIZE AND PROFILE 'IN KIND'. ALL REPLACEMENT TRIM TO MATCH EXISTING IN SIZE AND PROFILE 'IN KIND'. ALL NEW TRIM TO BE DIFFERENTIATED FROM ORIGINAL.
- * ALL EXISTING PLASTER SURFACES TO BE REPAIRED WHERE NECESSARY. REFER TO PRESERVATION BRIEF #21 AND #23 FOR APPROPRIATE TREATMENT.
- * INSTALL NEW FINISH FLOOR AS SELECTED BY OWNER. ALL EXISTING WOOD FLOORS TO BE REFINISHED AND STAINED. STAIN COLOR TO BE SELECTED BY OWNER.
- * ALL EXISTING HISTORIC WINDOWS TO BE SCRAPPED, SANDED, RE-PAINTED, AND RE-GLAZED WHERE NECESSARY. ALL WINDOWS TO BE OPERABLE. REFER TO PRESERVATION BRIEF #9 FOR APPROPRIATE TREATMENT.
- * ALL NEW WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS. INSET WINDOW FRAME MIN. 3" FROM EXTERIOR FACE WHEN INSTALLED IN STUCCO OR MASONRY BUILDING.
- * ALL NEW INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH.

NOTES

- 1 4" SQUARE P.T. WOOD COLUMN TO MATCH EXISTING 'IN KIND'
- 2 WOOD COLUMNS, FRAMING, AND PROCH ROOF TO RECREATE MISSING HISTORIC FEATURE
- 3 5/4 WOOD T&G DECKING
- 4 PAINTED P.T. WOOD STAIR AND RAILING (7-3/4" MAX. RISER, 10" MIN. TREAD, 2'-10" HIGH RAILING MIN.)
- 5 WOOD/GLASS DOOR (7/8" MUNTIN MAX.)
- 6 ARCHITECTURAL ASPHALT SHINGLE ROOF OVER ICE & WATER SHIELD
- 7 KITCHEN CABINETS, COUNTERTOPS, AND APPLIANCES AS SELECTED BY OWNER
- 8 PLUMBING FIXTURES AND FITTINGS AS SELECTED BY OWNER
- 9 SIDING TO MATCH EXISTING 'IN KIND'. INSTALL OVER BUILDING PAPER AND WALL SHEATHING
- 10 REPAIR SUBFLOOR AND INSTALL NEW FINISHED FLOOR
- 11 DOOR TO BE FIXED IN CLOSED POSITION OR OPENING TO BE INFILLED WITH TRIM REMAINING.
- 12 NEW WOOD 4-PANELED DOOR. CONFIGURATION TO MATCH EXISTING WITH SQUARE STICKING.
- 13 WOOD TDL DOUBLE-HUNG SINGLE GLAZE WINDOW. SIZE AND CONFIGURATION TO MATCH EXISTING ADJACENT UNIT. 7/8" MUNTINS MAX.
- 14 REINSTALL HISTORIC DOOR IN ITS ORIGINAL LOCATION
- 15 NEW HVAC LOCATION
- 16 CLAD 2/2 SDL WINDOW IN ADDITION



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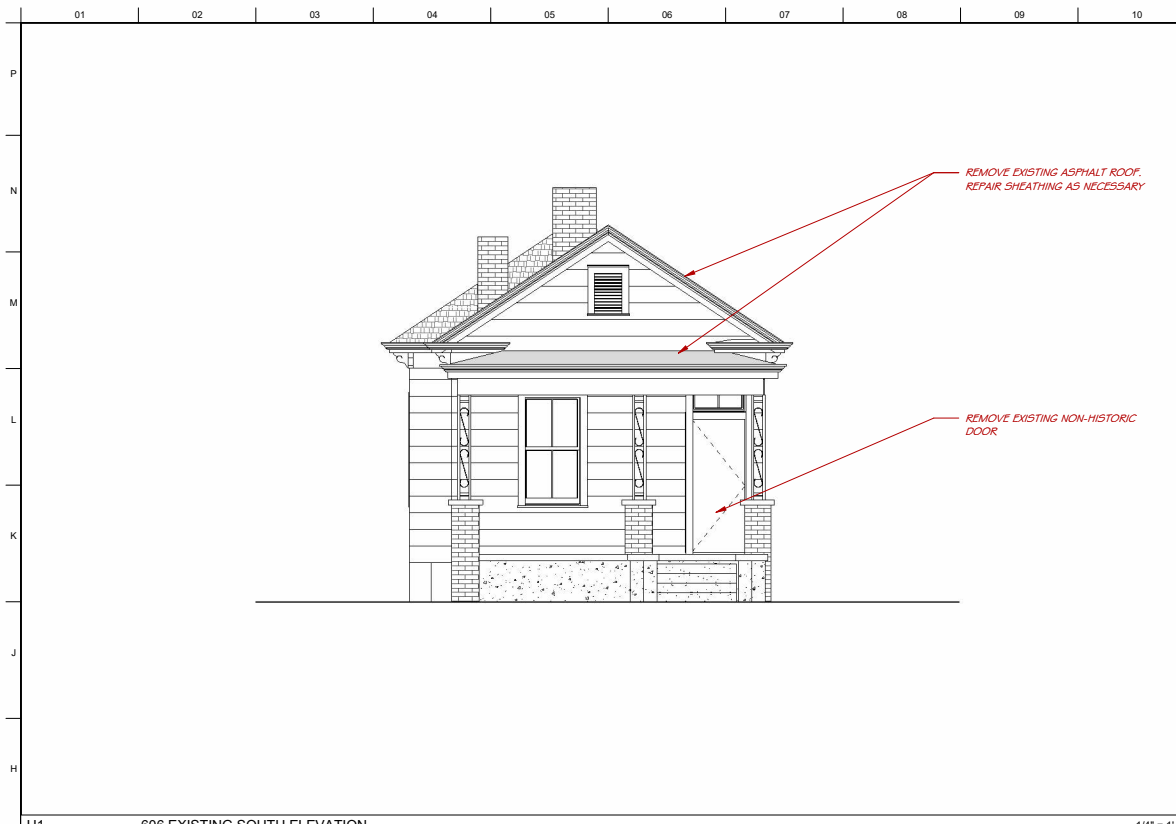
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606 W 42ND ST
PROPOSED PLANS

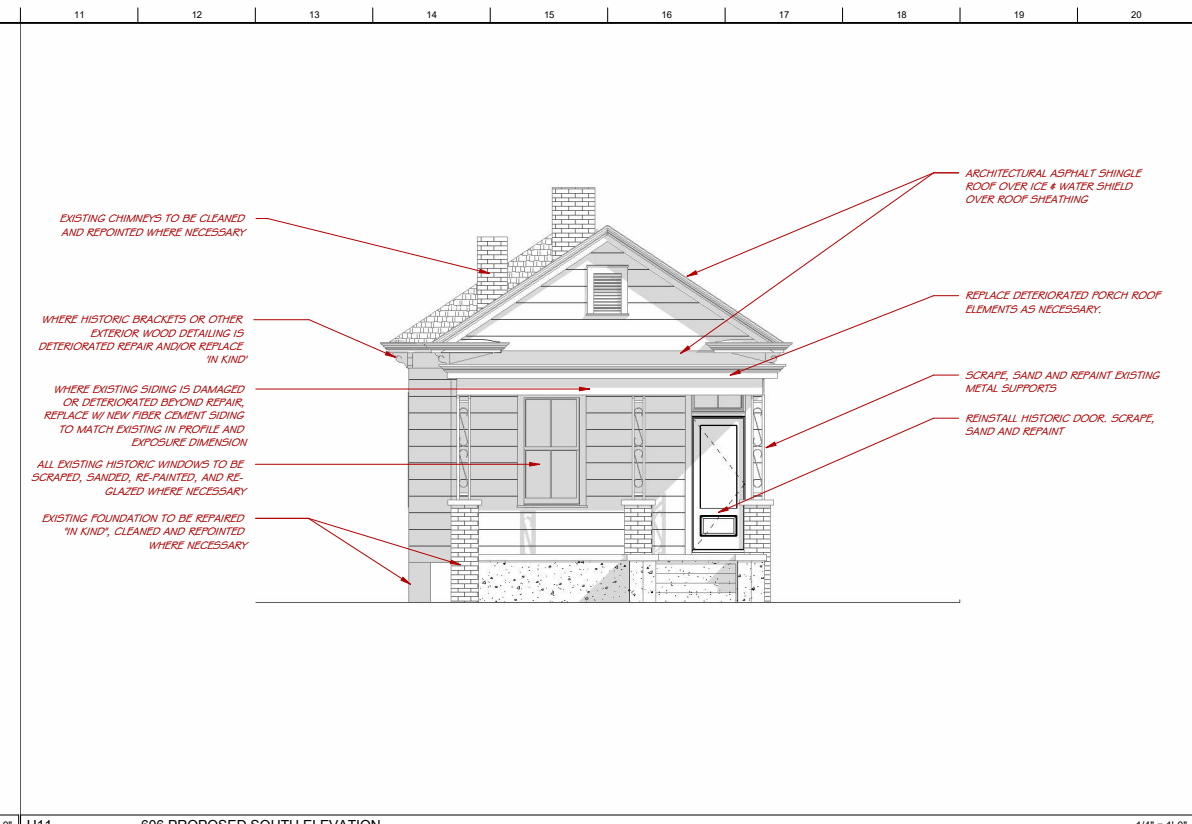
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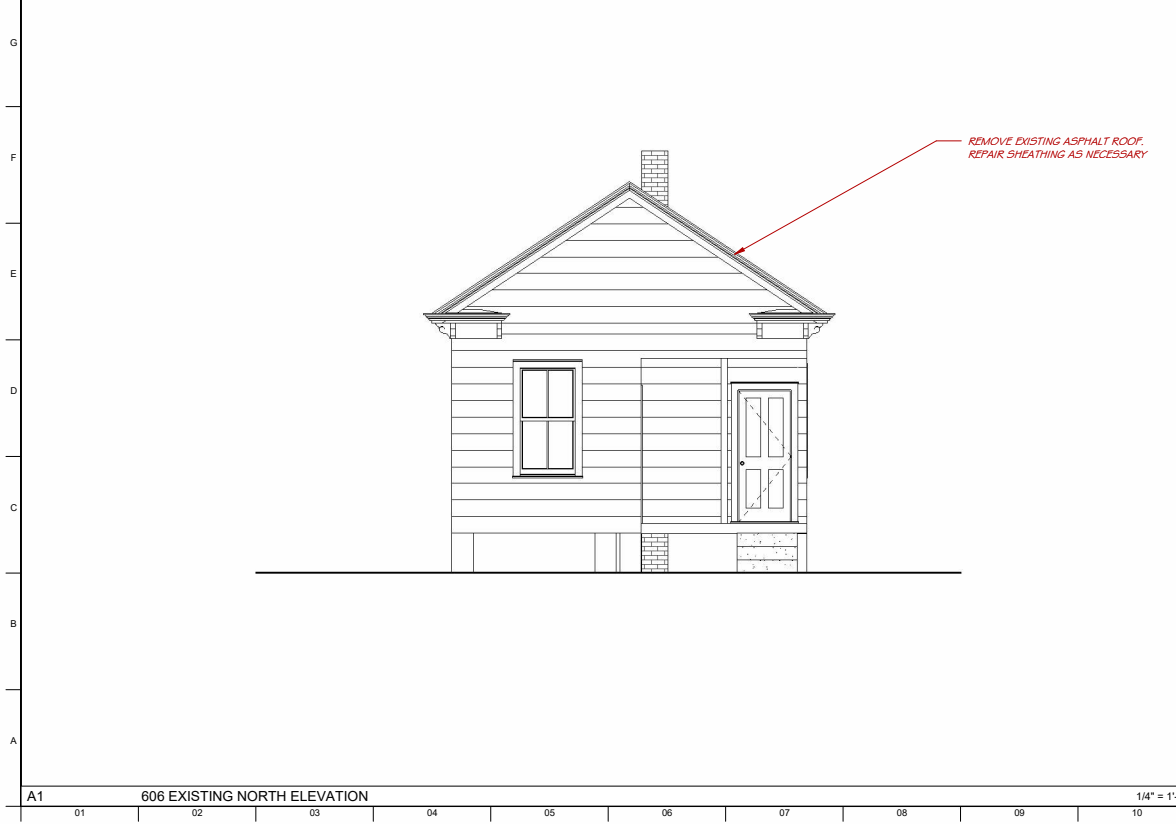
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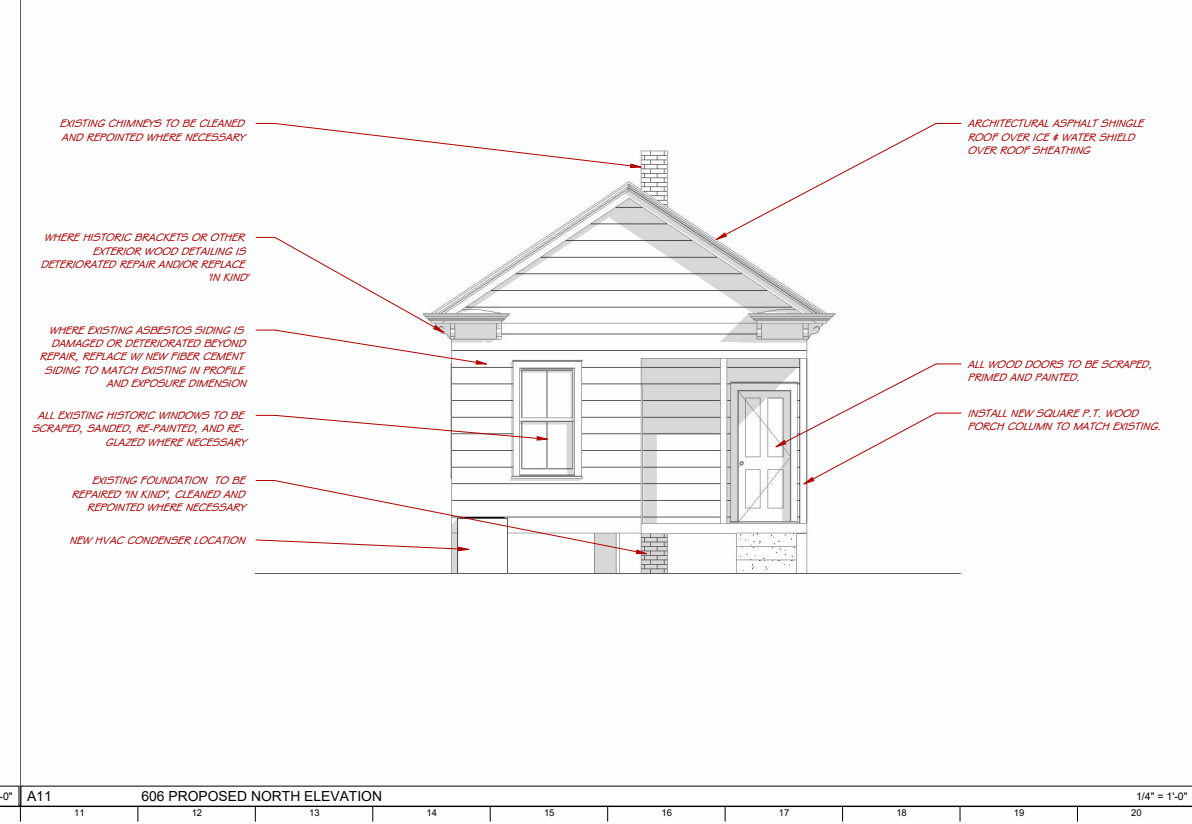
H1 606 EXISTING SOUTH ELEVATION 1/4" = 1'-0"



H11 606 PROPOSED SOUTH ELEVATION 1/4" = 1'-0"



A1 606 EXISTING NORTH ELEVATION 1/4" = 1'-0"



A11 606 PROPOSED NORTH ELEVATION 1/4" = 1'-0"



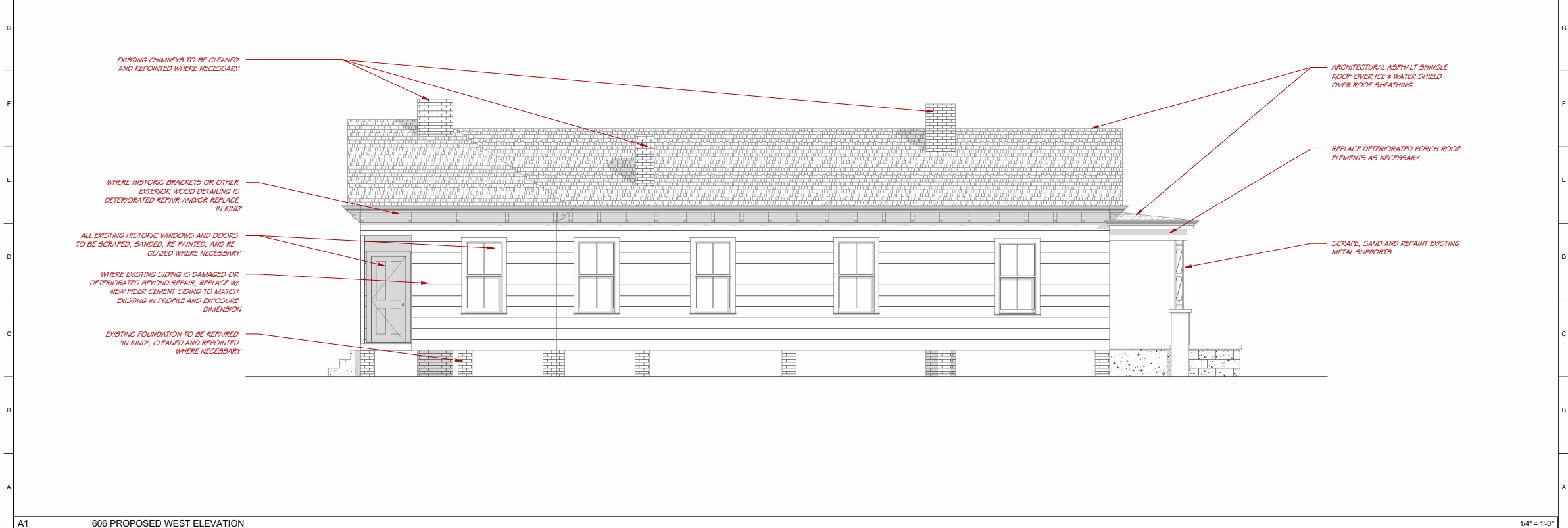
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H1 606 EXISTING WEST ELEVATION

1/4" = 1'-0"



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606 W 42ND ST
WEST ELEVATIONS

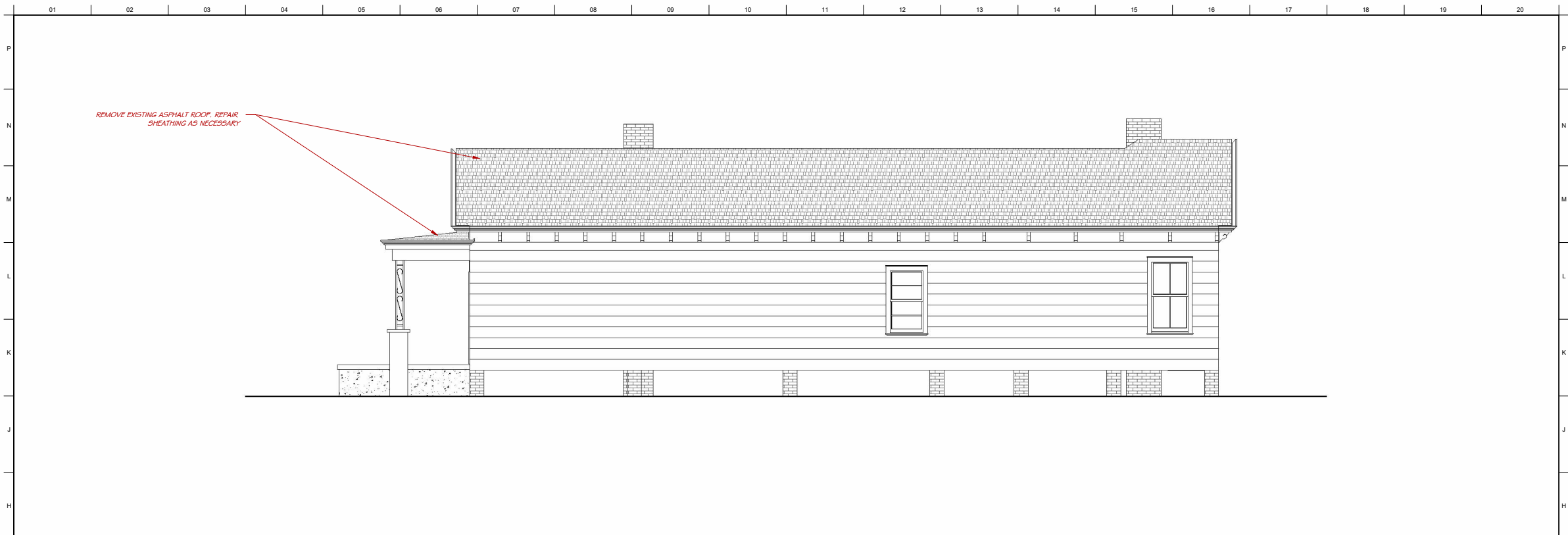
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A1 606 PROPOSED WEST ELEVATION

1/4" = 1'-0"

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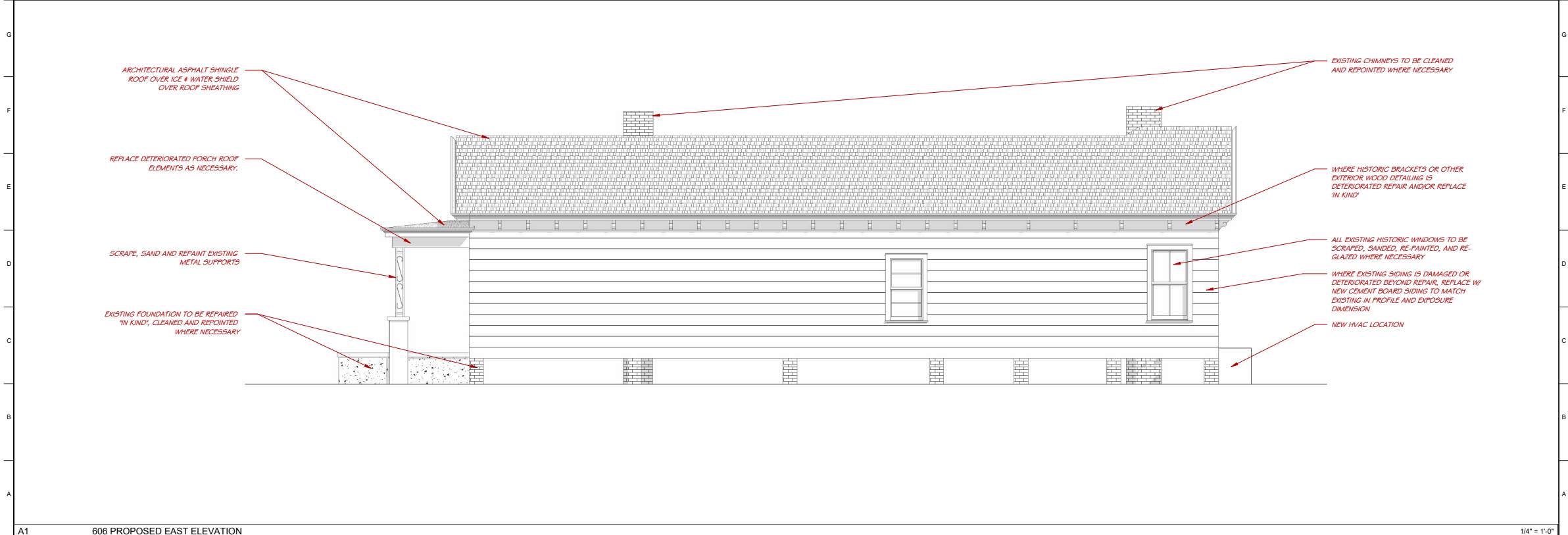
H1 606 EXISTING EAST ELEVATION

1/4" = 1'-0"



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A1 606 PROPOSED EAST ELEVATION

1/4" = 1'-0"

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WEST 42ND
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606 W 42ND ST EAST
ELEVATIONS

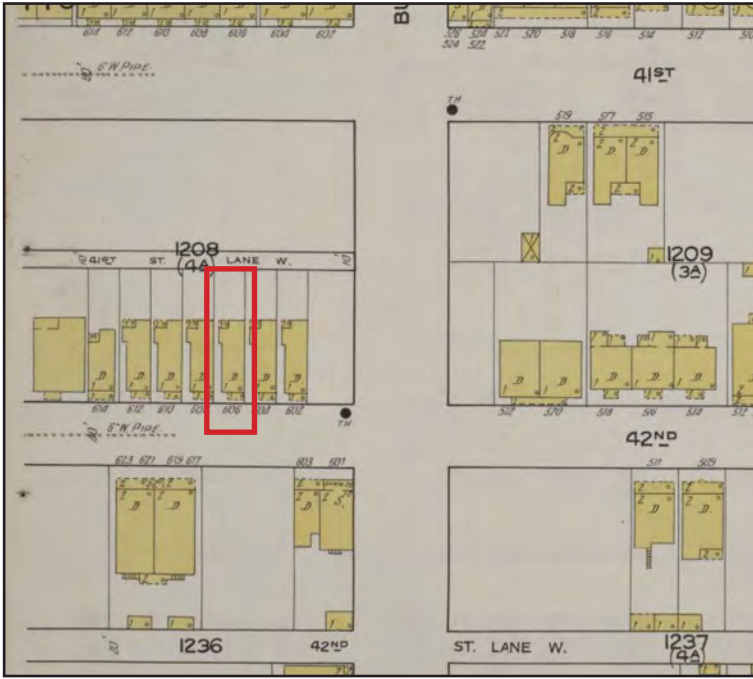
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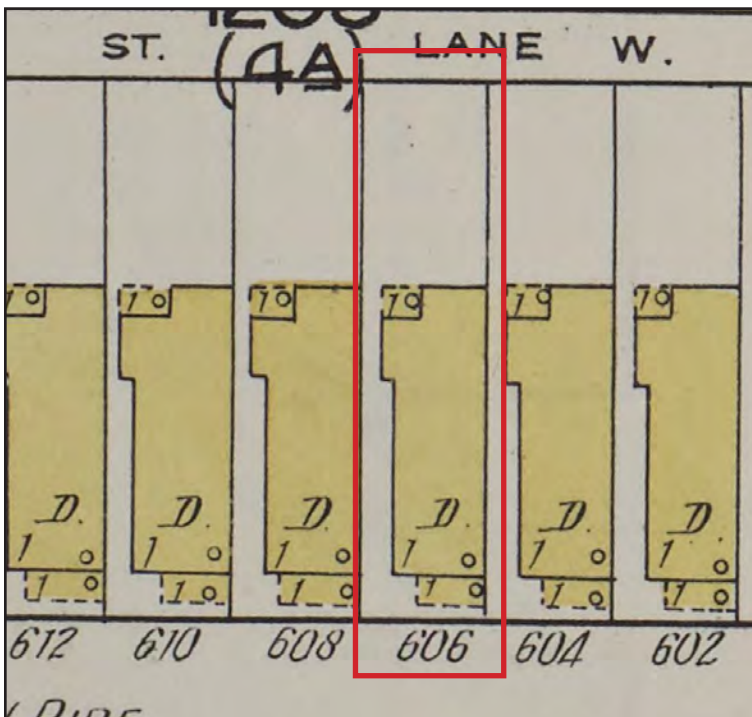
Honza Properties LLC, Shotgun
606 West 42nd Street, Savannah, GA
Cuyler-Brownville Historic District

Illustrated History. North is at the top.



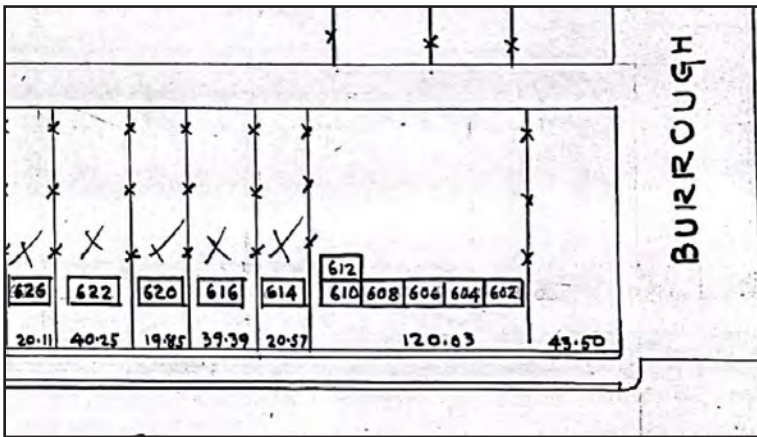
1916

The 1916 Sanborn Fire Insurance Map shows the east half of the 600 block of West 42nd Street near Burroughs. The area is a developing residential neighborhood with one- and two-story, attached and detached, wood frame dwellings. This is the first depiction of the subject property on the map. Sixteen shotgun houses on West 42nd Street were all developed simultaneously in 1900. Soon after ownership of the properties was divided between investors. The houses at 602-612 West 42nd Street were all expanded at the rear prior to the publication of the 1916 Sanborn map and have the same footprint.



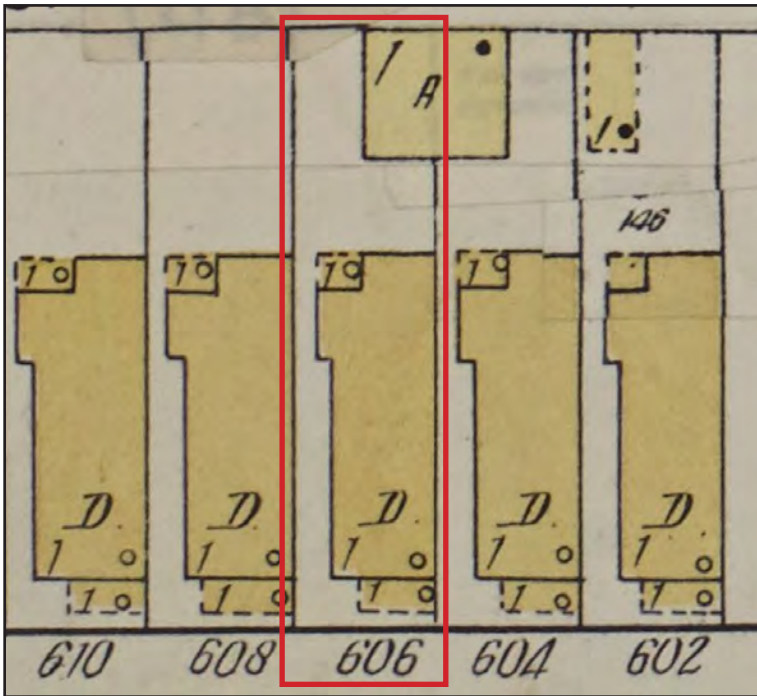
1916

A detail of the 1916 Sanborn shows a one-story, detached, wood frame dwelling, rectangular in shape. It features a partial-width, entry porch and a small recessed porch in the northeast corner. All roofs are finished in tin. The wider portion at the rear is an extension of the 1900 structure added between 1903 and 1916.



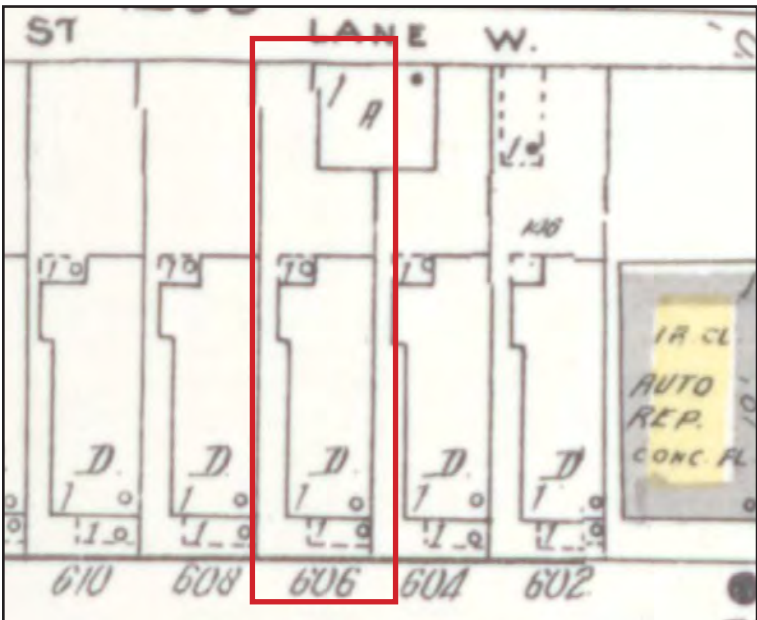
1936

There are no individual cadastral surveys for the shotguns at 602-612 West 42nd Street. However a field sketch detail from the 1936 Cadastral Survey map of Block 4 in Stiles Ward illustrates the building at 606 West 42nd Street as part of a shared parcel with the neighboring shotguns.



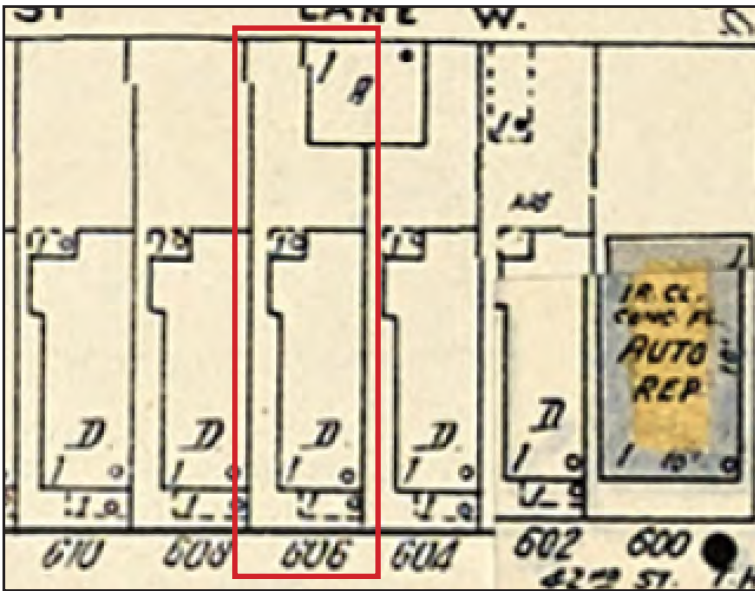
1916-1950

A detail of the 1916 Sanborn Map revised through 1950 shows no physical changes to the structure; however, there is now a wood frame garage with a composition roof along the lane. The structure appears to be shared with 604 West 42nd Street.



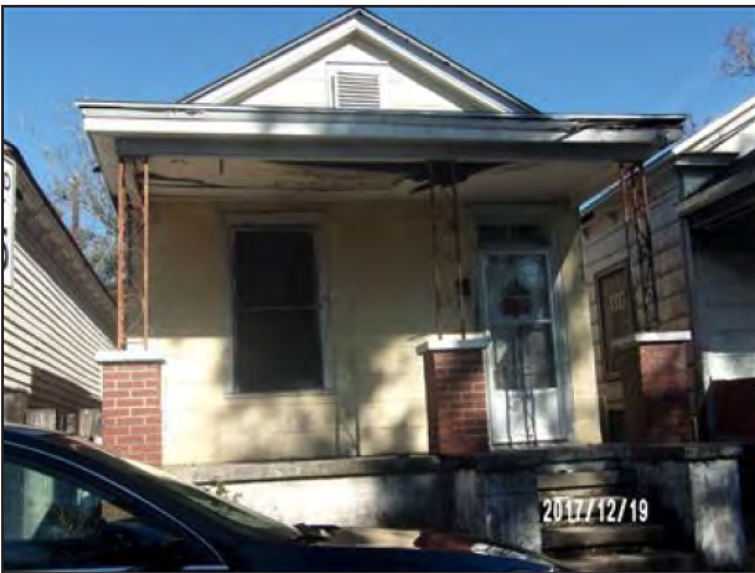
1955

A detail of the 1955 Sanborn Map shows no changes.



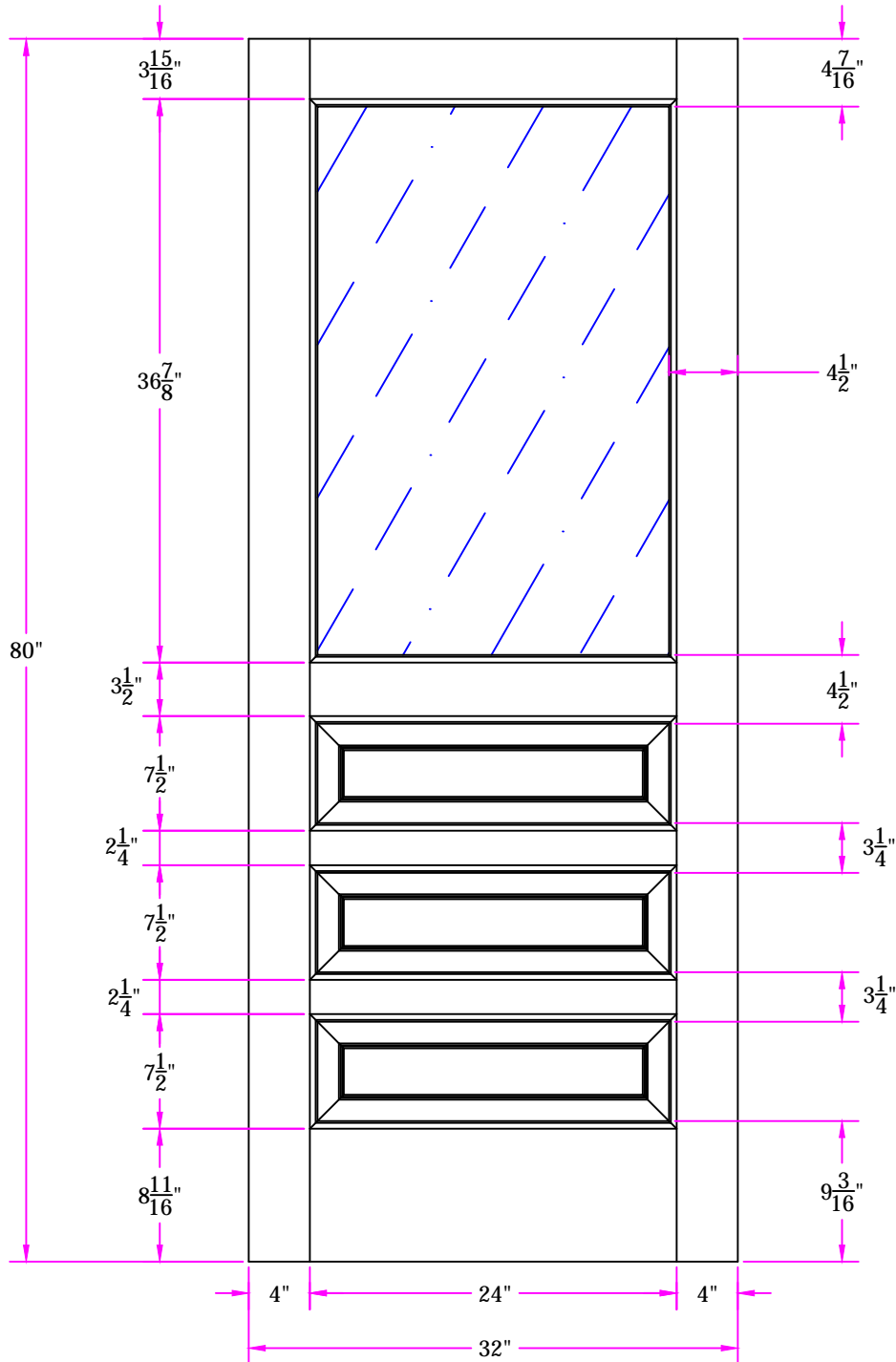
1955-66

A detail of the 1955 Sanborn Map revised through 1966 shows no changes.



2017

One of a row of 16 shotgun houses built circa 1900—originally they all featured elements of Folk Victorian styling with decorative jigsaw brackets on the side of the eaves, a two-light transom over front door, and wood shingles in the gable ends. This example retains the eave brackets and transom. The original wood Folk Victorian style porch was replaced with the existing full width porch with a concrete block foundation and brick piers c.1940. Wood porch column/posts were replaced with existing metal supports c.1960s when asbestos shingles were installed over original clapboard siding. The house maintains its original two-over-two double hung wood windows.



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Revisions

Rev. #	Description	Date	by Whom

TITLE 7118 2/8 x 6/8 Customer Layout		
DRAWING NO. D-7118-208-608-0700		
LAYOUT 00	SCALE NTS	BORE PATTERN # 7007
DRAWN BY: J. Decker		DATE 11/28/2007

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