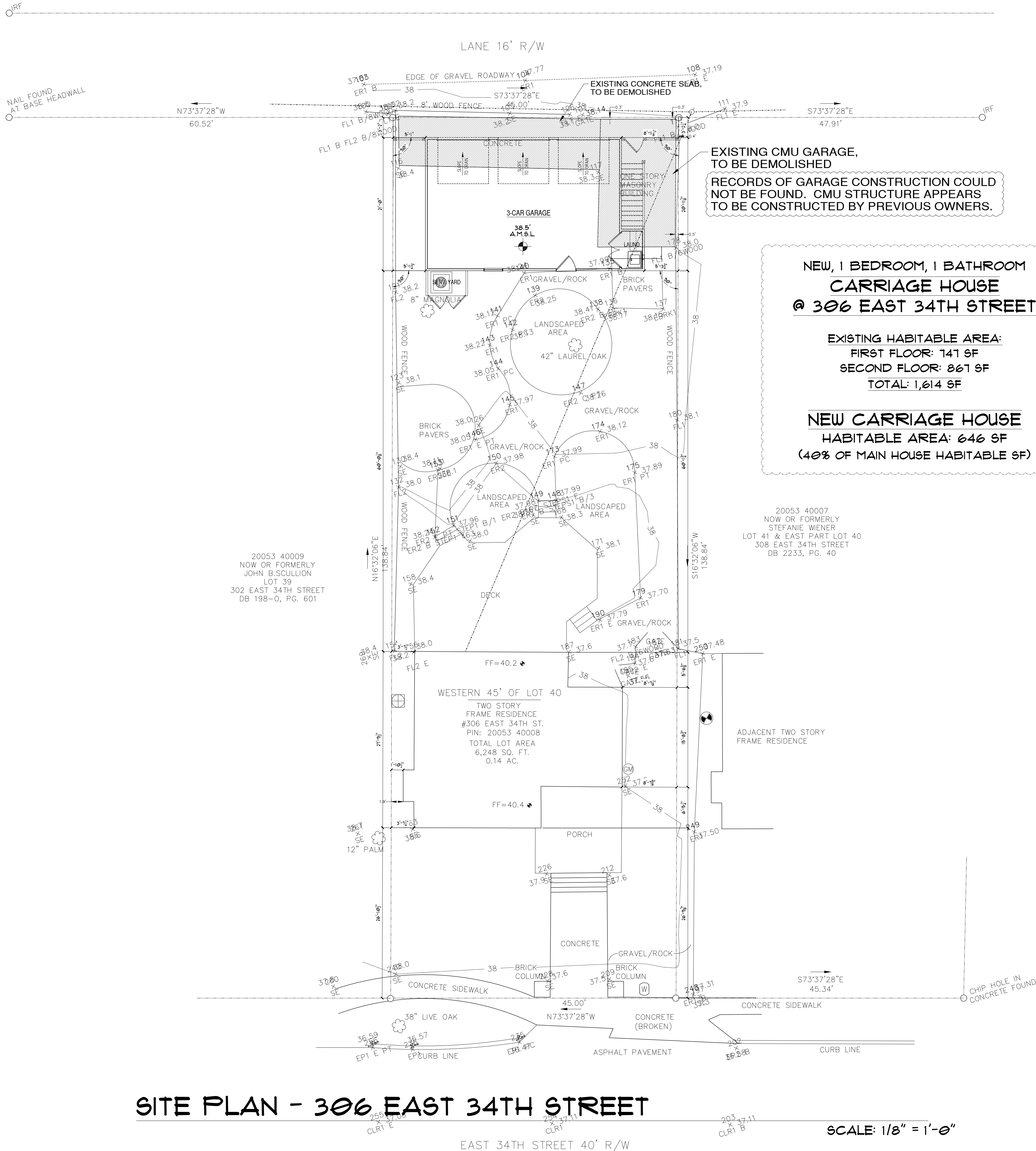
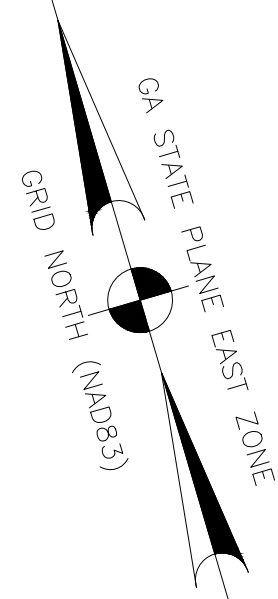




SITE PLAN - 306 EAST 34TH STREET

EAST 34TH STREET 40' R/W

SCALE: 1/8" = 1'-0"



EQUIV
ANGL
ADJU
PLAT
FIELD

SURVEYOR'S NOTES

1. THE ELEVATIONS SHOWN ARE BASED ON NAVD88 DATUM. THE CONTOUR INTERVAL IS 1 FOOT.
2. COORDINATES AND DIRECTIONS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
3. ACCORDING TO THE FLOOD INSURANCE RATE MAP 13051C0161G, REVISED 08/16/2018, THIS PROPERTY LIES IN ZONE X, NOT A 100 YEAR FLOOD HAZARD AREA.
4. ONLY ABOVEGROUND, READILY VISIBLE STRUCTURES WERE LOCATED FOR THIS SURVEY. THIS SURVEYOR MAKES NO WARRANTY OR GUARANTEE AS TO THE LOCATION, EXISTENCE, OR NONEXISTENCE OF ANY BELOW GROUND, NON-VISIBLE UTILITIES OR STRUCTURES.
5. EASEMENTS AND SETBACKS TAKEN FROM REFERENCE #1.
6. THE PUBLIC RECORDS REFERENCED WERE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
7. NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.

REFERENCES

1. CITY ATLAS PAGE 11.
2. DB. 316P PG 43.

LEGEND

- IRF IRON ROD FOUND
- RW RIGHT OF WAY
- ⊙ CM GAS METER
- ⊙ SC SEWER CLEANOUT
- ⊙ W WATER METER
- ⊙ P POWER/UTILITY POLE
- ⊙ HVAC UNIT

TREE LEGEND

SIZE OF SYMBOL DOES NOT INDICATE THE SIZE OF THE DRIP LINE/CANOPY LINE

LOCATION OF TREE—
TREE SIZE (IN INCHES)
— TREE TYPE

TREE TYPE ABBREVIATIONS:

- LAO LAUREL OAK
- LO LIVE OAK
- PN PINE
- SGUM SWEET GUM

DEAD TREES MAY NOT SHOWN

ALL OTHERS SPELLED OUT
MULTIPLE TREE SIZES INDICATES COMMON BASE

"/D" INDICATES DISEASED TREE

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New Carriage House for:

MICHAEL WARREN

306 EAST 34ST STREET

SAVANNAH, GA 31401

REVISIONS:

- (01) 03-01-23
- (02) 0020203
- (03) -

SHEET TITLE:

SITE
PLAN

DATE: 10-10-22

DRAWN BY: VP

CHECKED BY: VP

A0



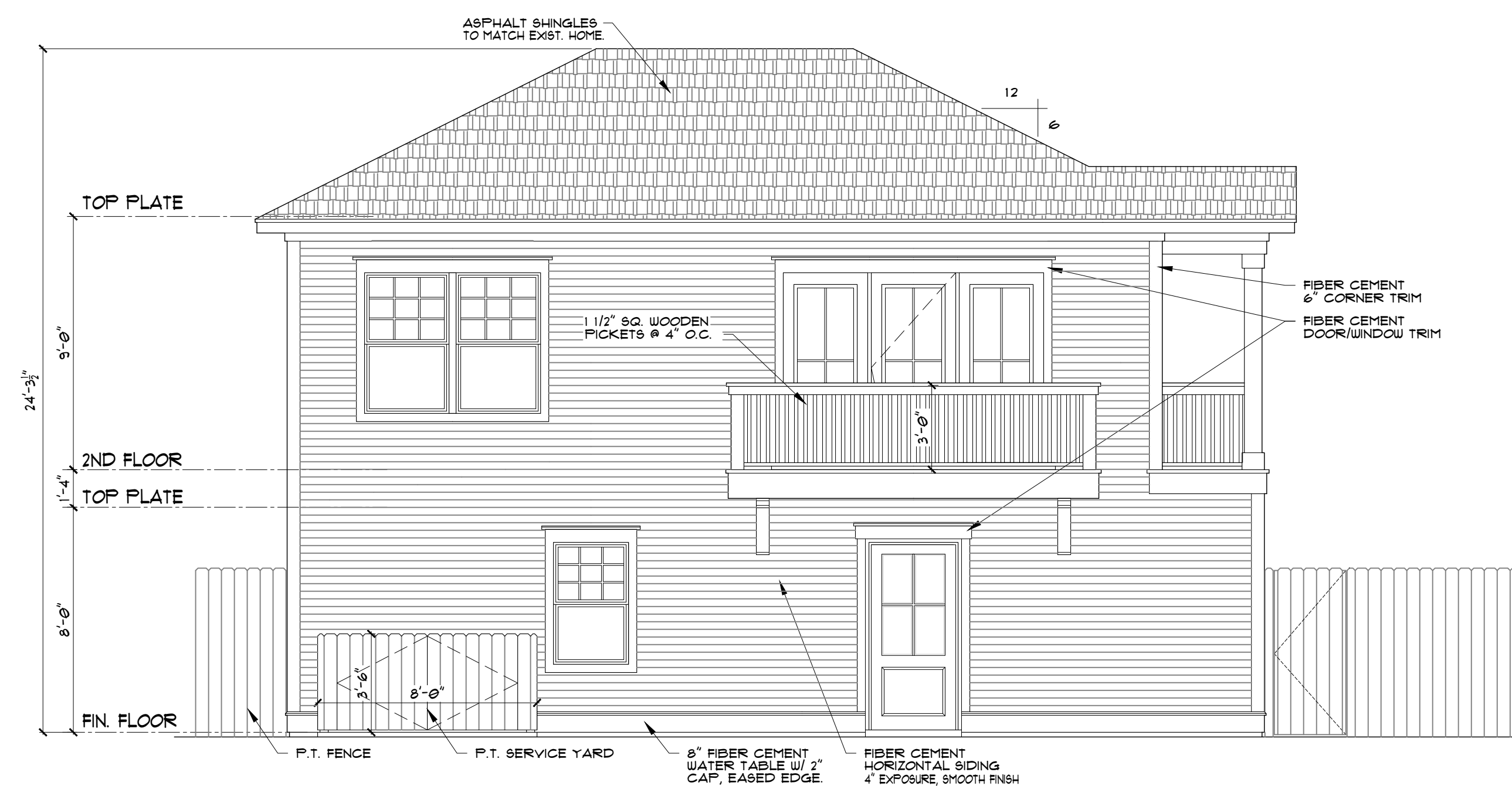
FRONT ELEVATION - MAIN HOUSE
SCALE: 1/4" = 1'-0"



FRONT ELEVATION - MAIN HOUSE
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



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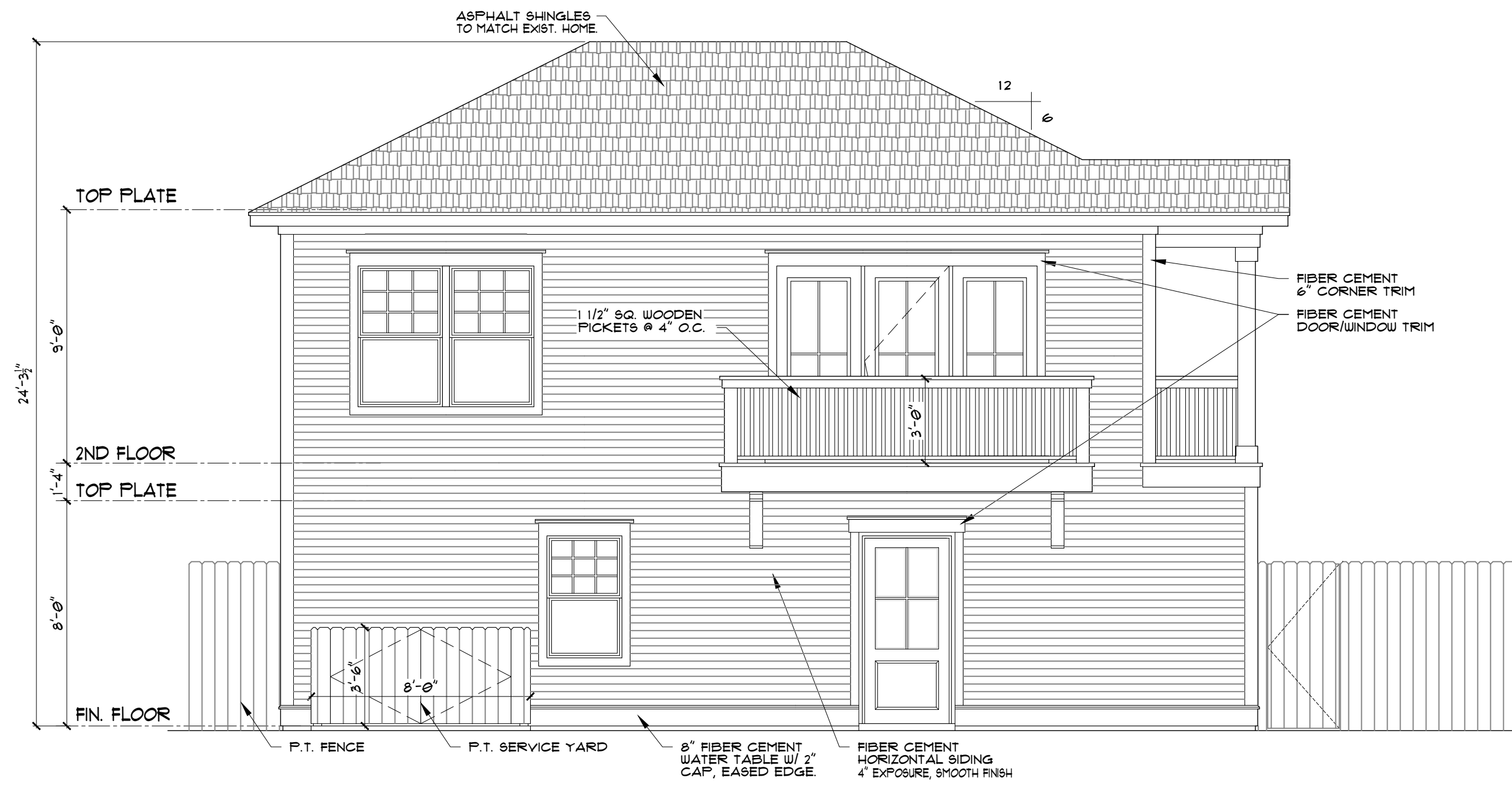
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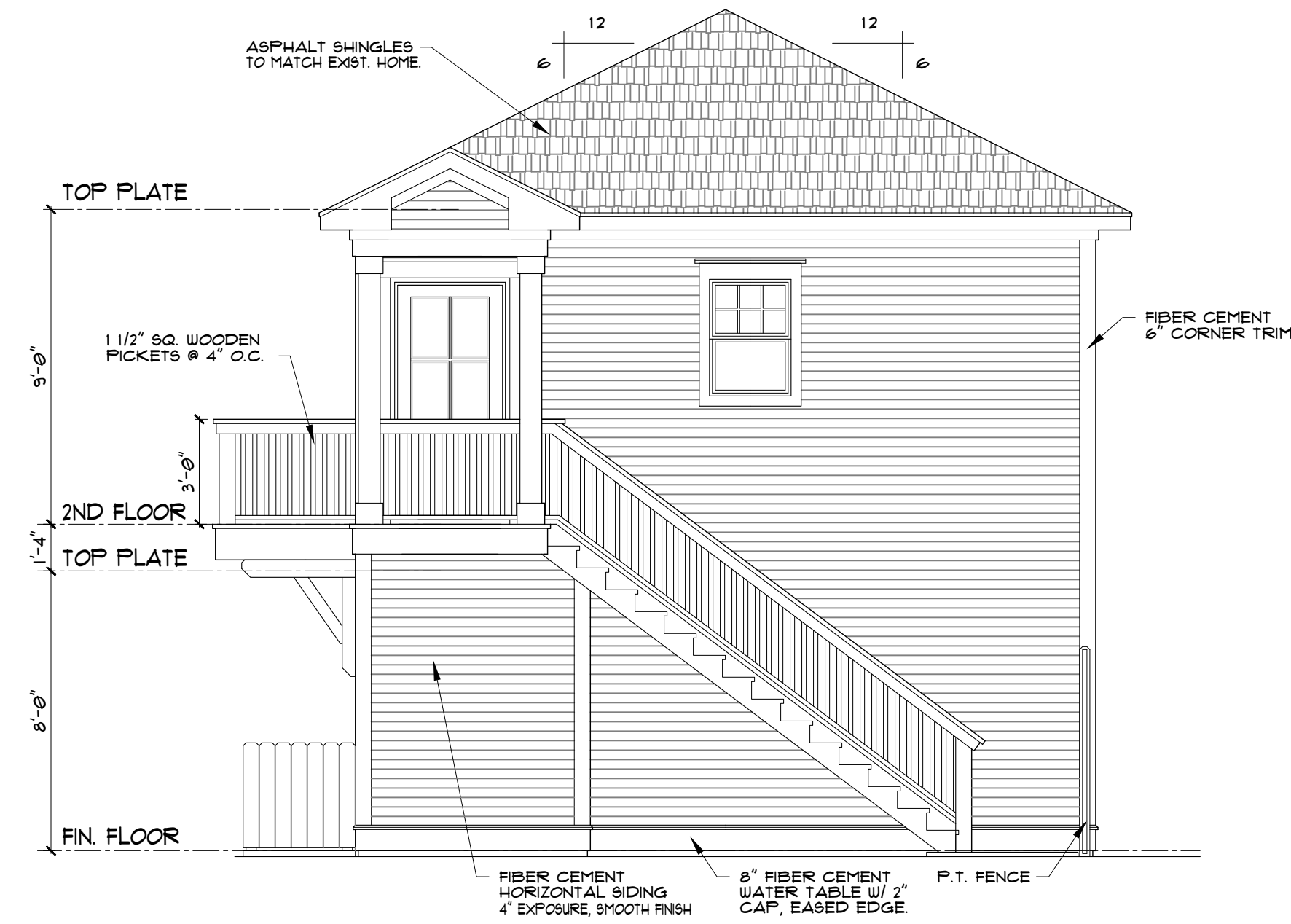
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**ELEVATION
STUDY/MASSING**

DATE: 10-10-22
DRAWN BY: VP
CHECKED BY: VP

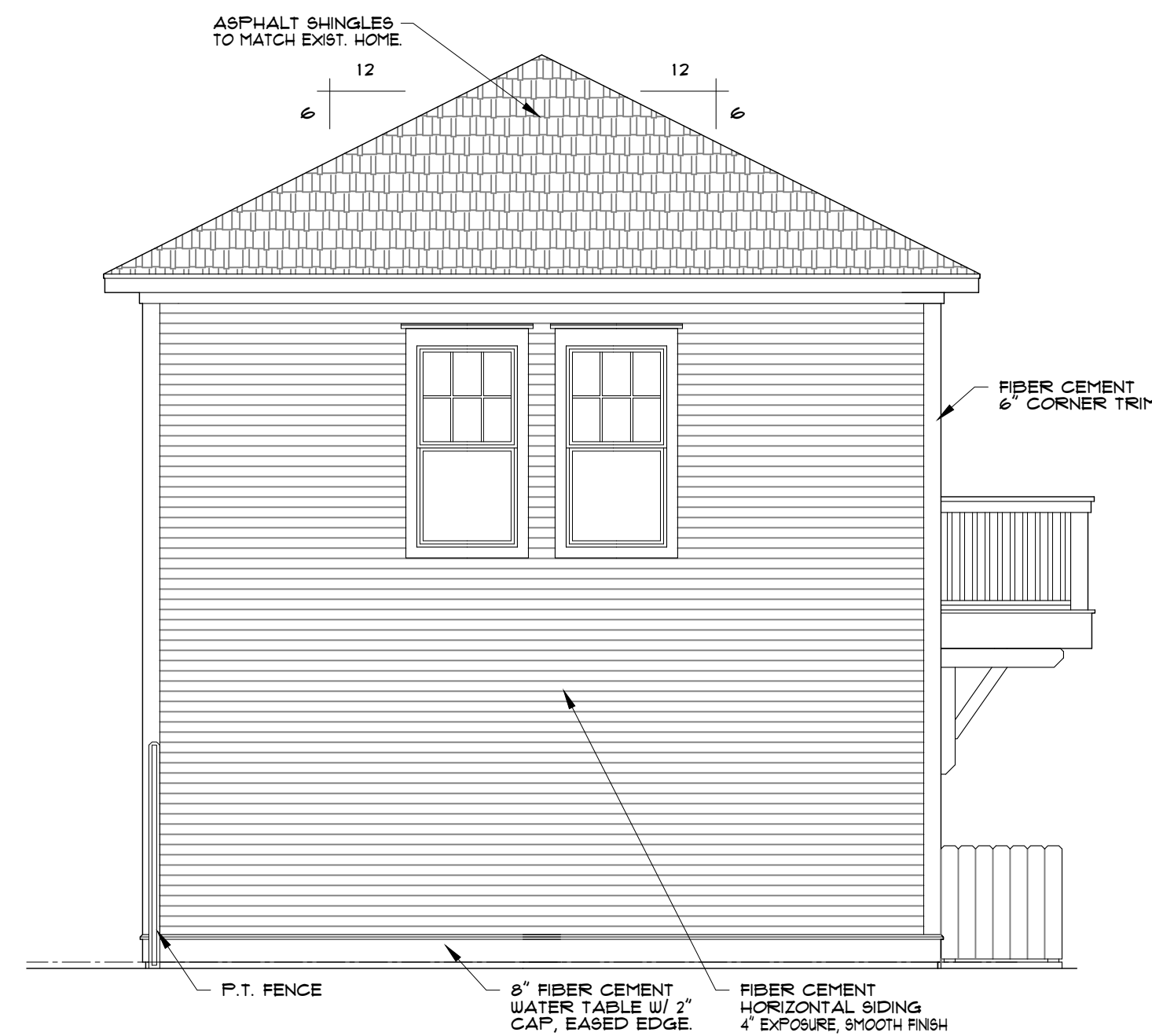
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NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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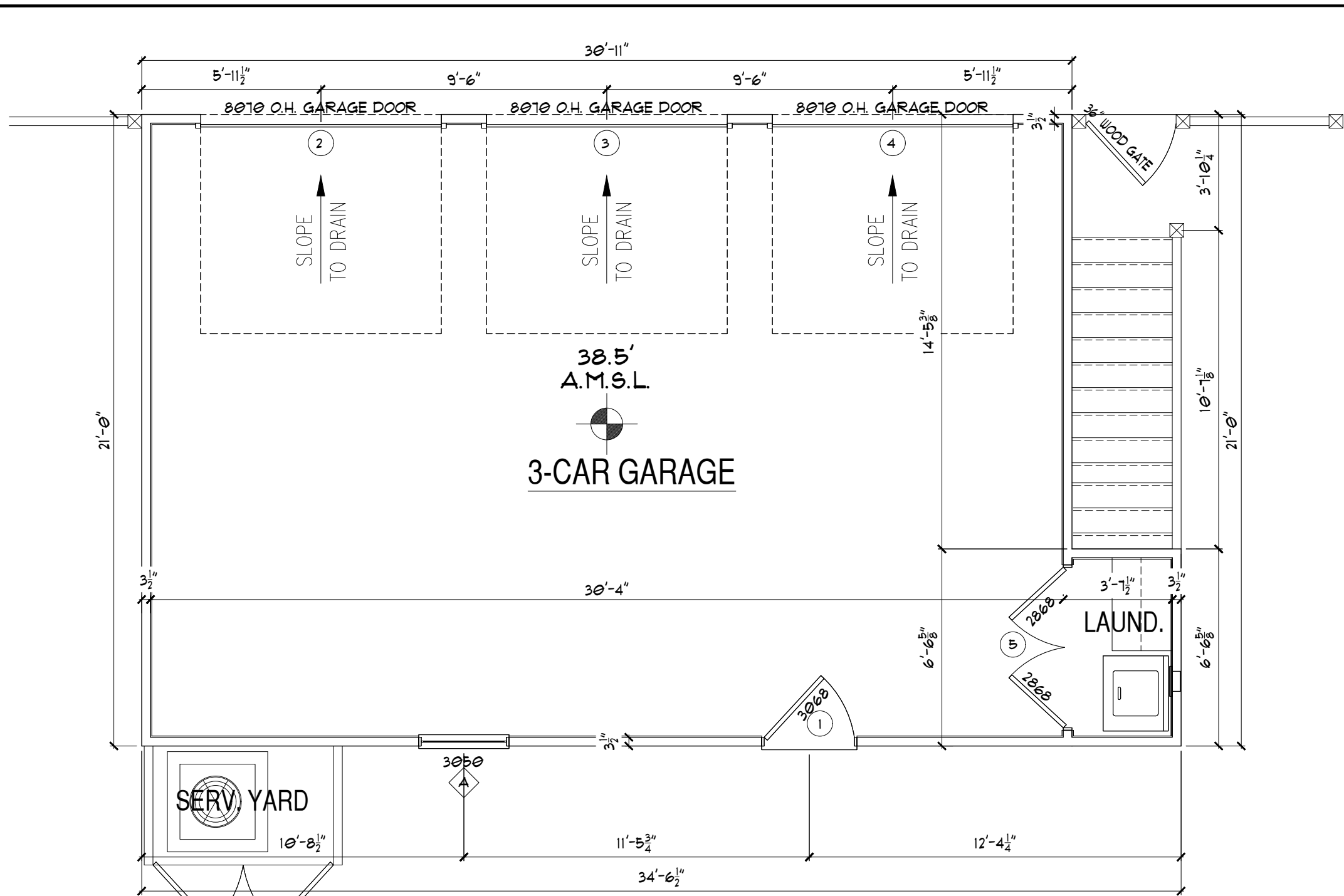
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SHEET TITLE:
ELEVATIONS

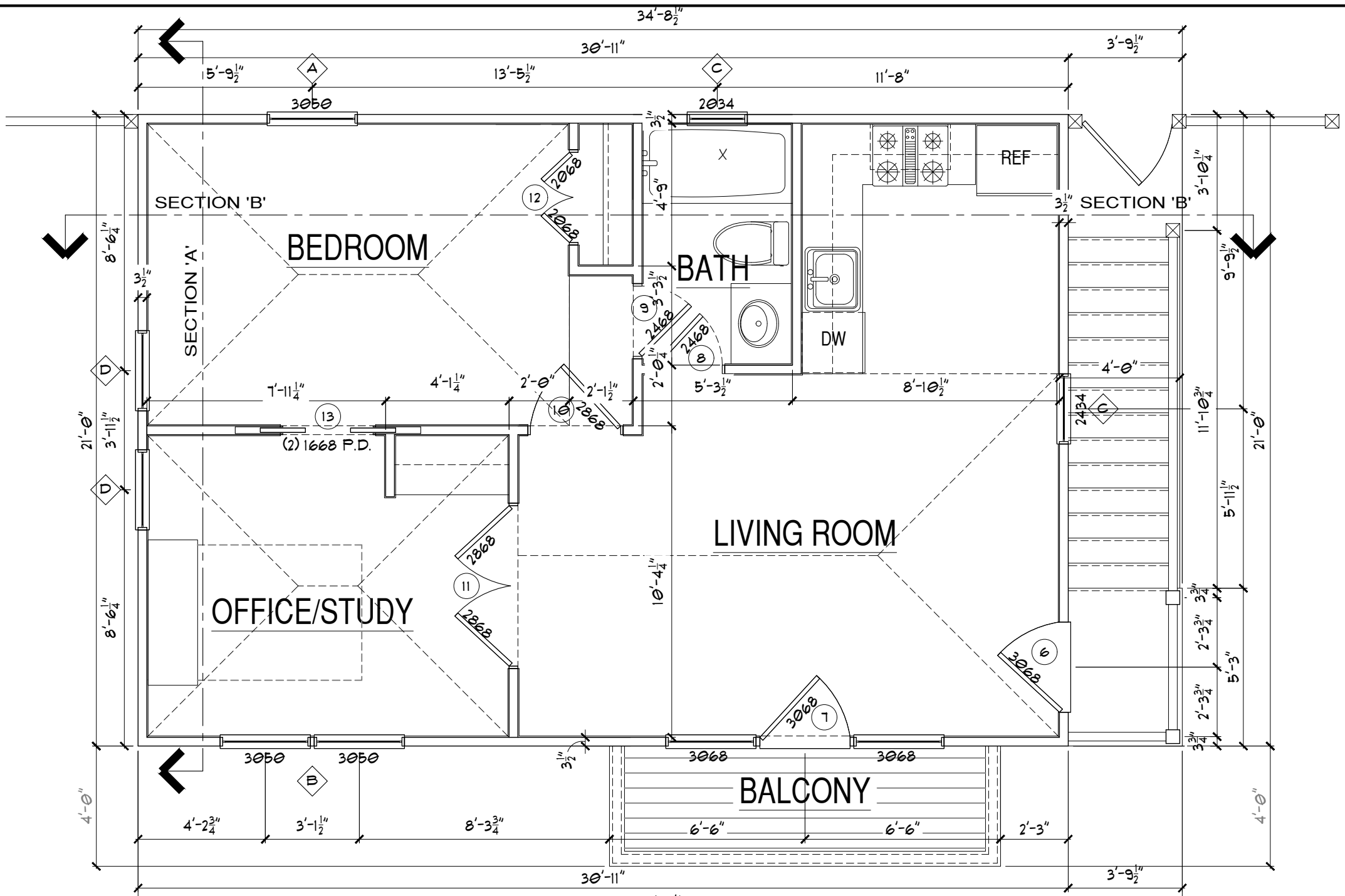
DATE: 10-10-22
DRAWN BY: VP
CHECKED BY: VP

A1



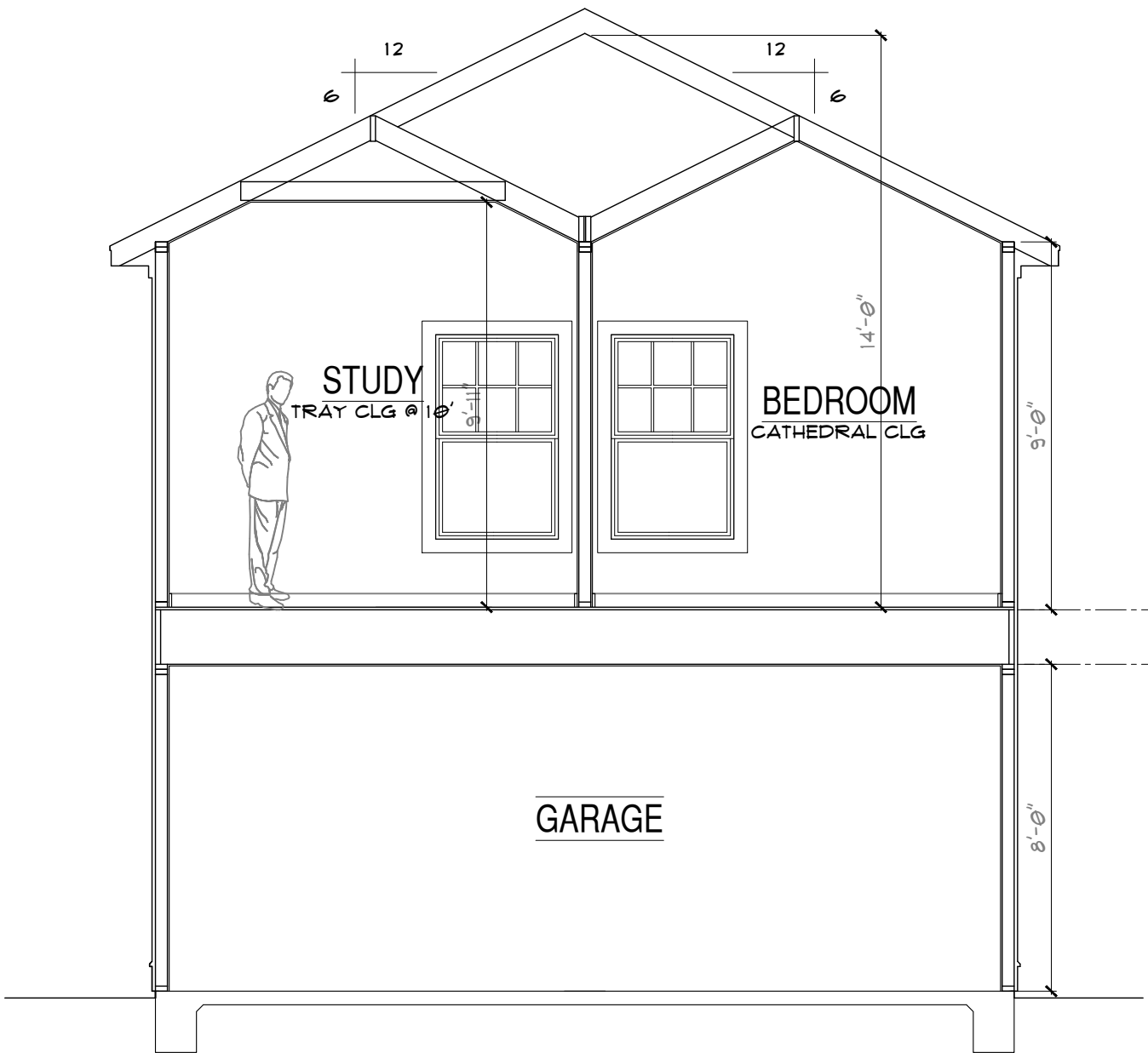
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



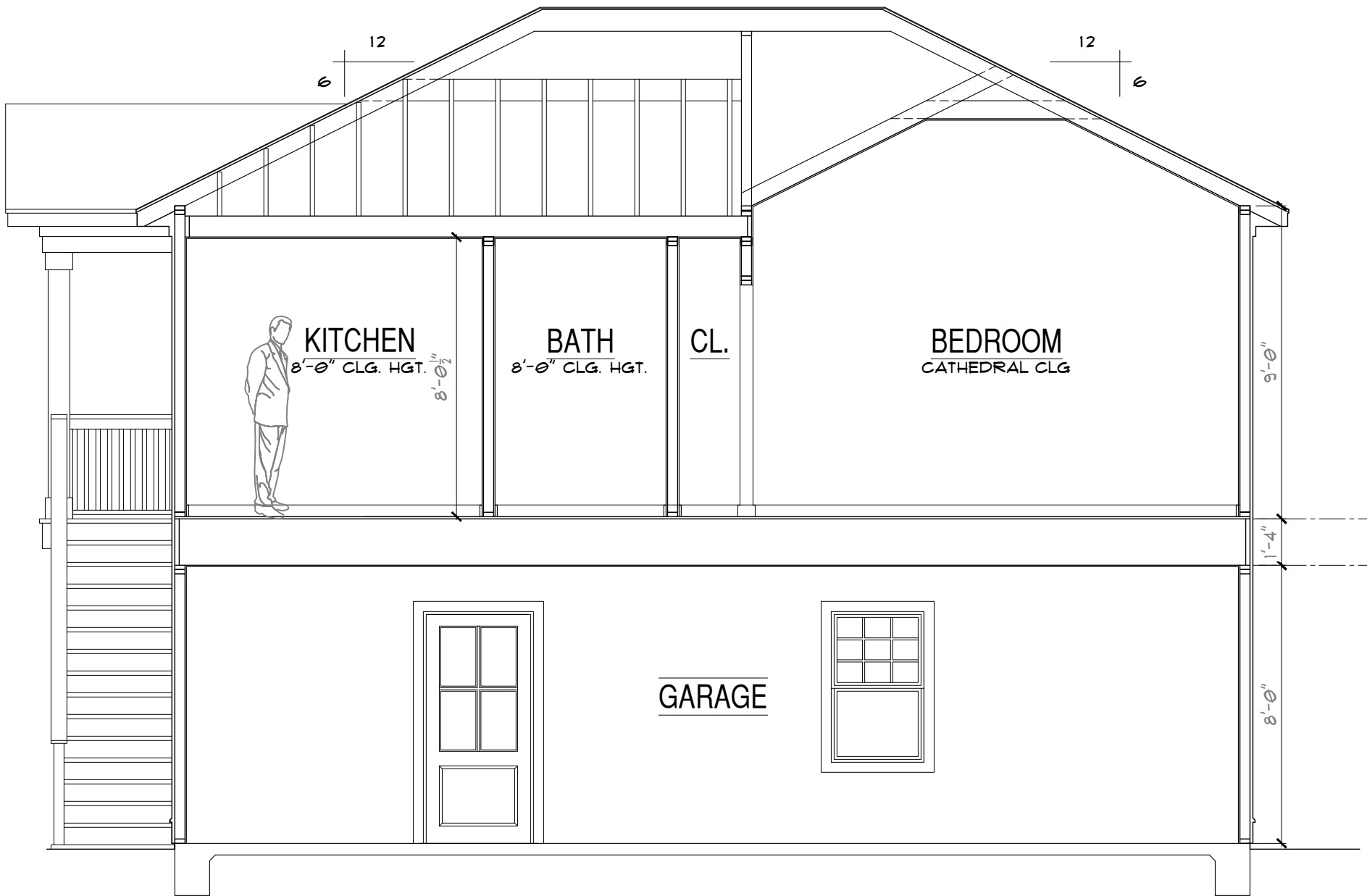
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



BUILDING SECTION 'A'

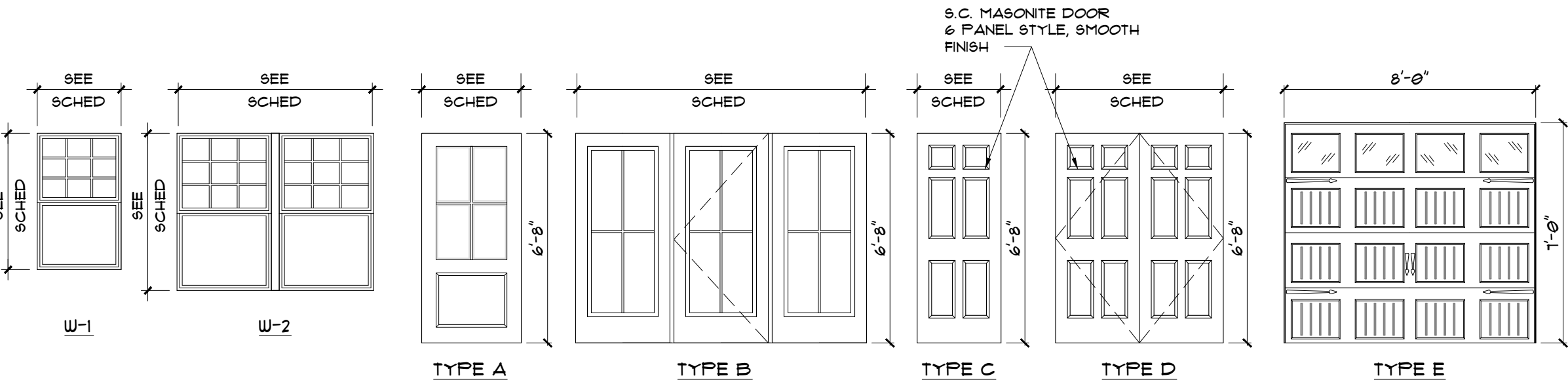
SCALE: 1/4" = 1'-0"



BUILDING SECTION 'B'

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE							WINDOW SCHEDULE							
	DOOR							WINDOW						
MARK	SIZE			MAT.	TYPE	REMARKS	MARK	SIZE			MAT.	TYPE	GLAZING	REMARKS
	W	H	T					W	H					
(1)	3'-0"	6'-8"	1"	WOOD	A	WAYNE DALTON GARAGE DOOR	(A)	3'-0"	5'-0"	WOOD	W-1	LOE INSUL.	EGRESS WINDOW	
(2)	8'-0"	1'-0"	1"	METAL	E		(B)	(2) 3'-0"	5'-0"	W-2				
(3)	8'-0"	1'-0"	1"		E		(C)	2'-0"	3'-4"	W-1				
(4)	8'-0"	1'-0"	1"	✓	E	WAYNE DALTON GARAGE DOOR	(D)	2'-8"	5'-0"	✓	W-1	✓		
(5)	5'-4"	6'-8"	1"	MASONITE	D	(2) 2'-8"								
(6)	3'-0"		1"	WOOD	A									
(7)	9'-2"		1"	✓	B	(3) 3068 (XOX)								
(8)	2'-4"		1"	MASONITE	C									
(9)	2'-4"				C									
(10)	2'-8"				C									
(11)	5'-4"				D	(2) 2'-8"								
(12)	4'-0"				D	(2) 2'-0"								
(13)	3'-0"	✓	✓	✓	D (SPT.)	(2) 1'-6" POCKET DOORS								
							NOTE: (1) WINDOW SIZES ARE BASED ON WINDSOR ALUMINUM CLAD WOOD WINDOW (2) PROVIDE TEMPERED GLASS IN ALL OPENINGS WHERE SAFETY GLAZING IS REQUIRED BY CODE (3) CONTRACTOR SHALL CONFIRM ROUGH OPENING REQUIREMENTS W/ WINDOW MFG. PRIOR TO FRAMING							



WINDOW TYPES

SCALE: 1/4" = 1'-0"

DOOR TYPES

SCALE: 1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES:

ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES, ORDINANCES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK WHETHER SHOWN IN THESE DOCUMENTS OR NOT.

CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.

CONTRACTOR SHALL SECURE AND PAY FOR ALL INSURANCE CALLED FOR BY LAW AND AS DIRECTED BY FUNDING INSTITUTION. COPIES OF INSURANCE CERTIFICATES SHALL BE FILED WITH THE ARCHITECT.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK; NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IRC 2024 CODE, OSHA, ACI, AISI AND AISC CODES AND REQUIREMENTS AND ALL APPLICABLE STANDARDS.

GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND VENDOR DRAWINGS FOR COORDINATION OF EQUIPMENT IN AND/OR BENEATH SLABS.

CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED FOR A COMPLETED CONDITION ONLY AND THEREFORE REQUIRES ADDITIONAL TEMPORARY SUPPORTS TO MAINTAIN STABILITY BEFORE COMPLETION. ROOF DECKING AND WALL SHEATHING WILL BE INSTALLED AND ALL JOISTS AND GIRDERS SECURED PRIOR TO TEMPORARY BRACING REMOVAL.

TEMPORARY BRACING DESIGN, INSTALLATION AND MAINTENANCE WILL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR AND/OR ERECTOR. TEMPORARY BRACING IS NOT A DESIGN FUNCTION OF THE STRUCTURAL ENGINEER.

SUBGRADE PREPARATION NOTES:

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

PRIOR TO CONSTRUCTION, ALL BUILDING AREA, PLUS APPROX. 5 FEET ON EACH SIDE, SHOULD BE STRIPPED OF ALL VEGETATION, TOP SOIL, ROOT SYSTEMS, ANY EXISTING PAVEMENTS, FOREIGN OBJECTS AND DEBRIS.

SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT WATER PONDING WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE STORM WATER RUN-OFF.

IF NECESSARY, THE SITE DEWATERING WILL BE EMPLOYED UNTIL THE FOUNDATIONS AND UTILITIES ARE IN PLACE. DEWATERING METHODS WILL BE SELECTED BY CONTRACTOR AND APPROVED BY ARCHITECT/ENGINEER.

ANY UTILITIES THAT UNDERLIE THE SITE, SHOULD BE RELOCATED AND THE TRENCHES BACK FILLED WITH APPROVED SUITABLE BACKFILL SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCHES THICK LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE EXPOSED SUBGRADE UNDER FOUNDATIONS AND SLABS WILL BE THEN LEVELED AND COMPACTED.

ALL OF THE EXPOSED SUBGRADE SHOULD BE COMPACTED BY REPEATED PASSES OF A VIBRATORY ROLLER. COMPACTION EFFORT SHOULD CONTINUE UNTIL THE SOIL UNDER FOOTINGS AND SLABS REACHED DENSITY OF 95% IN ACCORDANCE WITH ASTM D-1557 FOR A MINIMUM DEPTH OF 12 INCHES BELOW BOTTOM OF THE FOOTINGS AND SLABS.

ANY AREAS THAT BECOME UNSTABLE BENEATH COMPACTION EQUIPMENT SHOULD BE EXAMINED TO DETERMINE THE CAUSE. IF DUE TO UNSUITABLE SOIL, SUCH AS CLAY OR HIGHLY ORGANIC SOIL, THE AREA SHOULD BE UNDERCUT TO FIRM SOIL AND THE EXCAVATION BACKFILLED WITH APPROVED FILL COMPACTED TO 95% OF ITS DENSITY (IN ACCORDANCE WITH ASTM D-1557). IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE ACCEPTABLE SOIL, THE AREA SHALL BE AERATED OR OTHERWISE DRIED AND RECOMPACTED TO THE SPECIFIED DENSITY.

ALL OF THE FILL FOR THIS PROJECT SHOULD CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL WILL BE FREE OF ROOTS, CLAY LUMPS AND ANY DEBRIS. ALL OF THE FILL FOR THIS PROJECT WILL BE PLACED IN 12 INCH THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE DESIGN SOIL BEARING PRESSURE IS PSF 1500.

CAST IN PLACE CONCRETE, FOUNDATIONS AND FLOOR SLAB NOTES:

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, UNLESS NOTED OTHERWISE. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 318.

MIXING AND PLACING OF CONCRETE SHALL BE PROVIDED WITH CONSIDERATION TO WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION. FOR COLD WEATHER IN ACCORDANCE WITH ACI 306; FOR HOT WEATHER IN ACCORDANCE WITH ACI 305.

CURING METHODS SHALL BE SELECTED BY CONTRACTOR AND ARCHITECT/ENGINEER APPROVED TO SUIT WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION.

WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES.

CONCRETE FINISHES SHALL BE SELECTED TO ACCOMMODATE FLOOR COVERINGS. SCRATCHED FINISH FOR SURFACES INTENDED TO RECEIVE BOND APPLIED CEMENTIOUS APPLICATIONS. TROWELED FINISH FOR EXPOSED INTERIOR SURFACES. NONSLIP, LIGHT BROOM FINISH FOR EXTERIOR EXPOSED SURFACES.

ALL FINISHES SHALL BE MINIMUM CLASS B TOLERANCES, EXCEPT FOR EXPOSED CONCRETE SURFACES WHICH SHALL MEET CLASS A REQUIREMENTS IN ACCORDANCE WITH ACI 301.

GENERAL CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.

UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI SP-66, LATEST EDITION.

ALL BAR SPLICES SHALL BE CLASS C TENSION LAP SPLICES, UNLESS OTHERWISE SHOWN. PROVIDE STD. CORNER BARS AT ALL CORNERS.

PROVIDE MINIMUM OF 3" OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY AGAINST GROUND.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

WELDED WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH AT SIDE AND END LAPS AND BE WIRED TOGETHER.

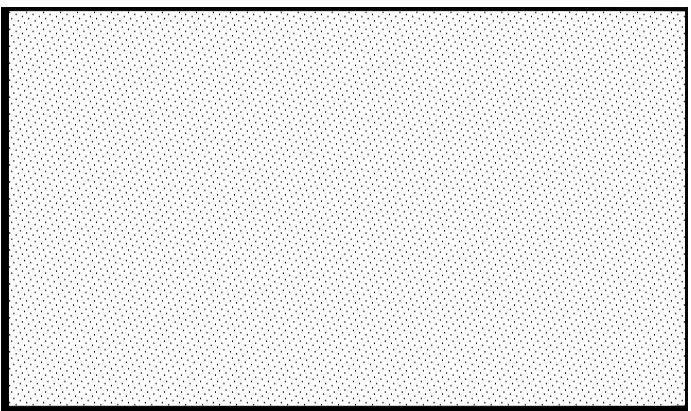
ALL SLAB AND FOUNDATION REINFORCEMENT SHALL BE TIED IN PLACE PRIOR TO PLACING CONCRETE.

HOLD UP REINFORCING WITH TYPICAL STANDARD CHAIRS.

REINFORCEMENT SHOWN SHALL BE USED AS DETAILING GUIDE. PROVIDE REBARS AS REQUIRED TO SUIT SPECIAL CONDITIONS.

CONTRACTOR SHALL COORDINATE EXACT ANCHOR BOLT LOCATIONS AND LAYOUT WITH BUILDING CODE REQUIREMENTS AND THESE DRAWINGS.

FLOOR JOINTS SHALL BE LOCATED AS RECOMMENDED BY ACI 318. CONSTRUCTION JOINTS SHALL BE LOCATED AS REQUIRED FOR WORK SEQUENCE.



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306 EAST 34ST STREET

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REVISIONS:	
(01)	03-01-23
(02)	03-25-26
(03)	-

SHEET TITLE:

FLOOR PLANS

BUILDING SECTIONS

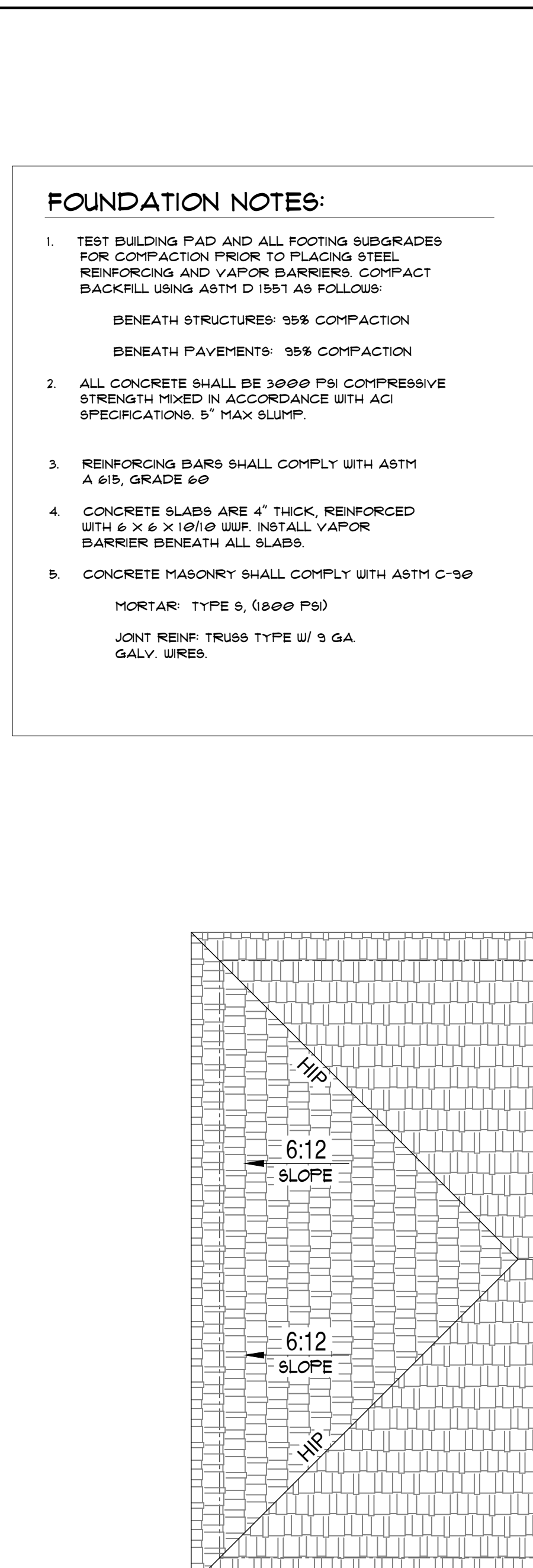
DETAILS

DATE: 10-10-22

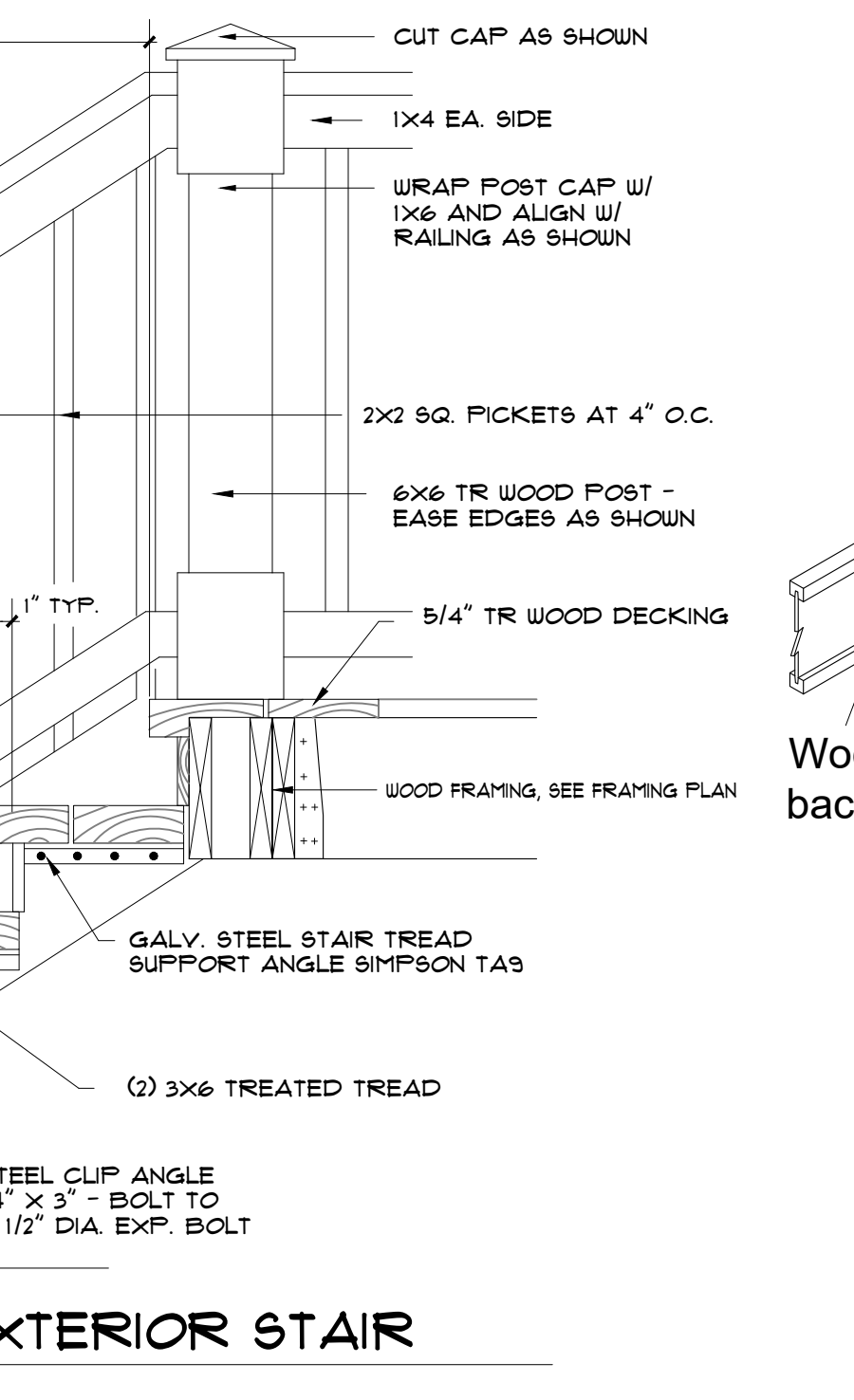
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A2



TYPICAL 2-STORY WALL SECTION



1. ALL FRAMING SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE IRC BUILDING CODE, 2018 EDITION, AND THE "MANUAL OF HOUSE FRAMING" PUBLISHED BY THE NATIONAL LUMBER MANUFACTURERS ASSOCIATION.
2. REFER TO FLOOR PLANS FOR DIMENSIONS
3. ALL FRAMING SHALL BE CONNECTED WITH GALVANIZED FRAMING ANCHORS AS INDICATED OR AS OTHERWISE REQUIRED TO PROVIDE A CONTINUOUS TIE THROUGH FRAMING MEMBERS FROM THE FOUNDATIONS TO THE ROOF.
- (A) END JOISTS OF ALL BEAMS AS INDICATED, OR IF NOT INDICATED, WITH "X" 16" GALVANIZED STEEL STRAPS AS REQUIRED TO PREVENT UPFLIFT.
- (B) BRACE CORNERS WITH PLYWOOD SHEATHING, OR IF PLYWOOD IS NOT USED, SHALL GALVANIZED STEEL BRAP BRACING EQUAL TO SIMPSON CUE-126 AT ALL EXTERIOR CORNERS.
4. WHERE PARTITIONS OCCUR ABOVE AND RUN PARALLEL TO JOISTS, PROVIDE DOUBLE JOISTS BELOW PARTITION.
5. PROVIDE BRIDGING OF FLOOR AND CEILING JOISTS AS INDICATED ON PLANS AND AS REQUIRED BY THE STANDARD BUILDING CODE.
6. WHERE COMPOSITE BEAMS, GIRDERS, OR HEADERS ARE INSTALLED, USE CONTINUOUS LUMBER MEMBERS WHERE POSSIBLE. WHERE MEMBERS ARE SPICED, PROVIDE SPICES IN LUMBER MEMBERS A DISTANCE FROM END SUPPORTS WHICH IS LESS THAN 1/3 OF THE TOTAL LENGTH OF THE MEMBER.
7. FRAMING OF ALL EXTERIOR DECKS, STAIRS AND FRAMING IN CONTACT WITH CONCRETE, MASONRY OR ROOFING COMPONENTS SHALL BE OF PRESSURE TREATED LUMBER. GUTTERS AT EXTERIOR DECK AND ENTRY CANOPY SHALL BE FRAMED WITH PRESSURE TREATED MATERIALS.
8. ALL FRAMING SET IN EARTH, IN CONTACT WITH EARTH, OR SET INTO CONCRETE WHICH IS EMBEDDED IN EARTH, SHALL BE PRESSURE TREATED AS REQUIRED FOR EARTH CONTACT.
9. WHERE TREATED JOISTS OR RAFTERS FRAME INTO UNTREATED HOUSE FLOOR FRAMING, PROVIDE HEADER OR RIBBON OF PRESSURE TREATED MATERIAL FASTENED TO HOUSE STRUCTURE FOR ATTACHMENT OF TREATED MEMBERS. PROVIDE CONCEALED FLASHING BETWEEN HOUSE FRAMING AND RIBBON TO PREVENT PENETRATION OF WATER INTO UNTREATED HOUSE FRAMING.
10. ALL FASTENERS USED WITH PRESERVATIVE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.
11. FRAMING IS BASED ON WOOD SPECIES WITH A MINIMUM FB OF 1200.



FRAMING PLAN

DEPRESS TOP OF FINISHED SLAB, AT GARAGE DOORS.

30'-11"

SLOPE TO DRAIN

38.5' A.M.S.L.

FIBERMESH OR OR WUF

30'-11"

3-CAR GARAGE

GARAGE SLAB:
 4" (3000 PSI) CONCRETE
 FIBERMESH OR 6x6 10/10 WUF
 OVER BUILT UP EARTH WITH
 6 MIL POLY MOISTURE BARRIER
 SMOOTH TROWEL FINISH

21'-0"

14'-5 1/2"

5'-1 1/2"

21'-0"

6'-6 3/4"

LAUND.

34'-0 1/2"

6'-1"

3'-11 1/2"

1"

SERV. YARD

ker and
 "x 3")

TJI®

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION PLAN

SCALE: $1/4" = 1'-0"$



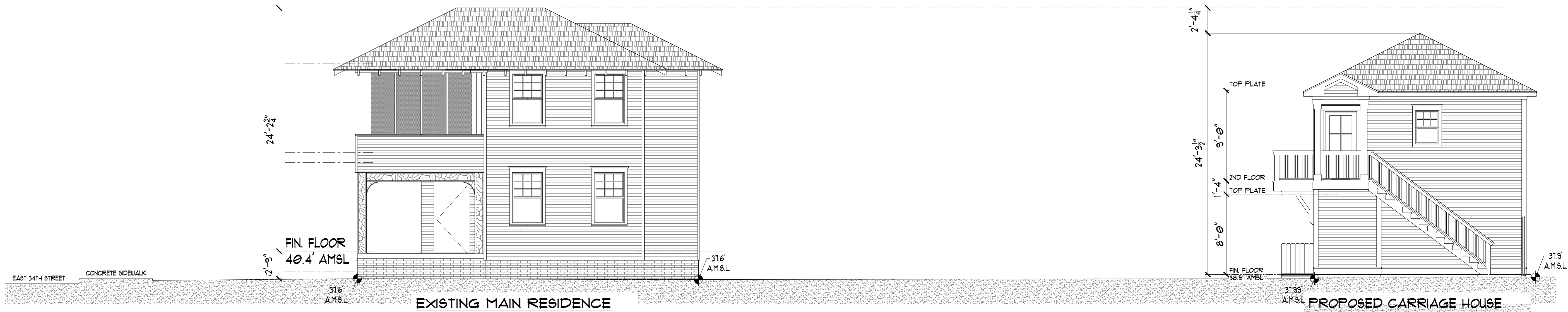
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SHEET TITLE:
WALL SECTION,
FOUNDATION,
& ROOF PLAN

A3

A3



CONTEXTUAL RIGHT SIDE ELEVATIONS/SITE SECTION

SCALE: 3/16" = 1'-0"



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(03) -	

SHEET TITLE:
**CONTEXTUAL
SITE ELEVATIONS**

DATE: 10-10-22	A4
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CHECKED BY: VP	



VIEW OF LANE NORTHWEST



VIEW OF LANE NORTH



VIEW OF LANE NORTHEAST



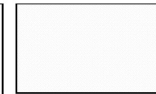
308 EAST 34TH STREET REAR ELEVATION



306 EAST 34TH STREET REAR ELEVATION



304 EAST 34TH STREET REAR ELEVATION



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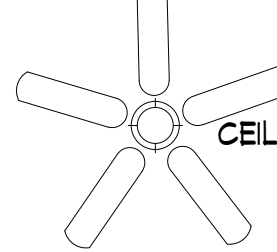
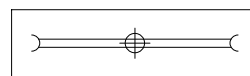
REVISIONS:
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(03) -

SHEET TITLE:
EXISTING
SITE PHOTOS

DATE: 10-10-22
DRAWN BY: VP
CHECKED BY: VP

A5

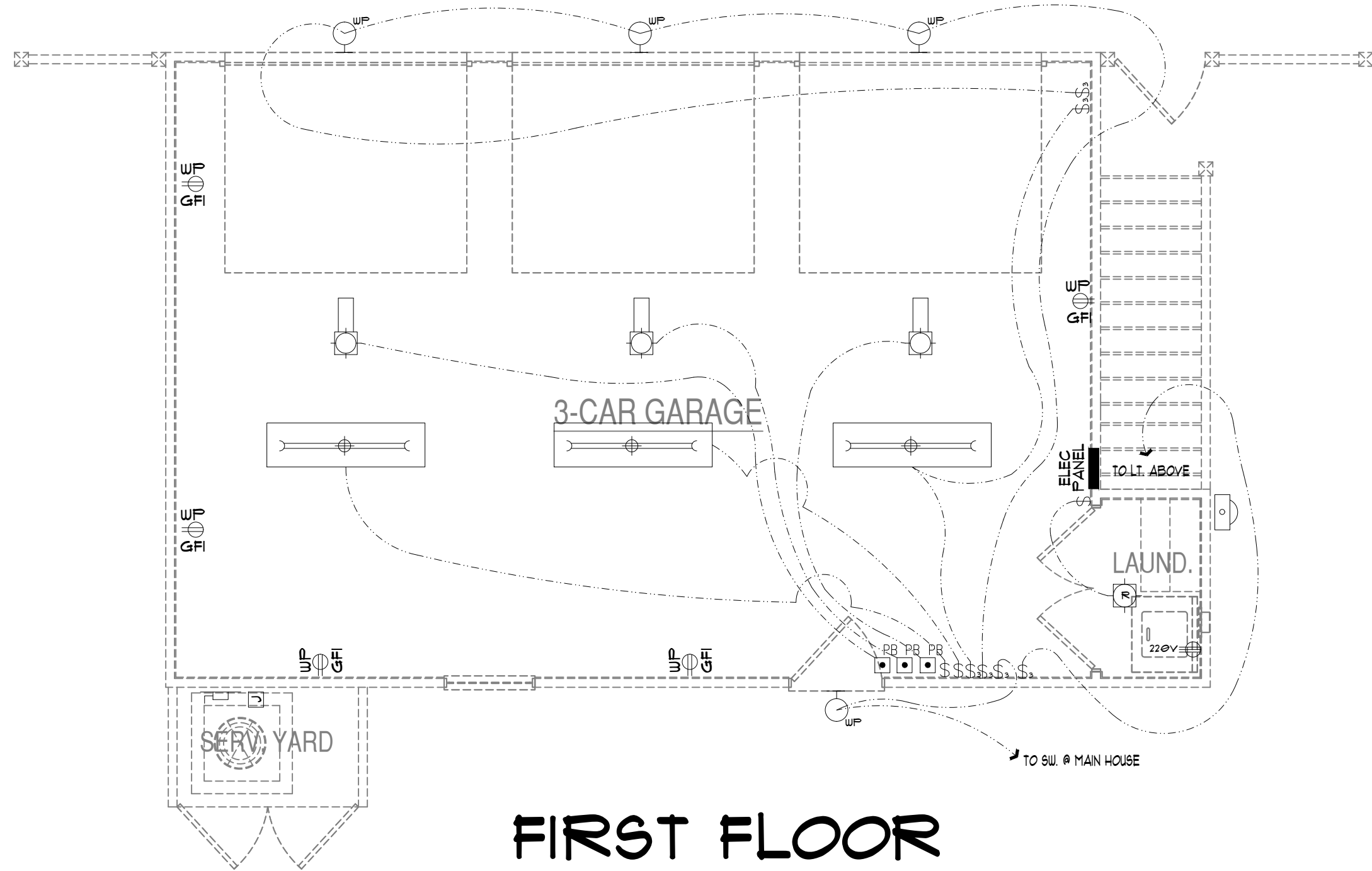
ELECTRICAL LEGEND

	CEILING FIXTURE		SECURITY LIGHT		UNDER CABINET LIGHT
	RECESSED LIGHT FIXTURE		DUPLEX RECEPTACLE		SINGLE POLE SWITCH
	WALL MOUNTED LIGHT FIXTURE		DUPLEX RECEPTICAL WITH TOP HALF SWITCHED		3-WAY SWITCH
	SMOKE DETECTOR		DUPLEX RECEPTICAL GROUND FAULT CIRCUIT		4-WAY SWITCH
	GARAGE DOOR OPENER		DUPLEX RECEPTICAL WATERPROOF W/ GFI		DIMMER SWITCH
	GARAGE DOOR SWITCH		220 VOLT OUTLET		THERMOSTAT
	VENT/LIGHT		FLOOR OUTLET TO BE LOCATED BY OWNER		EMERGENCY DISCONNECT
	EXHAUST FAN		CABLE TV/DATA OUTLET		JUNCTION BOX
	PENDANT LIGHTING		LOW PROFILE, LED CLG. MTD. FIXTURE		CEILING FAN W/ LIGHT
	GARBAGE DISPOSAL		STRIP FLOURESCENT FIXTURE		
	ELECTRICAL PANEL				

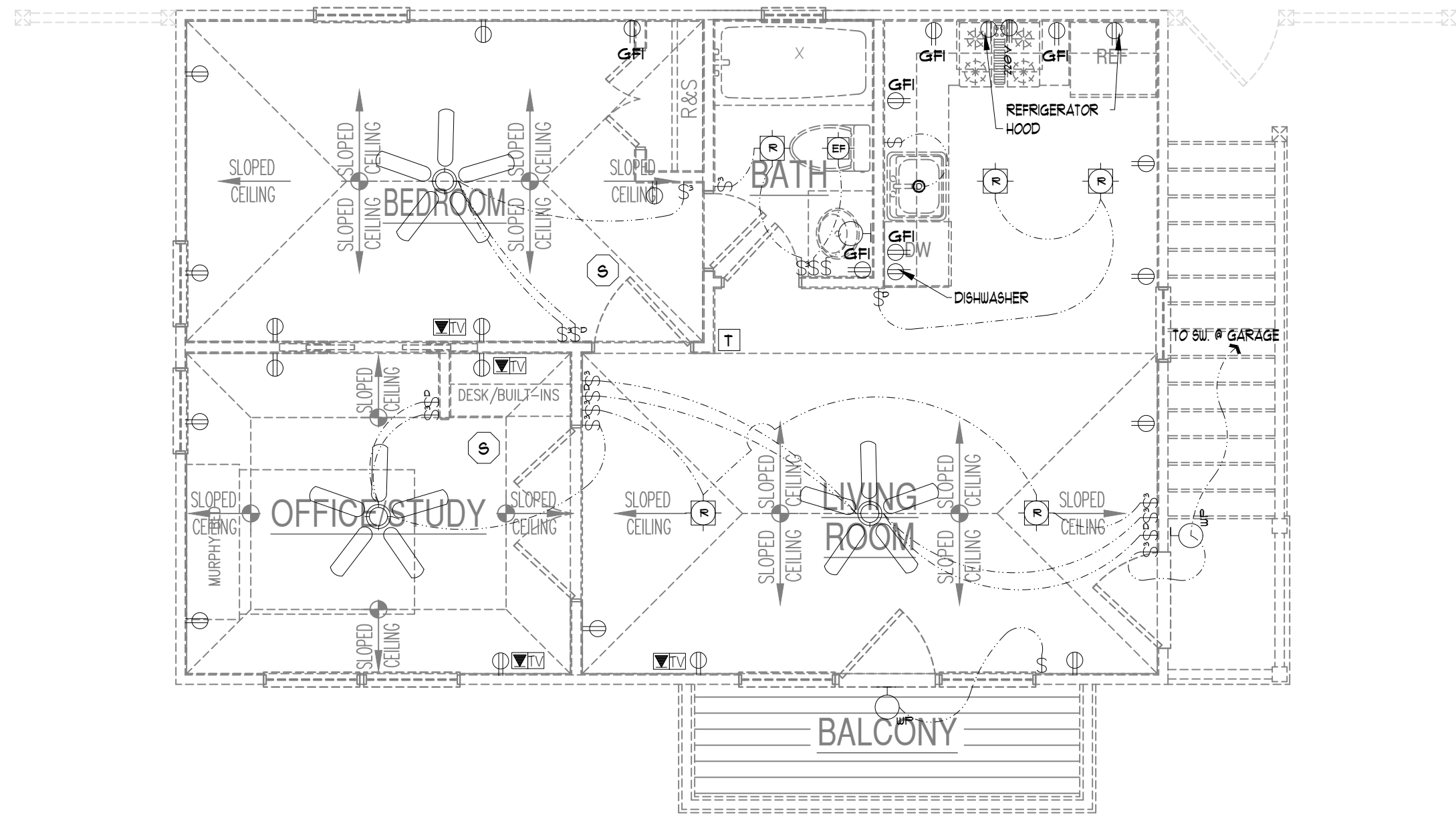
GENERAL NOTES:

- ISLAND COUNTER RECEPTACLES / OUTLETS SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND STATE OF GEORGIA AMENDMENTS.
- OUTLET BOXES IN THE WALL BETWEEN DWELLING & GARAGE SHALL BE METAL OR UL APPROVED FIRE RESISTANT PLASTIC.
- ONLY APPROVED OUTLET BOXES FOR CEILING FANS SHALL BE USED.
- SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES IN CLOTHES CLOSETS SHALL BE MAINTAINED 12" BETWEEN FIXTURE & NEAREST POINT OF STORAGE.
- COORDINATE LOCATION OF ELECTRICAL SERVICE WITH UTILITY COMPANY PRIOR TO INSTALLATION.
- PROVIDE AND INSTALL LOCAL CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- VANITY LIGHT STUB-IN TIO BE +14" STANDARD.
- UNLESS OTHERWISE NOTED INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR TO THE BOTTOM OF BOX AND RECPTACLE:

SWITCHES-----	+42"
OUTLETS-----	+14"
TELEPHONE-----	+14"
TELEVISION-----	+14"
OUTLETS-----	+14"
OUTLETS (GARAGE)-----	+48"
KITCHEN OUTLETS-----	+44"



FIRST FLOOR



SECOND FLOOR

ELECTRICAL PLANS

SCALE: 1/4" = 1'-0"



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New Carriage House for:
MICHAEL WARREN
306 EAST 34ST STREET
SAVANNAH, GA 31401

REVISIONS:
(01) 03-01-23
(02) 03-25-26
(03) -

SHEET TITLE:
**ELECTRICAL
PLAN**

DATE: 10-10-22
DRAWN BY: VP
CHECKED BY: VP

E1



Pinnacle Clad Impact Double Hung

Features and Benefits

- Clear Select Pine interior
- Clad units offer a strong, durable extruded aluminum sash and frame for low maintenance
- Glass is replaceable in case of damage
- EZ Tilt operation available for easy removal and replacement of sash (double hung only)



- Recessed lock and keeper for a sleek appearance



- Block and tackle balance system for ease of operation
- No-finger pull option for hardware application
- Certified against hurricane blasts: Laminated glass allows unit to crack instead of shatter when under great pressure
- Meets and exceeds building codes for extreme coastal environment conditions
- Laminated glass dampens sounds from traffic, neighbors and the outdoors
- Preserve protective film standard
- Head frame corners will be secured with corner keys, injected silicone and screws for improved stability
- A new, full-size, inverted block and tackle balance provides support for a heavier sash
- Jamb jacks provide the ability to make future adjustments after settling
- A trim identification line on the side and head inside stops provides easy alignment during installation

- Exterior jamb covers are available in finishes that match the aluminum, while interior species matches jamb covers, providing an all wood interior look



Sizes

Available in hundreds of standard and custom sizes

Glazing

- Glazed with tape and structural glazing sealant
- Cardinal Sea-Storm® LoE 366 insulated glass standard, featuring stainless steel spacers; tinted, tempered and laminated glass available
- Custom and special glass types available
- Insulated glass utilizes annealed glass on exterior and laminated glass on interior
- Laminated glass features PVB inner layer on operating units and SGP inner layer on picture units

Exterior Trim

- Clad windows available with WM 180 brickmould, Williamsburg or 3-1/2" flat casing; 3/8", 1-1/4" and 2-1/4" subsill available

Grilles

Windsor Divided Lite (WDL) = simulated divided lite

- 7/8" and 1-1/4" Perimeter Grille (*NOT available on radius double hung*)
- 7/8" and 1-1/4" Stick Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8v and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Short Contemporary WDL
- 2" Simulated Check Rail (*DH picture only*)
- Standard and custom grille patterns available

Finishes

- Interior – Available in Clear Select Pine
 - Primed: white or black
 - Painted: white, black or gray
 - Stained: 9 color options
- Exterior – Clad windows feature heavy-duty extruded aluminum cladding on sash and frame

Clad Colors

All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments

- 23 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

Hardware

Double hung lock available in champagne, white, bronze and black; optional finishes in faux bronze, oil rubbed bronze, satin nickel and bright brass

Performance Ratings

For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar



COLOR SELECTIONS FOR
306 EAST 34TH STREET
CARRIAGE HOUSE

FIBERGLASS/ASPHALT ROOF SHINGLES

GAF TIMBERLINE HDZ
BIRCHWOOD

HORIZONTAL FIBER CEMENT SIDING

HEARTS OF PALM
SW 6415

FIBER CEMENT DOOR& WINDOW TRIM

EXTRA WHITE
SW 7006

EXTERIOR WINDOWS & DOORS

YKK OR EQUAL
WHITE

STUCCO @ FOUNDATION WALL

WORM FINISH
SNOWBALL