



CITY OF SAVANNAH

HISTORIC PRESERVATION COMMISSION

REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Petitioner: KRA Architecture, Kevin Grenier

MPC File No.: 26-003778-COA

Address: 114 West Bolton Street

PIN: 20044 10002

Zoning: TN-1

Staff Reviewer: Alexander Merced

Date: August 26, 2026

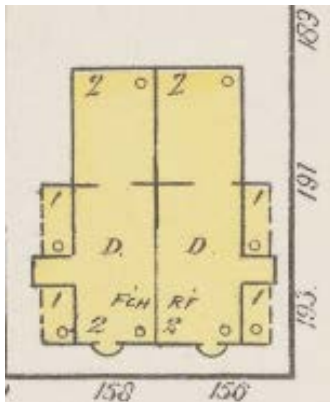
NATURE OF REQUEST:

The applicant would like to enclose the existing rear addition, remove the existing deck, replace the existing lattice foundation with brick, and build new entry stairs and railings. The scope of work will include new roofing, siding, windows, and trim.

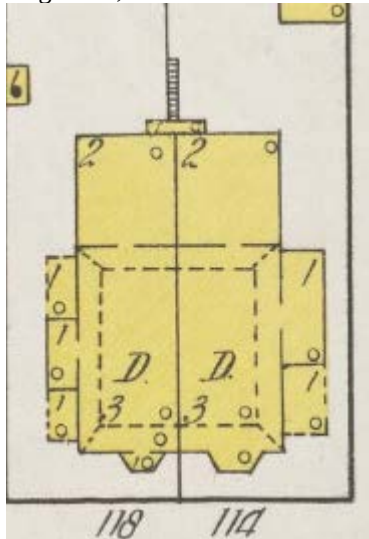
CONTEXT/SURROUNDING AREA:

The building was constructed in 1871 and is a contributing resource within the National Register Victorian Historic District and the local Victorian Historic District. It is one half of a double townhouse located on a short block just west of Forsyth Park and is surrounded by a mix of contributors and non-contributors.

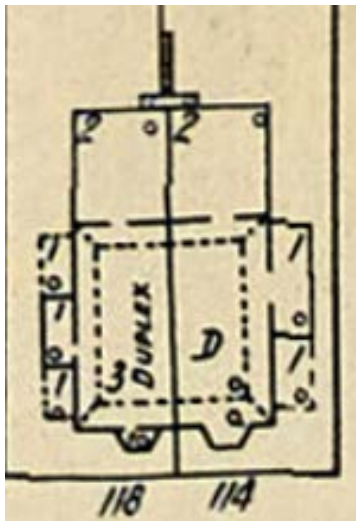
As seen in Sanborn Maps dating back to 1888, the addition is not original to the building, and it appears to have been added sometime after 1955. According to the Georgia Architectural and Historic Properties Survey of 1980, the building suffered a major fire in 1978 and the addition was not mentioned at all, so it likely came afterwards, though this cannot be confirmed.



1. 1888 Sanborn Map with the subject property on the right half. No rear addition is shown



2. 1916 Sanborn Map showing a rear porch with stairs had been added but not the current addition



3. 1955 Sanborn Map showing the same

FINDINGS:

The following standards from the Sec 7.9 - Victorian Historic District Ordinance apply:

Secretary of the Interior's Standards and Guidelines for Rehabilitation. Material changes to contributing resources and resources that are eligible for listing as contributing shall be evaluated by use of the current edition of the Secretary of the Interior's Standards and Guidelines for Rehabilitation as published by the U.S. Department of the Interior. In considering proposals for alterations to contributing resources, the documented original design of the resource may be considered.

Secretary of the Interior's Standards 2– Historic Character. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

This is an already existing non-historic addition, and the alterations will not affect the historic materials and features of the historic home. The standard is met.

Secretary of the Interior's Standards 3– Physical Record. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The addition is already present and there will be no conjectural features added to it. The standard is met.

Secretary of the Interior's Standards 4– Historic Changes. Most properties change over time; those changes to a property that have acquired historic significance in their own right shall be retained and preserved.

It is likely that the existing addition was added sometime in the 1980's or later, plus it can be seen from Google street view that it was previously altered sometime between 2012 and 2014 into its current configuration. Because of this, the existing addition has not acquired historic significance. The standard is met.



4. Google Street View image from 2012 showing the previous configuration



5. Google Street View image from 2014 showing the change to the current configuration

Visual Compatibility Criteria. *To maintain the special character of the Victorian Historic District as identified in the architectural survey and visual analysis, new construction and any material change in appearance shall be consistent with the standards, criteria and guidelines developed for the district. The applicable criteria below shall be used to assess new construction and material changes. These criteria shall not be the basis for appeal to any board, commission or administrator described in this Ordinance, or to the Mayor and Aldermen.*

Materials. *The relationship of materials and textures of the proposed building or structure shall be visually compatible with the contributing buildings and structures to which it is visually related.*

The proposed materials are commonly used throughout the district and are visually compatible. The criterion is met.

Victorian Historic District Design Standards.

New Construction, Additions, and Alterations. The intent of these standards is to ensure appropriate new construction, additions, and alterations within the Victorian Historic District. They are also intended to protect the historic integrity of contributing resources. Designs for new construction are to be consistent with contributing resources from the district's Period of Significance (1870-1923).

The following design standards shall apply to new construction, additions, alterations to contributing and non-contributing resources, and site alterations, unless otherwise specified. Though certain building materials are prescribed below, the Historic Preservation Commission may approve alternative materials that are not listed as prohibited upon a showing by the applicant that the material or product is visually compatible with historic building materials and has performed satisfactorily in the local climate.

Foundation, New construction, alterations to non-contributing resources and additions.

Foundation Materials, New construction, alterations to non-contributing resources and additions.

Foundations shall be constructed of brick, stone, or true stucco over concrete block piers.

The foundation will be made of brick. The standard is met.

The space between piers may be filled with heavy gauge wood lattice with at least one-half (0.5) inch thick lattice boards, horizontal boards, brick or true stucco over concrete block. Infill material shall be recessed a minimum of three inches behind the front edge of the pier so that the piers are clearly visible and differentiated.

Staff recommends that the applicant adjust the plans to reflect this three-inch recess between piers.

Exterior walls, New construction, alterations to non-contributing resources, and additions.

Permitted materials, Exterior walls, New construction, alterations to non-contributing resources, and additions. *Brick, stone, wood, true stucco, and wood or fiber cement siding.*

The existing siding will be replaced with 7" exposure wood siding. The standard is met.

Prohibited materials, Exterior walls, New construction, alterations to non-contributing resources, and additions. *Vinyl siding, aluminum siding, rolled asphalt, precast concrete panels, EIFS, one-part stucco over insulation and/or wood or metal framing, T-111, corrugated metal, unpainted exposed CMU blocks, fiber cement panels, and metal panels.*

The standard is met.

Windows, New construction, alterations to non-contributing resources, and additions.

Materials, Windows, New construction, alterations to non-contributing resources, and additions.

Window casings and sashes shall be made of metal, wood or clad wood material.

Window glass shall be transparent with no dark tints or reflective effects (except for stained glass windows). This provision does not preclude the use of Low Emissivity or laminated glass.

Solid vinyl windows are prohibited.

Marvin Elevate Series windows will be used, which are clad wood. The above standards are met.

Configuration, Windows, New construction, alterations to non-contributing resources, and additions.

Windows shall be taller than they are wide, except for accent windows, which may be round or other shapes.

Windows shall be single-hung, double-hung, triple hung, awning, or casement, except for accent windows which may also be fixed or hopper. Casement windows shall have light divisions.

Simulated divided light windows shall be permitted provided that the muntin is 7/8 inches or less, the muntin profile shall simulate traditional putty glazing, the lower sash rail shall be wider than the meeting and top rails, and there shall be a spacer bar in between double panes of glass. Between-the-glass, snap-in or applied muntins shall not be permitted.

Framing members shall be covered with appropriate trim; trim shall feature a header, surrounds, and pronounced sill where appropriate.

The windows will be double-hung divided light with 2 over 2 patterns. All of the above standards are met.

Window sashes shall be inset a minimum of three (3) inches from the façade of a building, except for wood frame buildings.

All residential facades visible from a street shall incorporate transparent features (windows and doors) over a minimum of 30% of the ground floor façade.

The rear façade of the addition is not visible from the street. The standard does not apply.

Doors/Entrances, New construction, alterations to non-contributing resources and additions.

Doors/Entrances, Materials, New construction, alterations to non-contributing resources and additions.

Doors shall be made of glass, wood, clad wood or steel without wood grain simulation.

Doors shall not have a decorative diamond inset, half-moon inset, or other prefabricated ornamentation.

Sliding doors shall not be permitted.

The door will be made of wood. The above standards are met.

Porches, Stoops, Balconies and Decks, New construction, alterations to non-contributing resources and additions. Front porches or covered or uncovered stoops shall be required on all entrances for new ground floor residential construction.

Materials, Porches, Stoops, Balconies and Decks, New construction, alterations to non-contributing resources and additions.

On porches and stoops, piers and base walls shall be of the same material as the foundation wall facing the street.

The foundation walls facing the street are made of brick. The piers and base walls will be the same. The standard is met.

Porch elements shall be constructed of brick, painted or stained wood, wood composite, precast stone, marble, sandstone, or slate.

Prohibited material: Vinyl and PVC.

The stairs and porch platform will be made of painted wood. The above standards are met.

Configuration, Porches, Stoops, Balconies and Decks, New construction, alterations to non-contributing resources and additions.

Wood portico posts shall have cap and base molding.

The standard is met.

Balusters shall be placed between upper and lower rails, and the distances between balusters shall not exceed four (4) inches on center. The height of the railing shall not exceed 36 inches for single- and two-family dwelling units.

The balusters will be four inches on center and 36 inches tall. The standard is met.

Roof, New construction, alterations to non-contributing resources and additions.

Roof, Materials, New construction, alterations to non-contributing resources and additions.

Roof coverings shall be standing seam metal, v-crimp, slate or equivalent synthetic, or architectural asphalt or similar shingles.

Metal roofs shall have a metal drip edge covering all edges and a maximum seam height of one (1) inch.

The roof will be v-crimp metal. The above standards are met.

Roof, Configuration, New construction, alterations to non-contributing resources and additions.

Shed and porch roofs, subordinate and attached to the primary building, shall be pitched between 2:12 and 6:12.

Eaves shall extend no less than 12 inches beyond supporting walls.

Gable end rakes shall overhang at least eight (8) inches.

Eaves and rakes on accessory buildings and dormers shall overhang at least eight (8) inches.

Soffits shall be placed perpendicular to the building wall, not sloping in plane with the roof (except for gable end rakes).

The roof configuration will remain unchanged.

Additions. *In addition to compliance with the Visual Compatibility Criteria and the Victorian Historic District Design Standards, additions to contributing resources shall also comply with the Secretary of the Interior's Standards and Guidelines for Rehabilitation and the following standards:*

Additions shall be subordinate in mass and height to the resource.

Additions shall not obscure any character-defining features.

Additions shall not be on the primary or front façade of the resource.

The addition is already present on the rear of the building and the mass and height will remain unchanged. The above standards are met.

STAFF RECOMMENDATION:

Approve the enclosure and alteration of the non-contributing addition at the rear of 114 West Bolton Street as requested because the work is visually compatible and meets the standards.

MW: CC: APM

Note: This recommendation could change subject to new information provided at the Historic Preservation Commission meetings. Final decisions will be made by the Historic Preservation Commission at the public hearing based on information provided at the meeting, as well as information submitted for the staff recommendation.