

634 WEST 42ND STREET REHABILITATION

634 West 42nd Street

Cuyler-Brownville
Historic District

PIN# 20073 33034

HPC SET - DEC. 7, 2022



PROJECT DESCRIPTION:

THIS SUBMITTAL SEEKS THE APPROVAL FOR THE RENOVATION OF 634 WEST 42ND STREET, IN SAVANNAH'S CUYLER BROWNVILLE HISTORIC DISTRICT. THE 1-STORY DWELLING WAS CONSTRUCTED CA. 1901. THE HISTORIC HOUSE WILL BE RENOVATED WHILE ADHERING TO THE SECRETARY OF INTERIOR'S STANDARDS IN ORDER TO RECEIVE TAX CREDITS.

INTERIOR
INTERIOR MODIFICATIONS INCLUDE NEW PLUMBING, ELECTRICAL AND HVAC AND RENOVATING THE KITCHEN AND BATHROOM. EXISTING FLOORING, PLASTER, TRIM, AND DOORS WILL REMAIN AND BE REPAIRED 'IN KIND' WHERE NECESSARY.

EXTERIOR
EXTERIOR MODIFICATIONS INCLUDE REMOVING AND REPLACING THE ASPHALT SHINGLE ROOF AND INSTALLING WINDOWS IN HISTORIC LOCATIONS. ALL EXTERIOR WINDOWS WILL BE RETAINED. NEW WOOD TDL 6/6 WINDOWS WILL BE INSTALLED IN EXISTING OR HISTORIC OPENINGS IF NECESSARY. THERE WILL ALSO BE REPAIRING AND/OR REPLACEMENT OF DAMAGED WOOD FRAMING, SIDING AND TRIM WHERE NECESSARY ON THE EXTERIOR. ALL EXTERIOR WOOD WILL BE PAINTED.

PROJECT PARAMETERS:

ZONING: TR-1
 REQUIRED FRONT YARD SETBACK: 5'-0" MIN, 10'-0" MAX
 REQUIRED SIDE YARD SETBACK: 3'-0"
 REQUIRED REAR YARD SETBACK: 20'-0"
 ALLOWABLE LOT COVERAGE: 50%
 LOT SIZE: 1700 SF (20' X 85')
 EXISTING LOT COVERAGE: 946 SF
 PROPOSED ADDITIONS: 0 SF
 PROPOSED LOT COVERAGE: 946 SF

DRAWING INDEX:

G000C	COVER SHEET
G001C	634 W 42ND ST CONTEXT
G002C	634 W 42ND ST EXISTING CONDITIONS
D101C	634 W 42ND ST EXISTING PLANS
A101C	634 W 42ND ST PROPOSED PLANS
A201C	634 W 42ND ST SOUTH AND NORTH ELEVATIONS
A202C	634 W 42ND ST WEST ELEVATIONS
A203C	634 W 42ND ST EAST ELEVATIONS



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**606, 620, 634
WEST 42ND
STREET**
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COVER SHEET

PROJECT NO. 2215.00
DATE 12.07.2022
SHEET NO.

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WEST 42ND ST. LOOKNG SW



WEST 42ND ST. LOOKNG NE

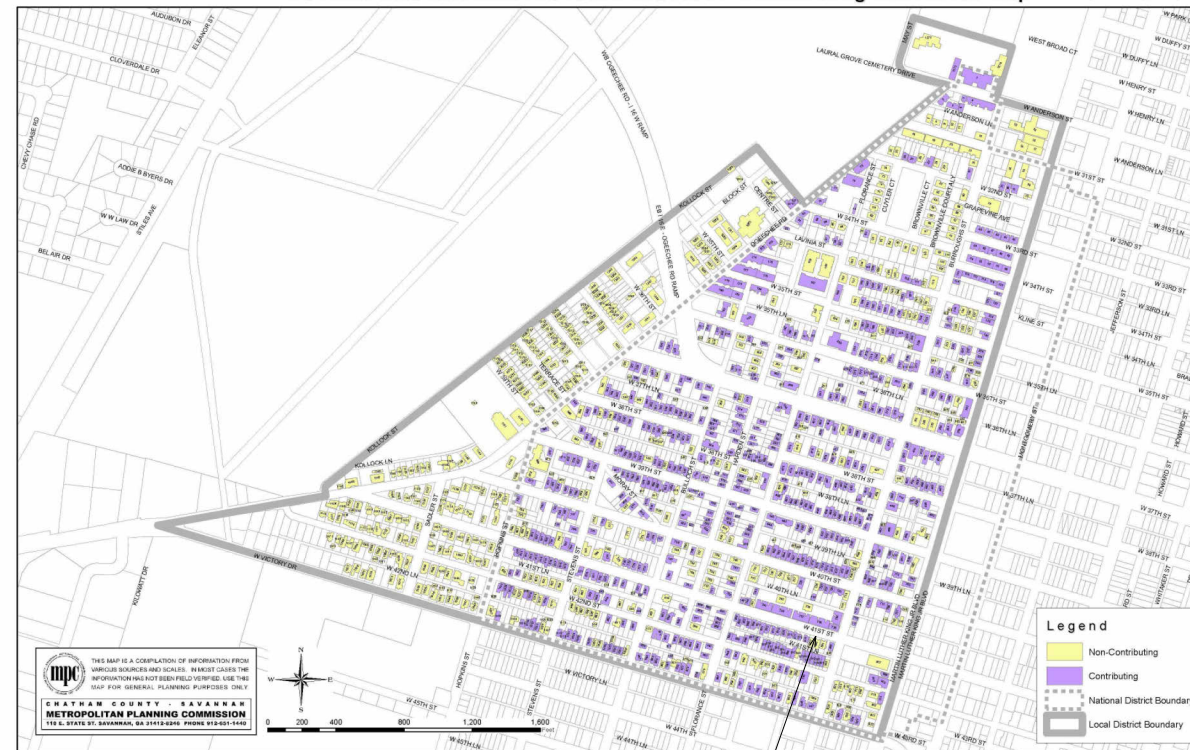


WEST 42ND ST. LOOKNG SE



AERIAL

CUYLER-BROWNVILLE HISTORIC DISTRICT Contributing Resources Map Updated: April 14, 2020



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634 W 42ND ST
CONTEXT

PROJECT NO. 2215.00
DATE 12.07.2022
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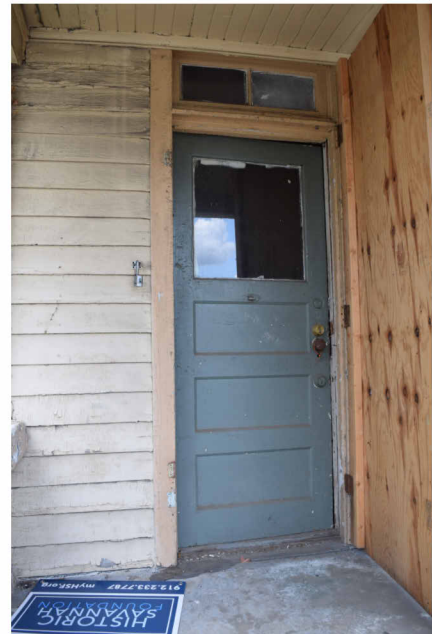
SOUTH ELEVATION



SOUTH ELEVATION PORCH STAIRS



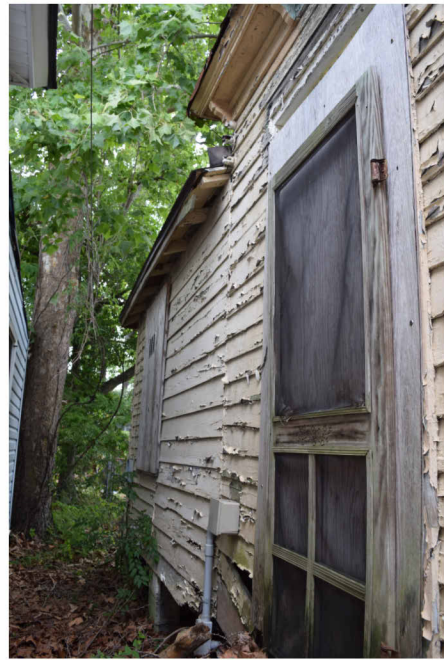
SOUTH ELEVATION PORCH COLUMN



SOUTH ELEVATION ENTRY DOOR



WEST ELEVATION - SOUTH END



WEST ELEVATION - NORTH END



NORTH ELEVATION



EAST ELEVATION

01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20

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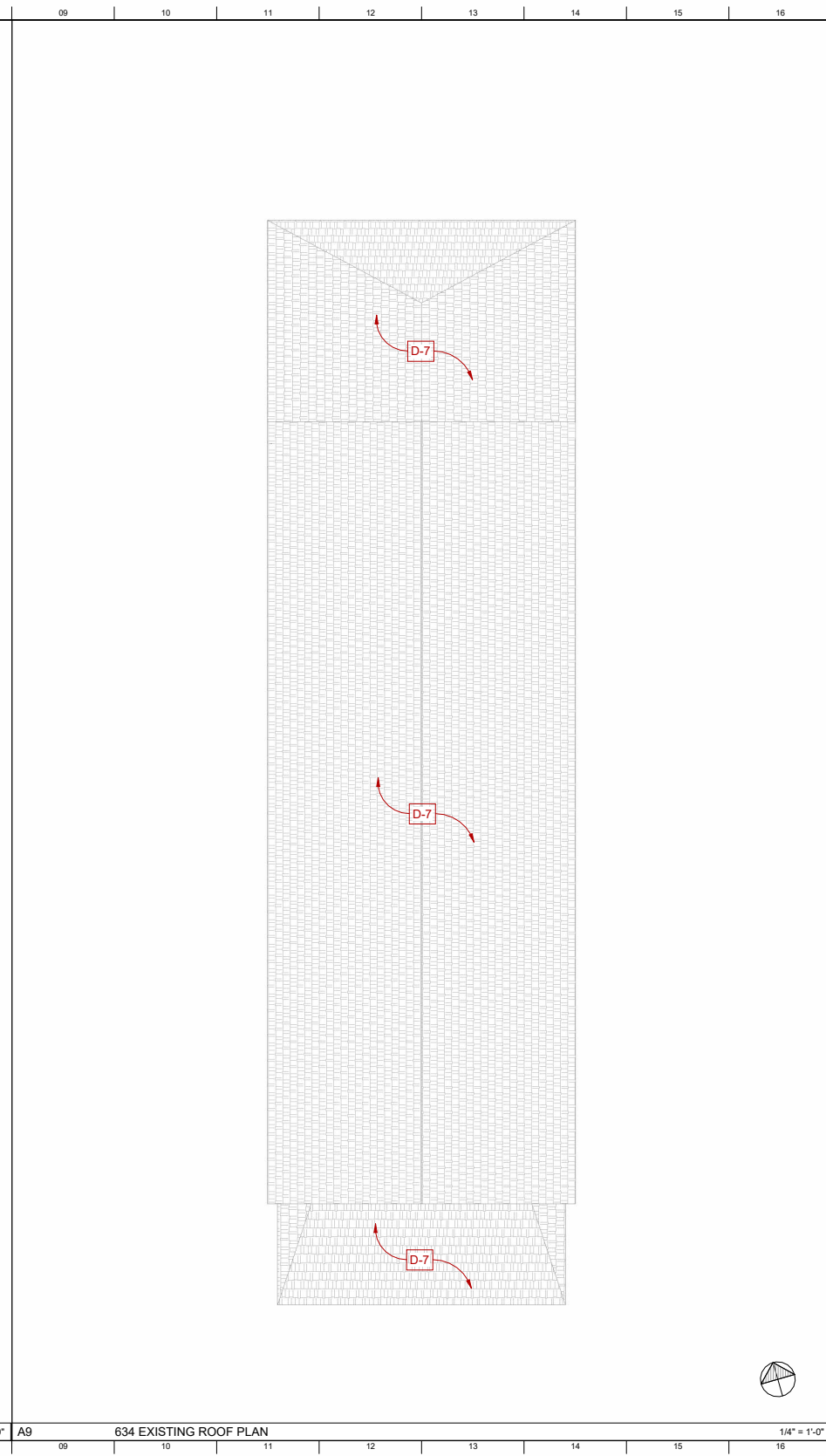
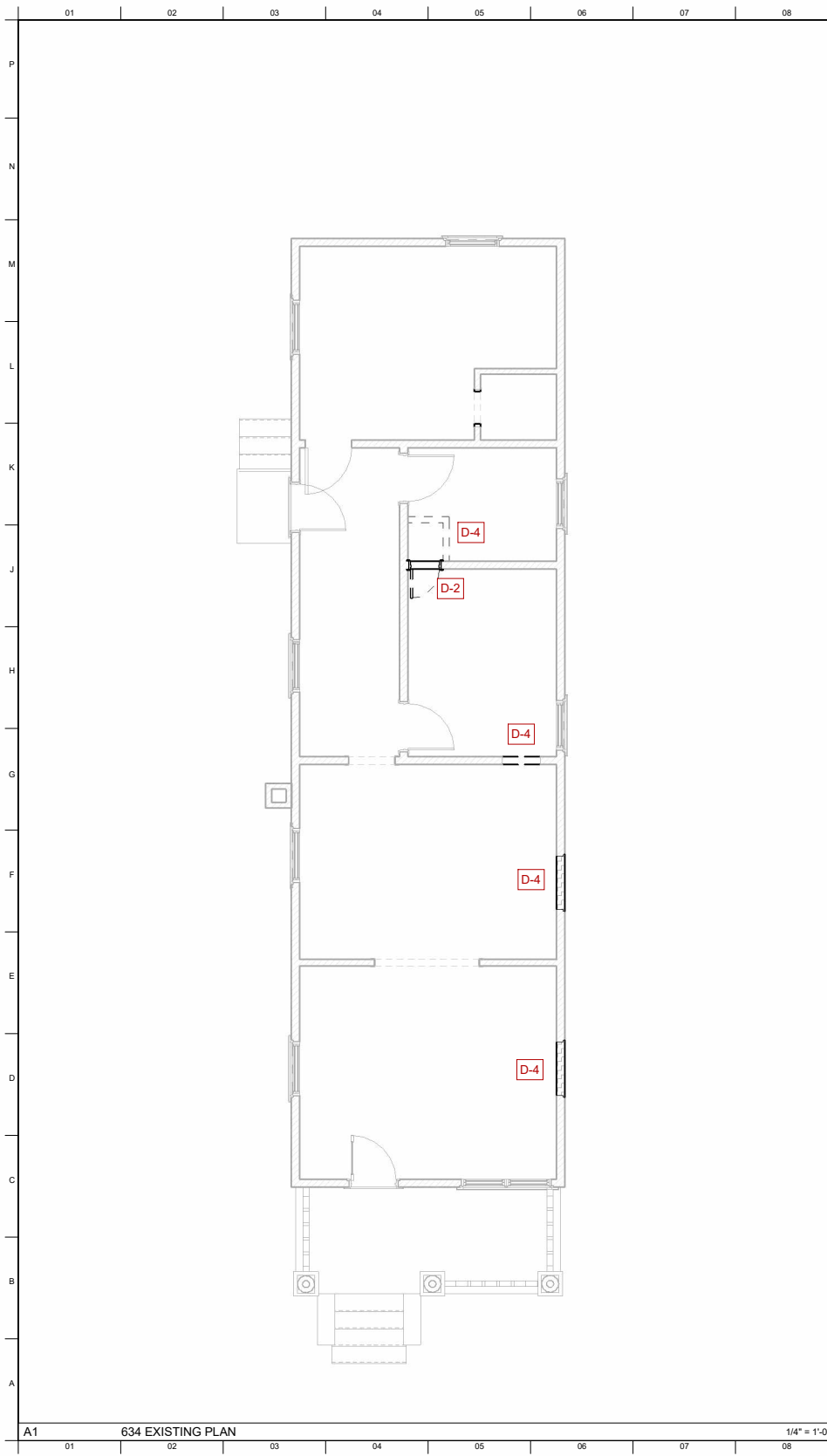
**606, 620, 634
WEST 42ND
STREET**
SAVANNAH, GA, 31515

634 W 42ND ST
EXISTING
CONDITIONS

PROJECT NO. 2215.00
DATE 12.07.2022
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DEMO LEGEND

	EXISTING PARTITION
	DEMOLISHED PARTITION
	MATERIAL TO BE REMOVED

GENERAL DEMOLITION NOTES

- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL REQUIRED FEES BY THE CITY/COUNTY HAVING JURISDICTION. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF THE LOCAL AUTHORITIES.
- THE CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND WILL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS.
- DISCONNECT ANY EXISTING ACTIVE UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. THE CONTRACTOR IS TO COORDINATE TEMPORARY UTILITIES WITH CITY, UTILITY COMPANIES, AND OWNER DURING THE COURSE OF CONSTRUCTION.
- CONSULT WITH THE ARCHITECT BEFORE THE DEMOLITION OF ANY HISTORIC FABRIC UNLESS NOTED ON THE DRAWINGS. THIS PERTAINS TO ALL STRUCTURE, HARDWARE, FENESTRATION, FINISHES, FIXTURES, AND/OR EQUIPMENT.
- ALL SHORING NECESSARY FOR TEMPORARY SUPPORT OF EXISTING WALLS, FLOORS, OR ROOFS DURING DEMOLITION SHALL BE PROVIDED AND DESIGNED BY THE CONTRACTOR.
- COORDINATE THE PATCHING AND REPAIRING OF ANY EXTERIOR PENETRATIONS WITH NEW CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ALL EXISTING CONSTRUCTION TO REMAIN THAT IS DAMAGED DURING DEMOLITION.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/STRUCTURE UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS NOTED OTHERWISE.
- DO NOT TO SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

DEMOLITION NOTES

D-1	REMOVE NON-HISTORIC WINDOW
D-2	REMOVE NON-HISTORIC DOOR
D-3	REMOVE HISTORIC DOOR, STORE ON SITE OR REUSE.
D-4	REMOVE NON-HISTORIC WALL OR INFILL
D-5	REMOVE WALL AND DOOR, RETAINING PORTION AT TOP AS SOFFIT TO MARK HISTORIC WALL LOCATION.
D-6	FIX HISTORIC DOOR IN PLACE OR REMOVE DOOR FOR REUSE AND INFILL, RETAINING TRIM ON AT LEAST ONE SIDE.
D-7	REMOVE ROOFING MATERIAL, CONTRACTOR TO REPAIR AND REPLACE ROOF SHEATHING AS NECESSARY.
D-8	REMOVE HISTORIC EXTERIOR DOOR AND RELOCATE TO FRONT DOOR.



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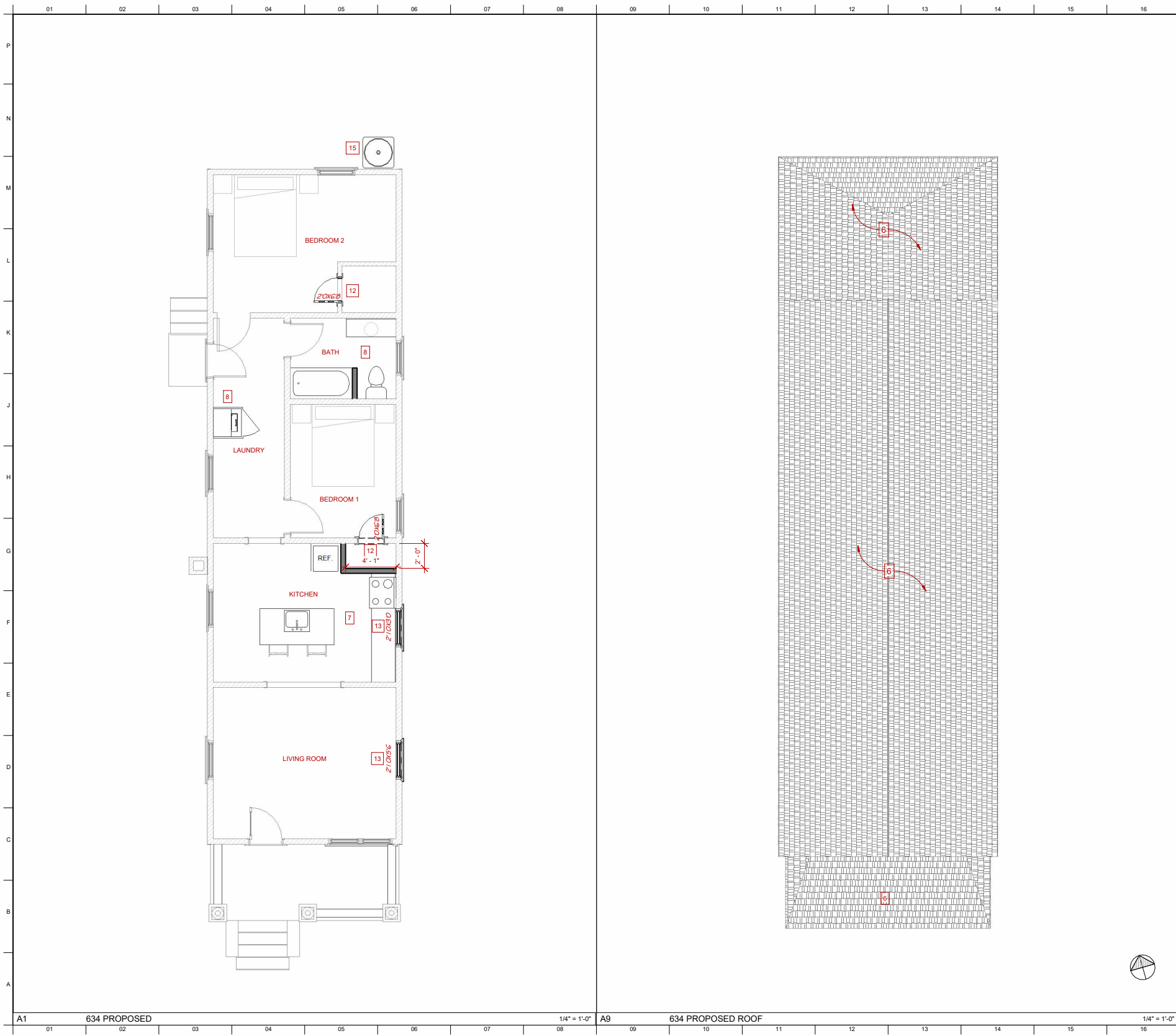
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634 W 42ND ST
EXISTING PLANS

PROJECT NO. 2215.00
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LEGEND	
	EXISTING PARTITION
	NEW PARTITION
	NEW FLOOR INFILL/PATCH

- GENERAL NOTES**
- * NO HIGH PRESSURE WASHING OR SAND BLASTING IS TO OCCUR ON ANY HISTORIC MATERIAL WITHOUT CONSULTING WITH ARCHITECT.
 - * EXISTING MASONRY TO BE CLEANED AND REPOINTED WHERE NECESSARY.
 - * ALL EXTERIOR WOOD, EXISTING OR NEW, TO BE PRIMED AND PAINTED. OWNER TO SELECT PAINT COLORS.
 - * ALL PLUMBING FIXTURES, CABINERY, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.
 - * WHERE HISTORIC TRIM IS MISSING, INSTALL NEW WOOD TRIM, BASEBOARD, AND WINDOW/DOOR SURROUNDS TO MATCH EXISTING SIZE AND PROFILE 'IN KIND'. ALL REPLACEMENT TRIM TO MATCH EXISTING IN SIZE AND PROFILE 'IN KIND'. ALL NEW TRIM TO BE DIFFERENTIATED FROM ORIGINAL.
 - * ALL EXISTING PLASTER SURFACES TO BE REPAIRED WHERE NECESSARY. REFER TO PRESERVATION BRIEF #21 AND #23 FOR APPROPRIATE TREATMENT.
 - * INSTALL NEW FINISH FLOOR AS SELECTED BY OWNER. ALL EXISTING WOOD FLOORS TO BE REFINISHED AND STAINED. STAIN COLOR TO BE SELECTED BY OWNER.
 - * ALL EXISTING HISTORIC WINDOWS TO BE SCRAPPED, SANDED, RE-PAINTED, AND RE-GLAZED WHERE NECESSARY. ALL WINDOWS TO BE OPERABLE. REFER TO PRESERVATION BRIEF #9 FOR APPROPRIATE TREATMENT.
 - * ALL NEW WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS. INSET WINDOW FRAME MIN. 3" FROM EXTERIOR FACE WHEN INSTALLED IN STUCCO OR MASONRY BUILDING.
 - * ALL NEW INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH.

- NOTES**
- 4" SQUARE P.T. WOOD COLUMN TO MATCH EXISTING 'IN KIND'
 - WOOD COLUMNS, FRAMING, AND PROCH ROOF TO RECREATE MISSING HISTORIC FEATURE
 - 5/4 WOOD T&G DECKING
 - PAINTED P.T. WOOD STAIR AND RAILING (7-3/4" MAX. RISER, 10" MIN. TREAD, 2'-10" HIGH RAILING MIN.)
 - WOOD/GLASS DOOR (7/8" MUNTIN MAX.)
 - ARCHITECTURAL ASPHALT SHINGLE ROOF OVER ICE & WATER SHIELD
 - KITCHEN CABINERY, COUNTERTOPS, AND APPLIANCES AS SELECTED BY OWNER
 - PLUMBING FIXTURES AND FITTINGS AS SELECTED BY OWNER
 - SIDING TO MATCH EXISTING 'IN KIND'. INSTALL OVER BUILDING PAPER AND WALL SHEATHING
 - REPAIR SUBFLOOR AND INSTALL NEW FINISHED FLOOR
 - DOOR TO BE FIXED IN CLOSED POSITION OR OPENING TO BE INFILLED WITH TRIM REMAINING.
 - NEW WOOD 4-PANELED DOOR. CONFIGURATION TO MATCH EXISTING WITH SQUARE STICKING.
 - WOOD TDL DOUBLE-HUNG SINGLE GLAZE WINDOW. SIZE AND CONFIGURATION TO MATCH EXISTING ADJACENT UNIT. 7/8" MUNTINS MAX.
 - REINSTALL HISTORIC DOOR IN ITS ORIGINAL LOCATION
 - NEW HVAC LOCATION
 - CLAD 2/2 SDL WINDOW IN ADDITION



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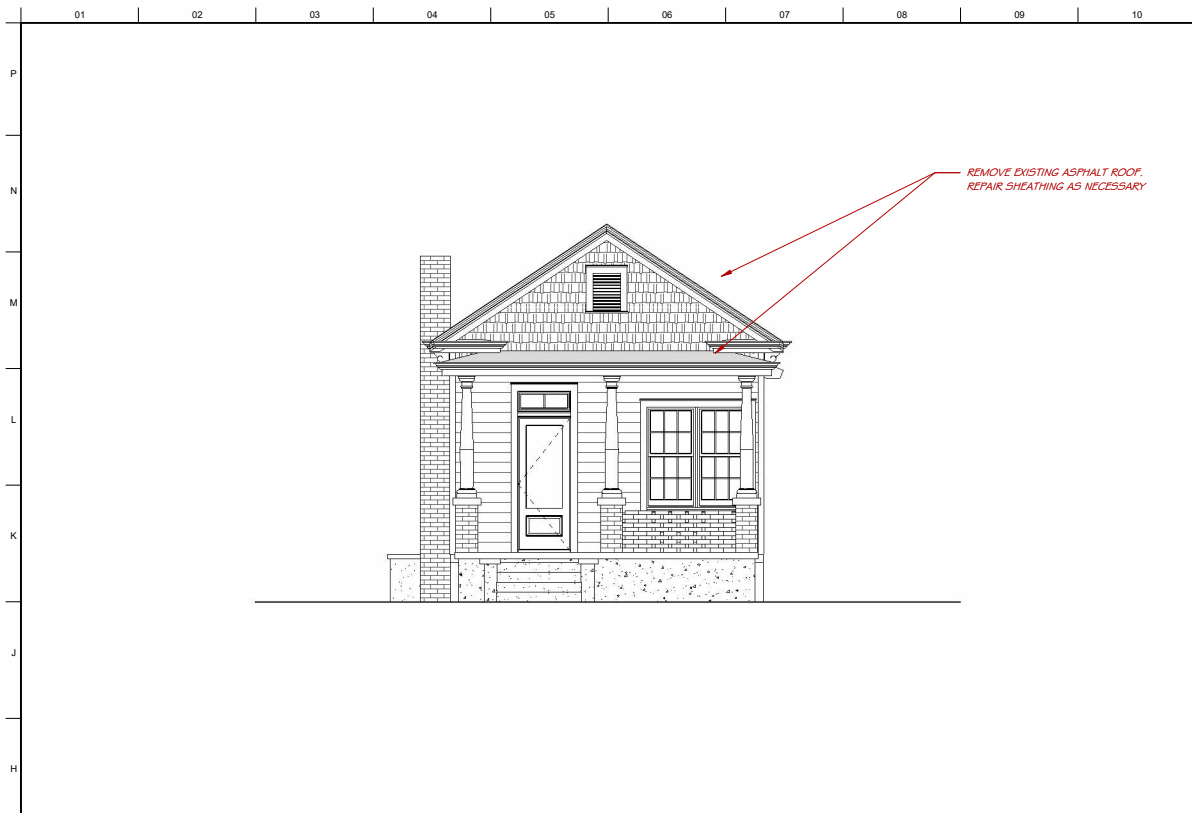
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634 W 42ND ST
PROPOSED PLANS

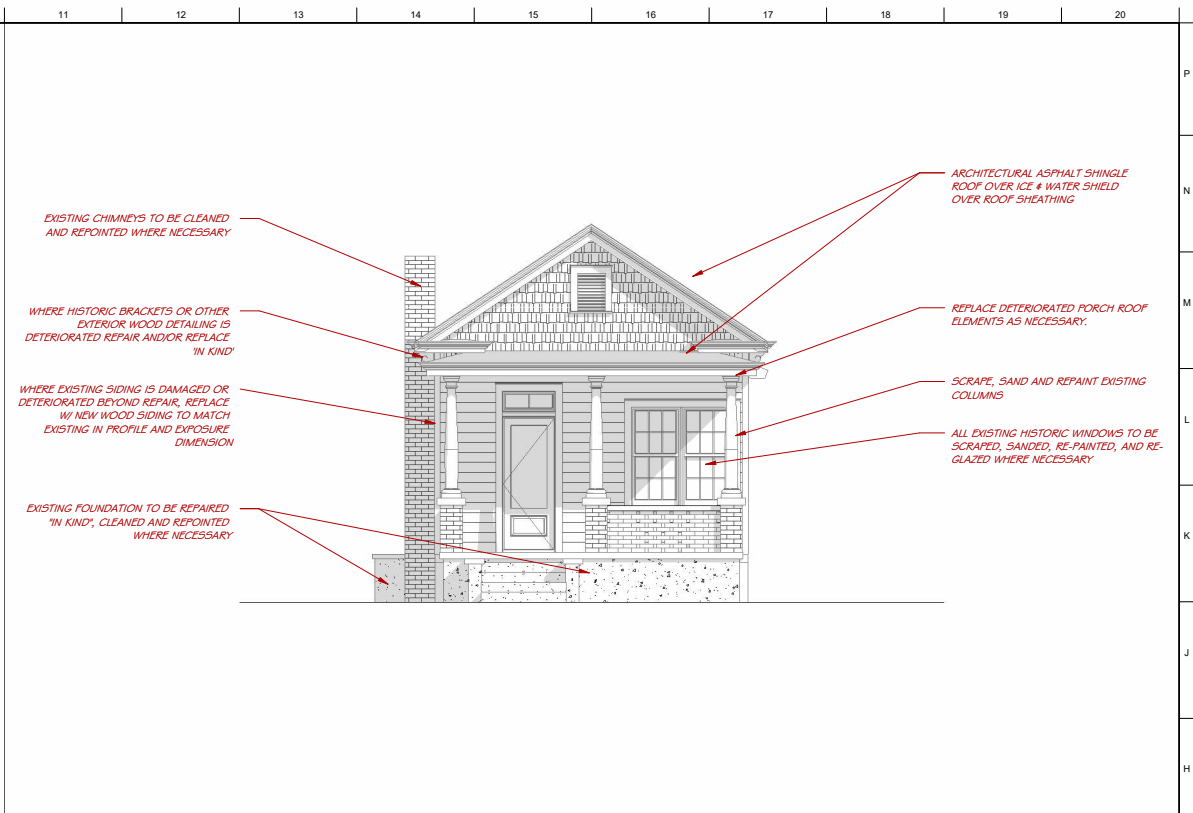
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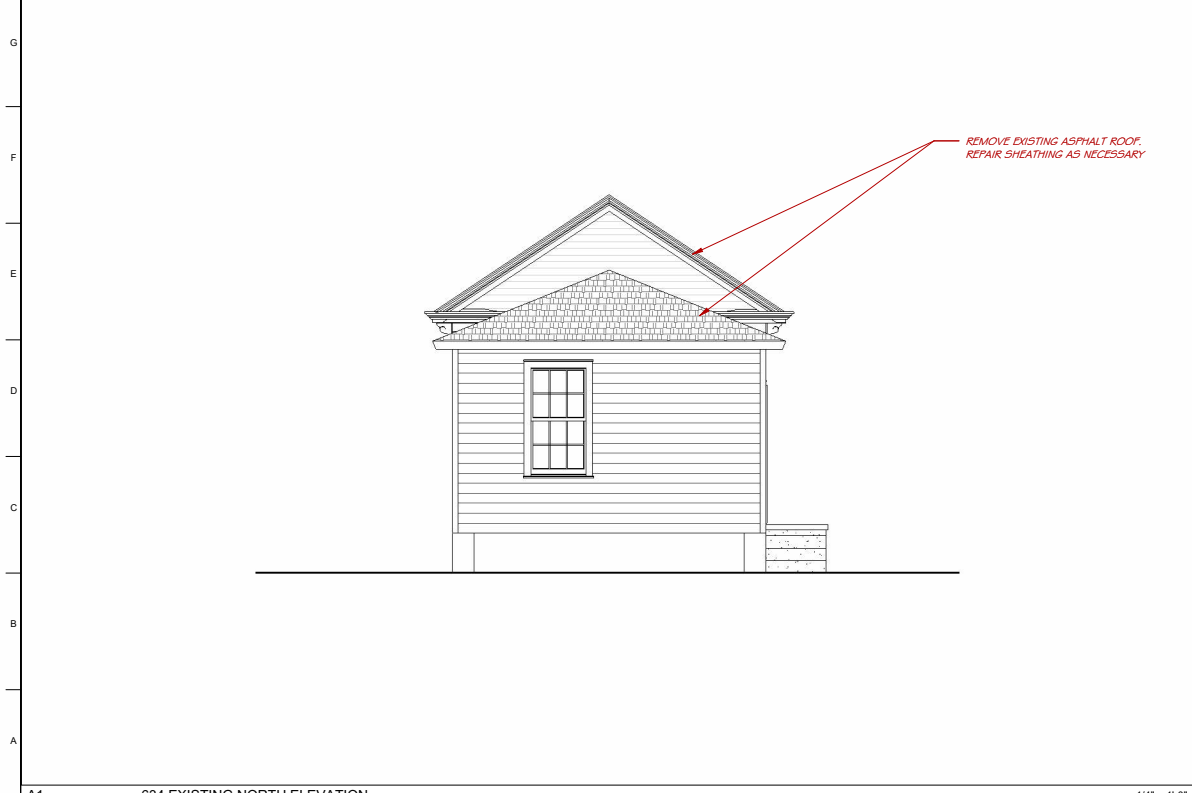
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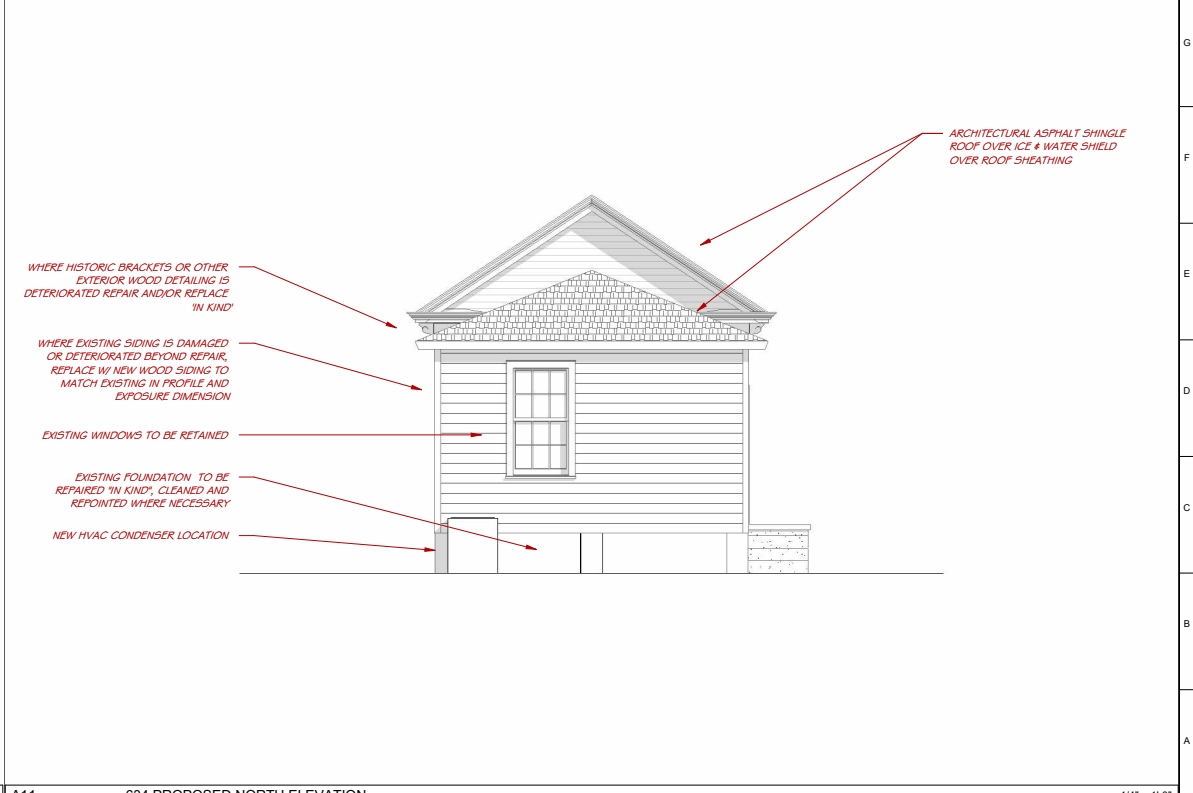
H1 634 EXISTING SOUTH ELEVATION 1/4" = 1'-0"



H11 634 PROPOSED SOUTH ELEVATION 1/4" = 1'-0"



A1 634 EXISTING NORTH ELEVATION 1/4" = 1'-0"



A11 634 PROPOSED NORTH ELEVATION 1/4" = 1'-0"



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634 W 42ND ST
SOUTH AND NORTH
ELEVATIONS

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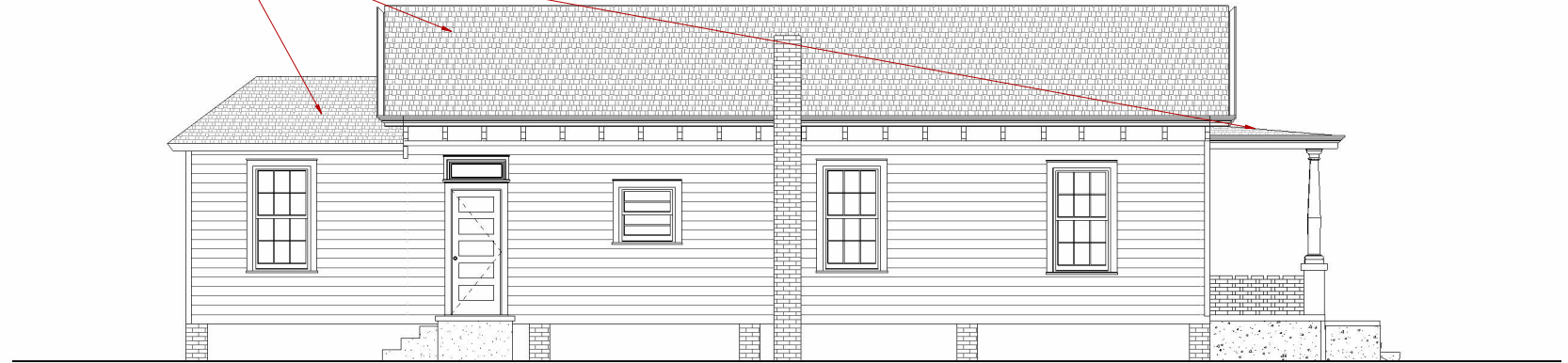
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REMOVE ALL EXISTING ASPHALT ROOFS.
REPAIR SHEATHING AS NECESSARY



H1 634 EXISTING WEST ELEVATION

1/4" = 1'-0"



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WEST 42ND
STREET
SAVANNAH, GA, 31515

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WHERE HISTORIC BRACKETS OR OTHER EXTERIOR WOOD DETAILING IS DETERIORATED REPAIR AND/OR REPLACE IN KIND

ALL EXISTING HISTORIC WINDOWS AND DOORS TO BE SCRAPED, SANDED, RE-PAINTED, AND RE-GLAZED WHERE NECESSARY

WHERE EXISTING SIDING IS DAMAGED OR DETERIORATED BEYOND REPAIR, REPLACE W/ NEW WOOD SIDING TO MATCH EXISTING IN PROFILE AND EXPOSURE DIMENSION



ARCHITECTURAL ASPHALT SHINGLE ROOF OVER ICE & WATER SHIELD OVER ROOF SHEATHING

REPLACE DETERIORATED PORCH ROOF ELEMENTS AS NECESSARY

WINDOWS TO REMAIN

SCRAPE, SAND AND REPAINT EXISTING WOOD COLUMNS

EXISTING FOUNDATION TO BE REPAIRED IN KIND, CLEANED AND REPOINTED WHERE NECESSARY

A1 634 PROPOSED WEST ELEVATION

1/4" = 1'-0"

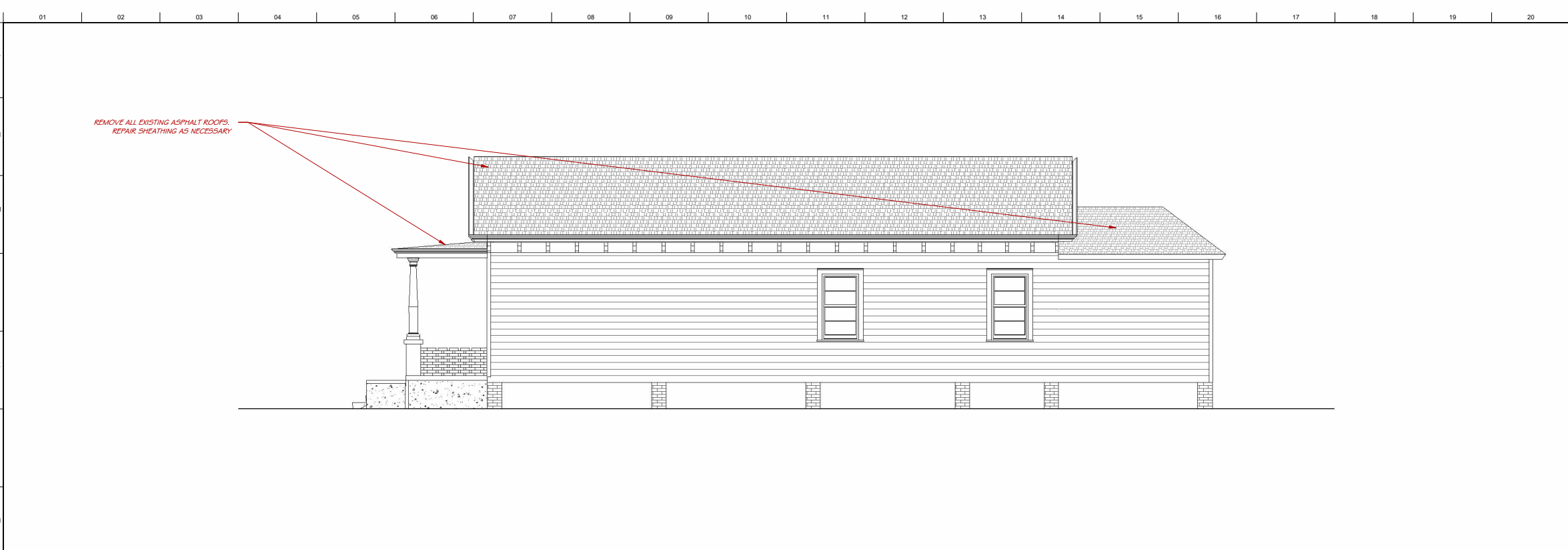
634 W 42ND ST
WEST ELEVATIONS

PROJECT NO. 2215.00
DATE 12.07.2022
SHEET NO.

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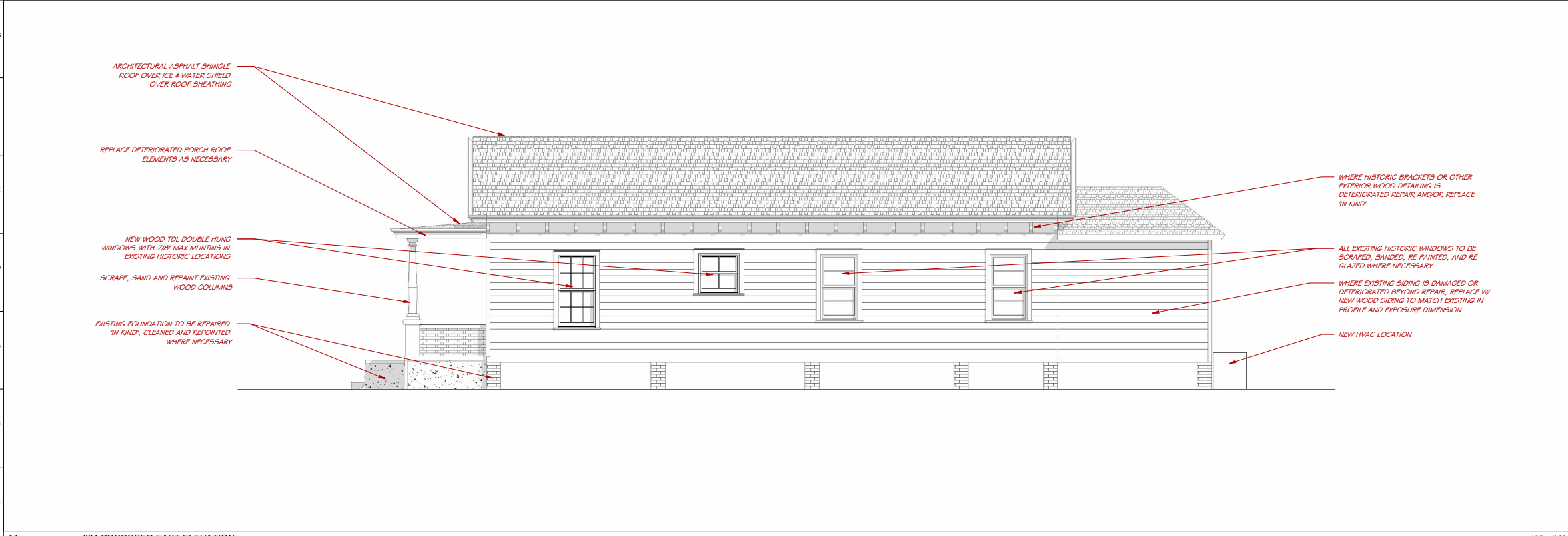
H1 634 EXISTING EAST ELEVATION

1/4" = 1'-0"

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A1 634 PROPOSED EAST ELEVATION

1/4" = 1'-0"

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634 W 42ND ST EAST
ELEVATIONS

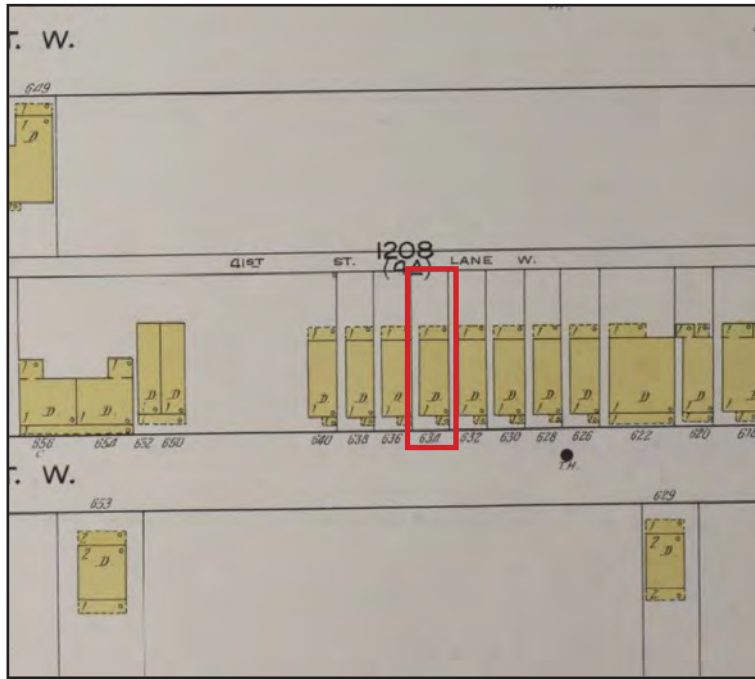
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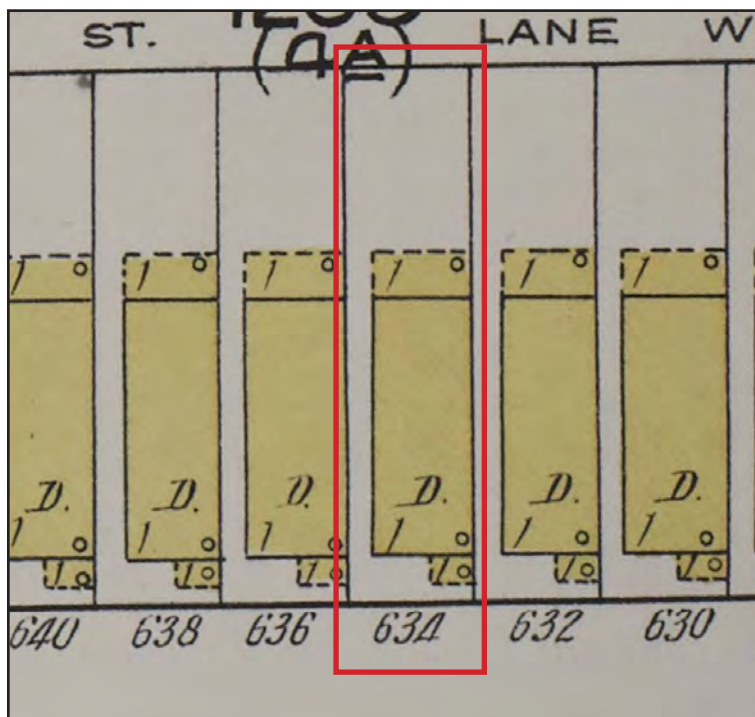
Honza Properties LLC, Shotgun
634 West 42nd Street, Savannah, GA
Cuyler-Brownville Historic District

Illustrated History. North is at the top.



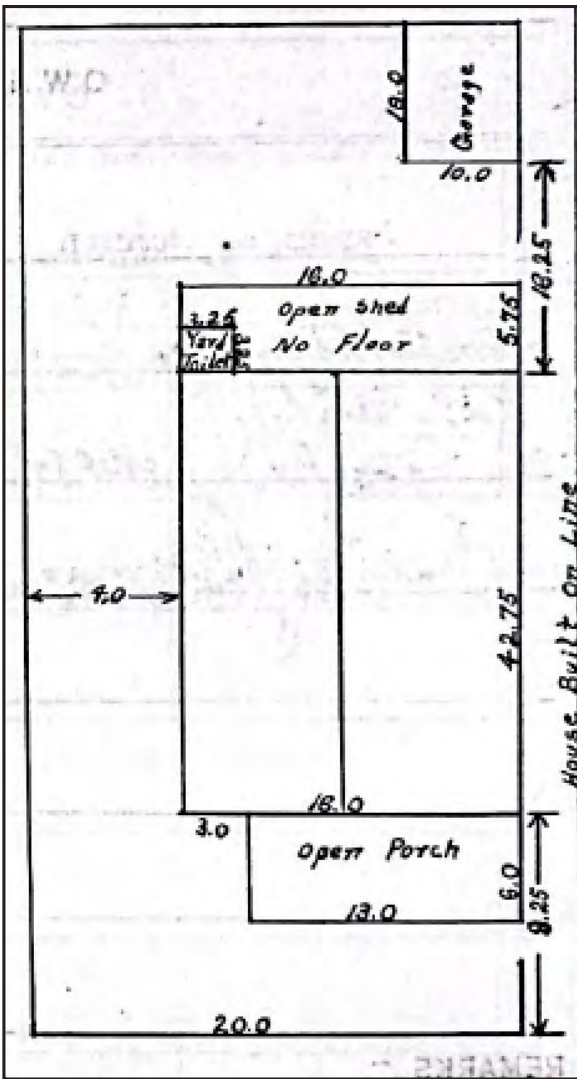
1916

The 1916 Sanborn Fire Insurance Map shows the west half of the 600 block of West 42nd Street. The area is a developing residential neighborhood with one- and two-story, attached and detached, wood frame dwellings. It is part of a row of front gable shotguns, all developed in 1900. This is the first depiction of the subject property on the map.



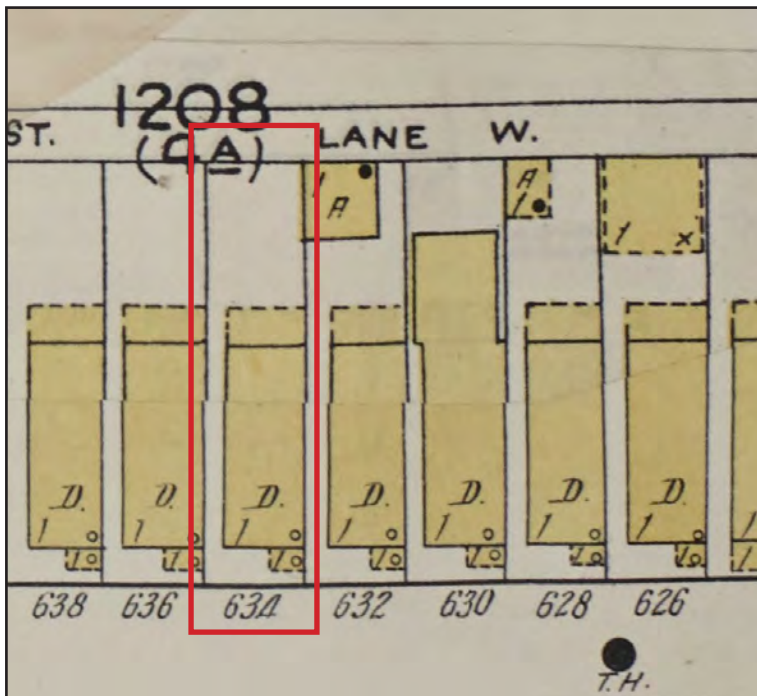
1916

A detail of the 1916 Sanborn shows a one-story, detached, wood frame, dwelling, rectangular in shape. It features a partial-width one-story front porch and a full-width one-story rear porch. All roofs are finished in tin.



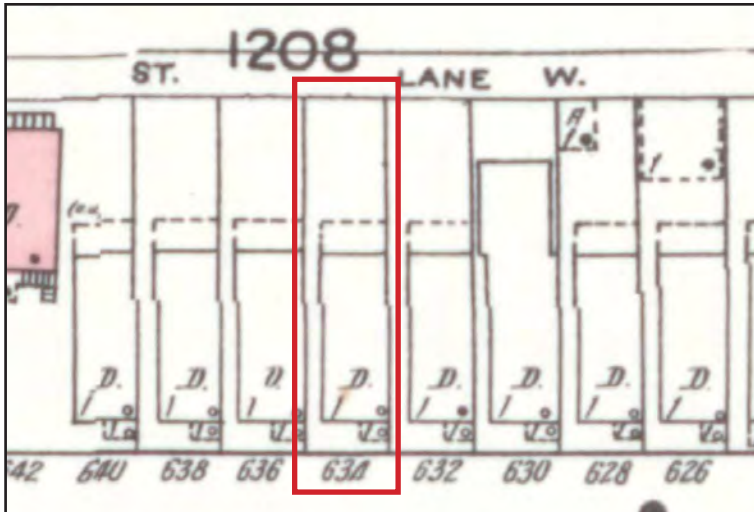
1936

The field sketch detail from the 1936 Cadastral Survey illustrates the building at 634 West 42nd Street with a rectangular core topped by a front gable roof, a partial width front porch, and a full-width open shed on the rear with no floor. A "yard toilet" is noted under the open shed on the rear of the building. The roofs are finished in tin. There is an open shed, wood frame, one-car garage along the lane. The surveyor notes indicate a building height of 10 feet and a brick pier foundation at the height of 3.5 feet.



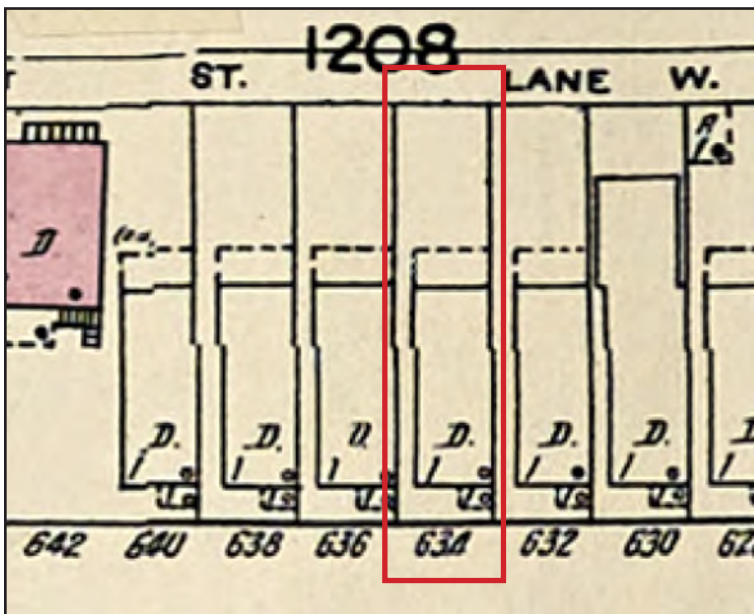
1916-1950

A detail of the 1916 Sanborn Map revised through 1950 shows no physical changes to the structure.



1955

A detail of the 1955 Sanborn Map shows no changes.



1955-66

A detail of the 1955 Sanborn Map revised through 1966 shows no changes.



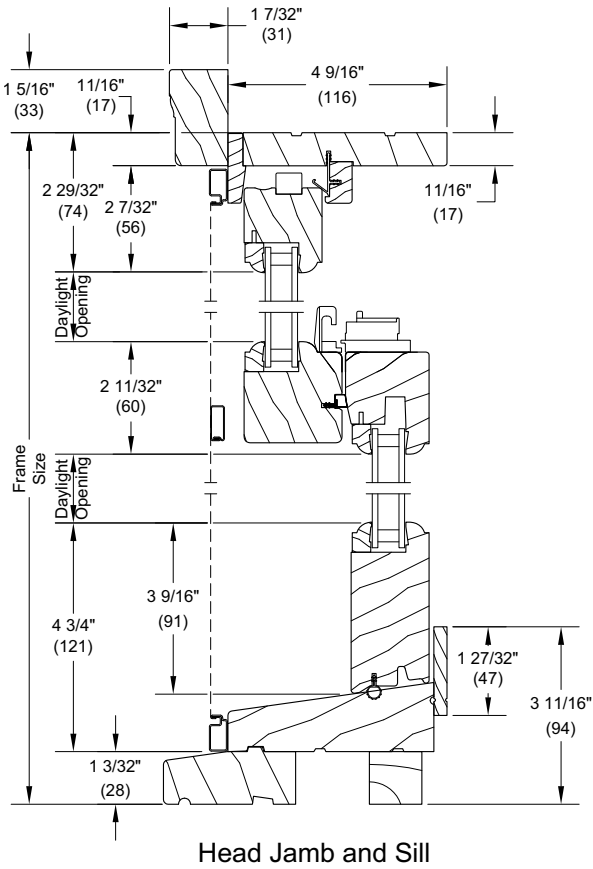
2017

One of a row of 16 shotgun houses - originally they all featured elements of Folk Victorian styling with decorative jigsaw brackets on the side of the eaves, a two-light transom over the front door, and wood shingles in the gable ends. This example retains all of these elements. Original porch elements were replaced with existing concrete block foundation and round Tuscan columns resting on brick piers with a pierced brick railing c.1940. A lateral exterior, red brick chimney is visible on the west side of the house.

Section Details: Operating

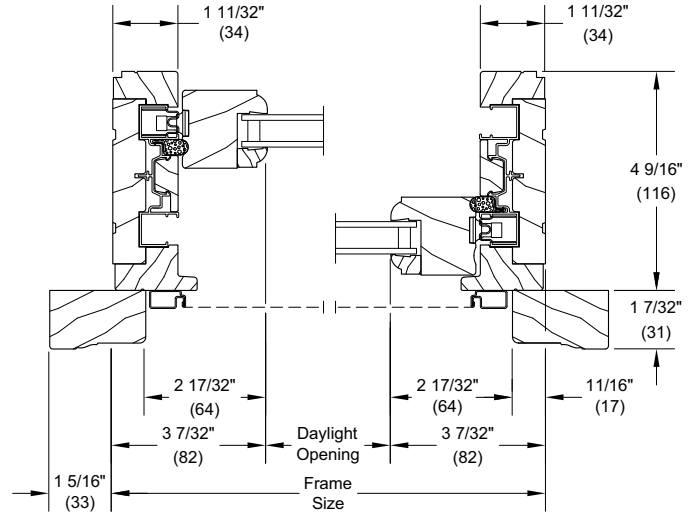
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Double Hung



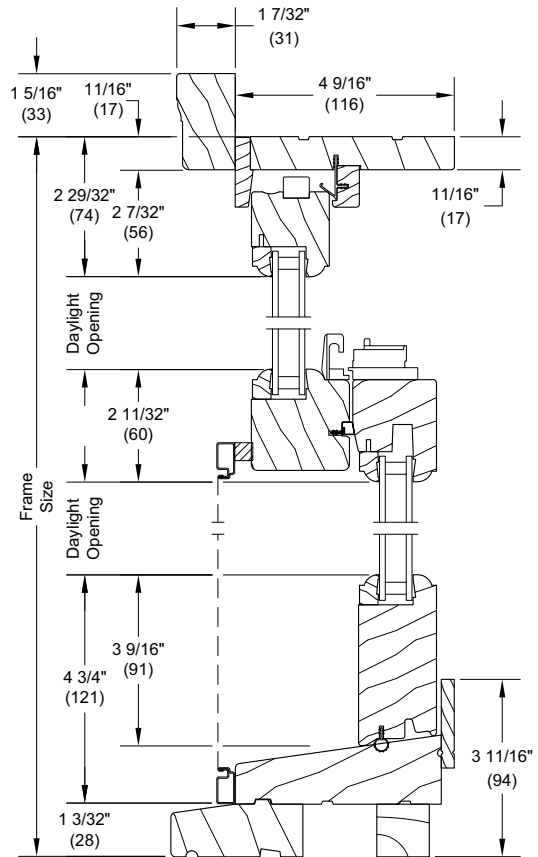
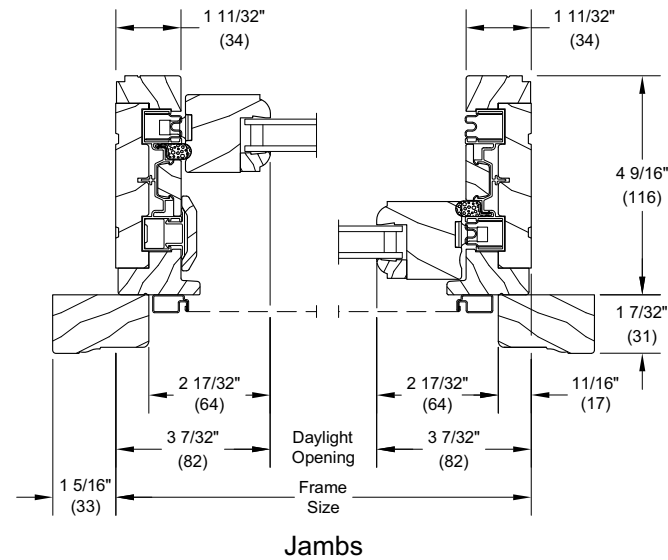
Lower Sash

Upper Sash



Jambs

Single Hung



Head Jamb and Sill