



FELDER
★ ASSOCIATES
ARCHITECTURE
INTERIOR DESIGN

HPC SUBMISSION -DESIGN DETAILS 422 WEST 43rd STREET

●
SOUND AND FURY
STREETCAR HISTORIC DISTRICT
AUGUST 26, 2026



PROJECT DESCRIPTION

The project includes a new 2-story addition within an existing non-contributing covered courtyard. This addition is proposed to resemble a Row-house to fit contextually in this neighborhood. To maintain the historic integrity of the existing structure, the addition will be subordinate in height and mass. The new facade will step back from the existing primary facade and will feature simplified contemporary design details intended to complement the original architectural design.

Proposed exterior modifications to the original structure include restoring the historic wood siding and replacing in-kind sections that have been removed and fitted with non-historic materials. The double hung windows will be repaired and the original wood trim will be replaced in-kind. The non-historic 2nd floor rear balcony will be enclosed and a new door and double hung window matching in-kind will be provided.

These modifications are proposed for Sound and Fury, a new Post-Production Sound Design Studio. **This submittal is for New Construction, Part Two: Design Details.** A Recommendation of Approval for a variance for the min. 70% Building Frontage has been requested and previously approved.



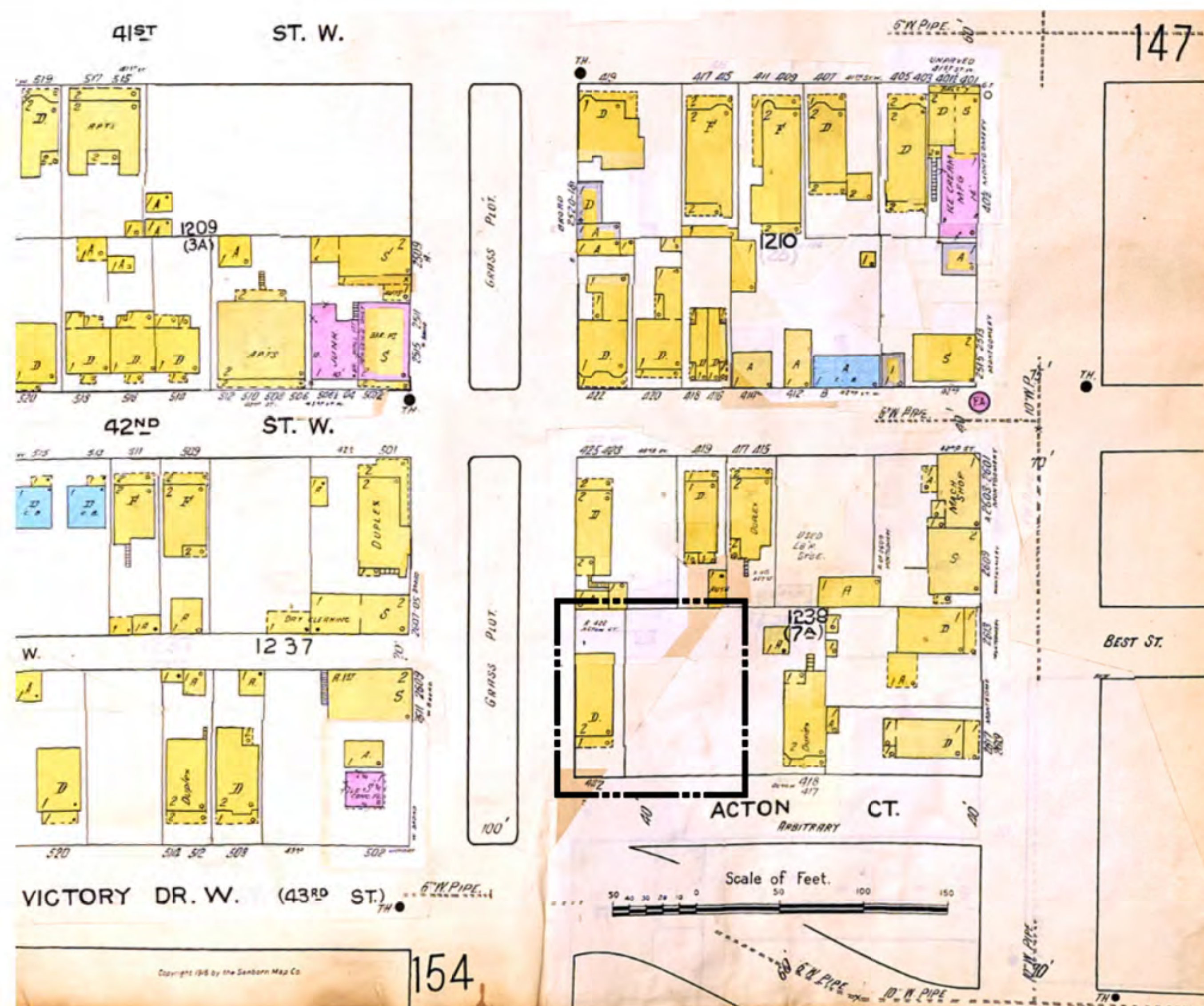
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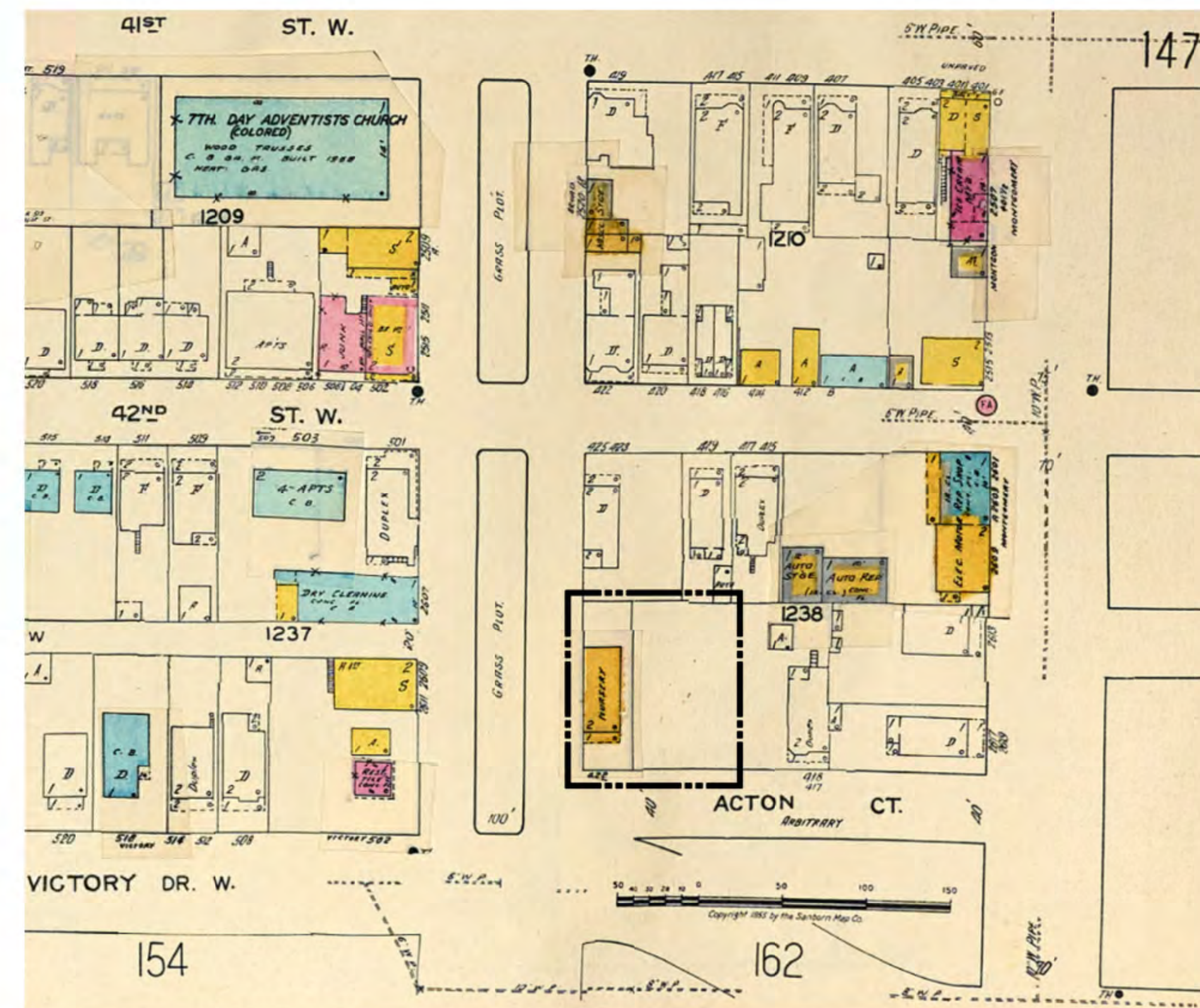


SANBORN MAP 1916-1953



The existing two story structure was built in 1920 as a single family home on the corner of West Broad Street and Acton Court. The current address is now 422 W. 43rd Street, on the corner of MLK Jr. Blvd. and W. 43rd St. According to the Sanborn Maps, the building was converted for use as a nursery sometime before the 1955-1966 Volume II map.

SANBORN MAP 1955-1966



The property sits on the southwestern most boundary of the Streetcar Historic District and is currently zoned TC-1 (Traditional Commercial -1). The original 2-story structure has been designated as a contributing resource, while the courtyard and existing structures are listed as non-contributing. An existing parking lot with 6 spaces is provided on the interior side of the lot.

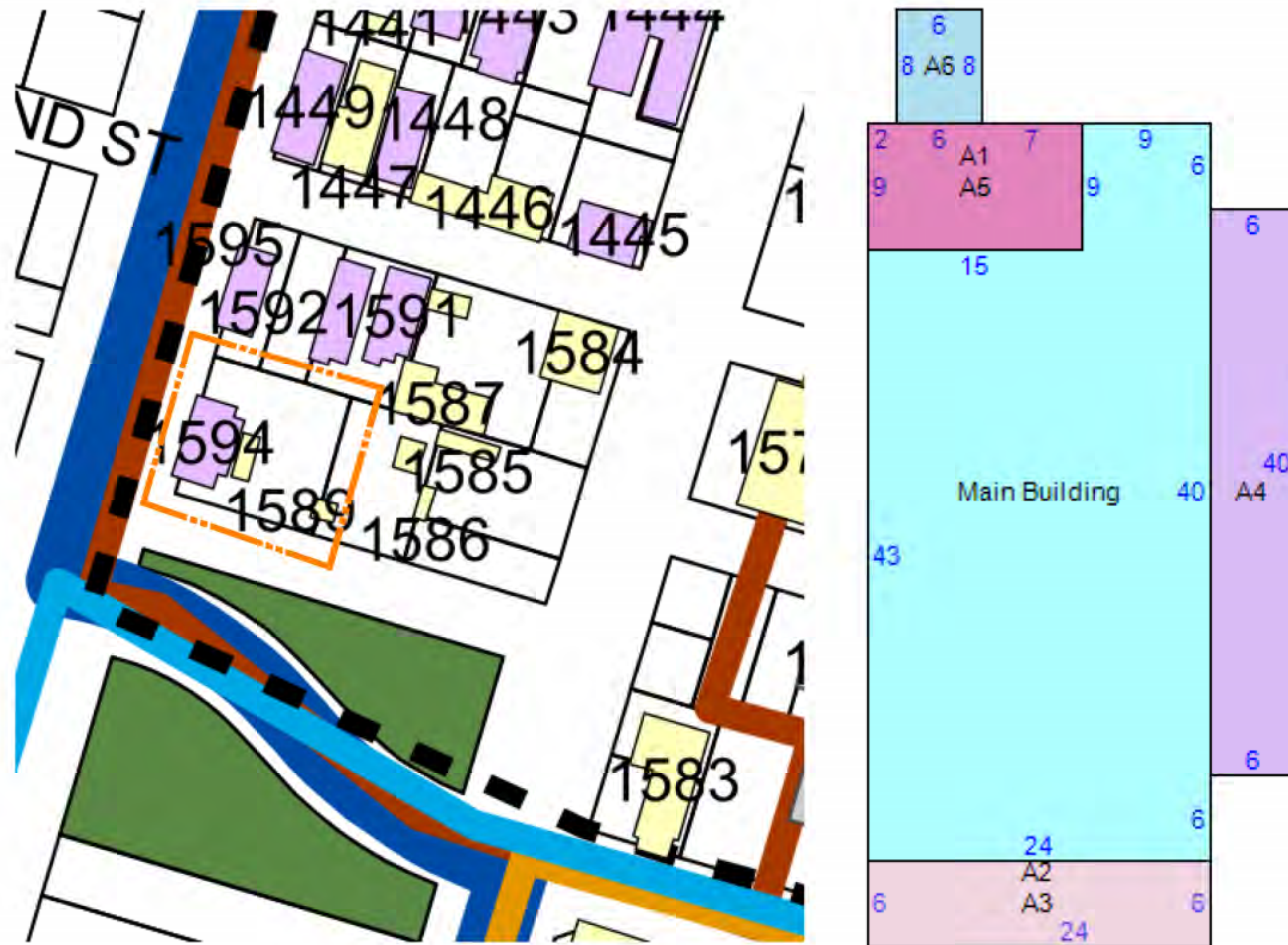
HISTORIC CONTEXT



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STREETCAR HISTORIC DISTRICT CONTRIBUTING STRUCTURES MAP

1591	417 W 42ND ST	YES	1920	2019	2-0074 -18-003
1592	415 W 42ND ST	YES	1920	2005	2-0074 -18-003
1593	422 W 43RD ST	NO	0	2019	2-0074 -18-011
1594	422 W 43RD ST	YES	1920	2005	2-0074 -18-011
1595	423 W 42ND ST	YES	1920	2005	2-0074 -18-001
1596	2200 PRICE ST	NO	1975	2019	2-0064 -43-001



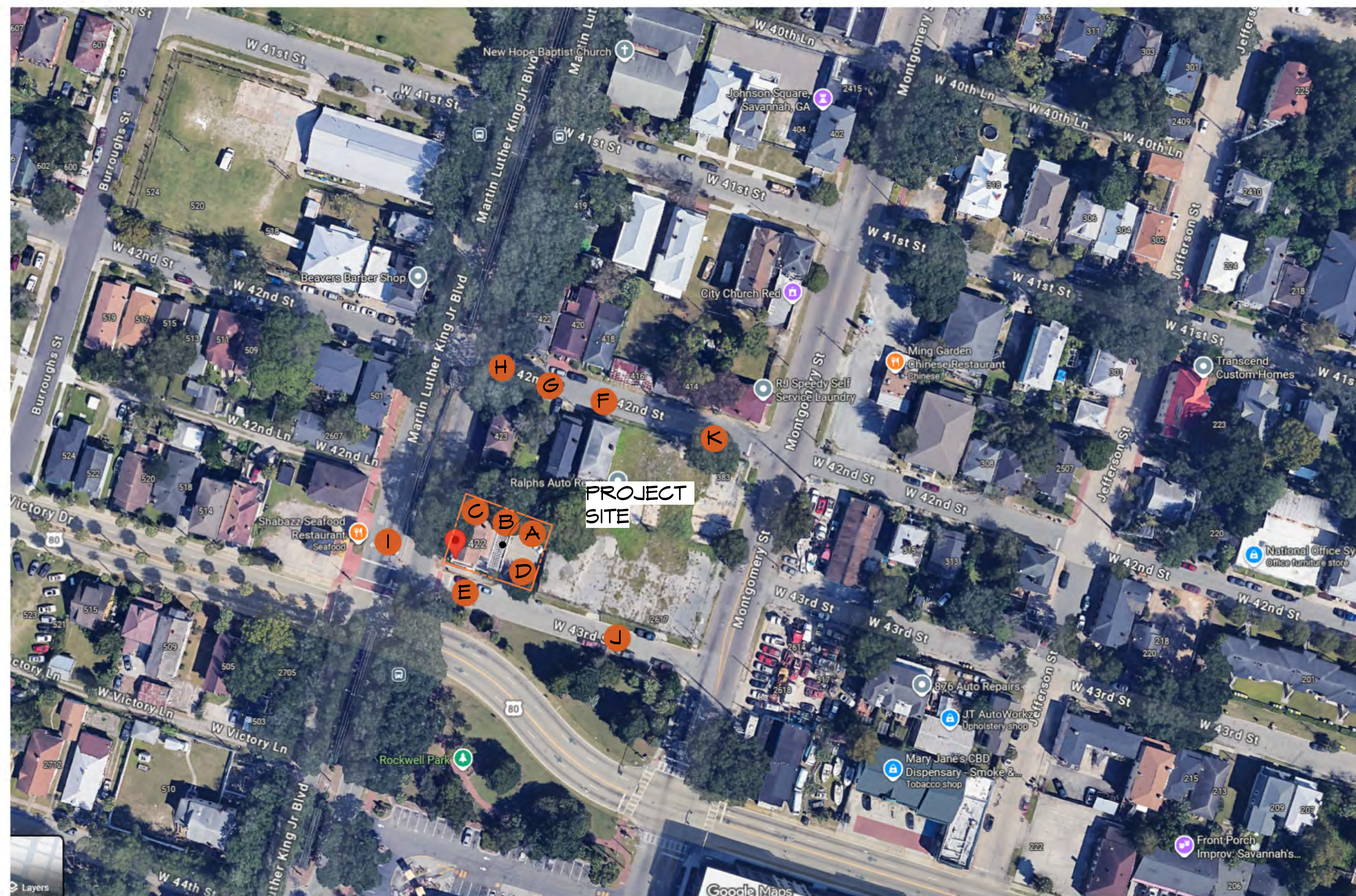
SITE INFORMATION



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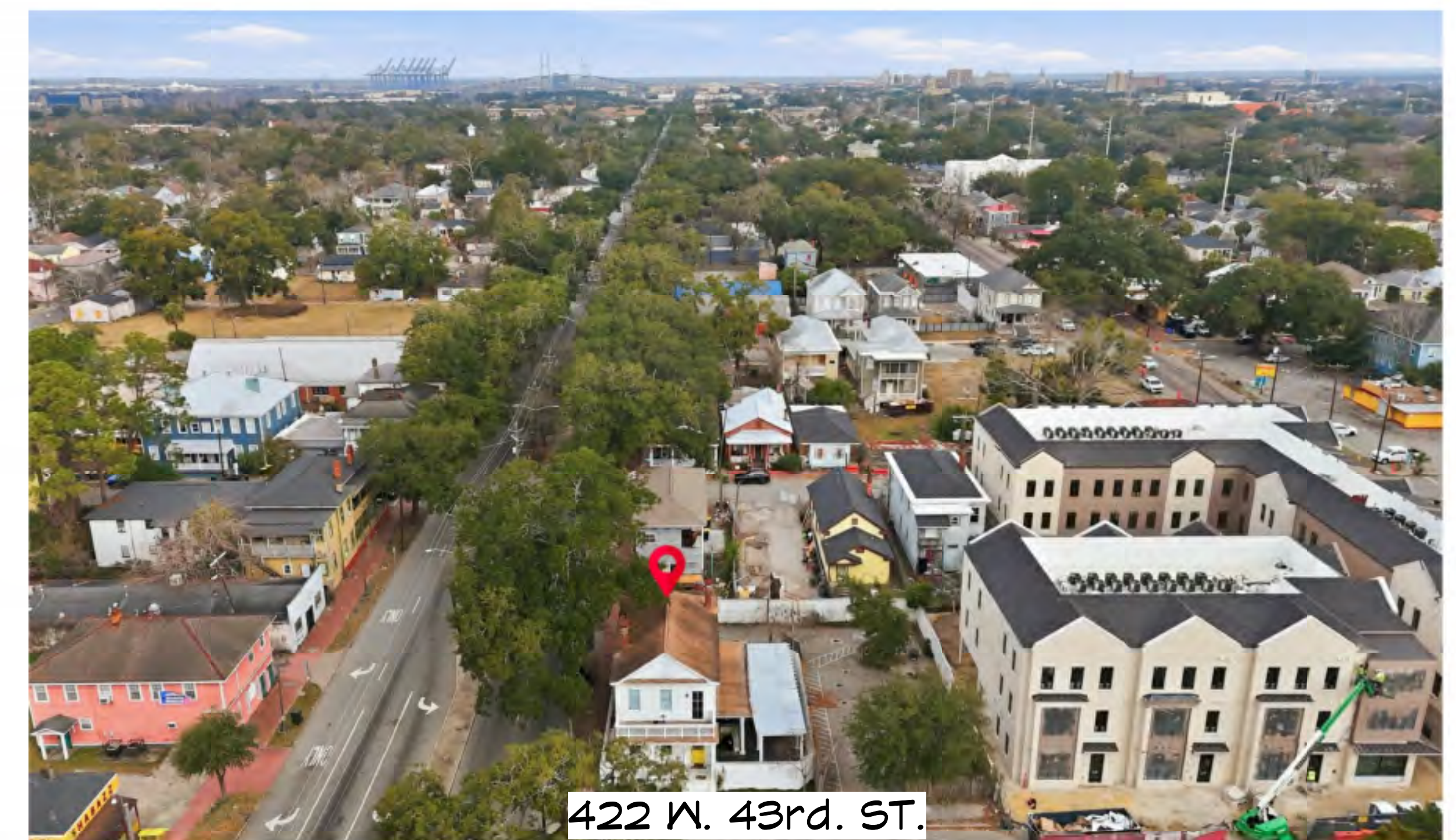




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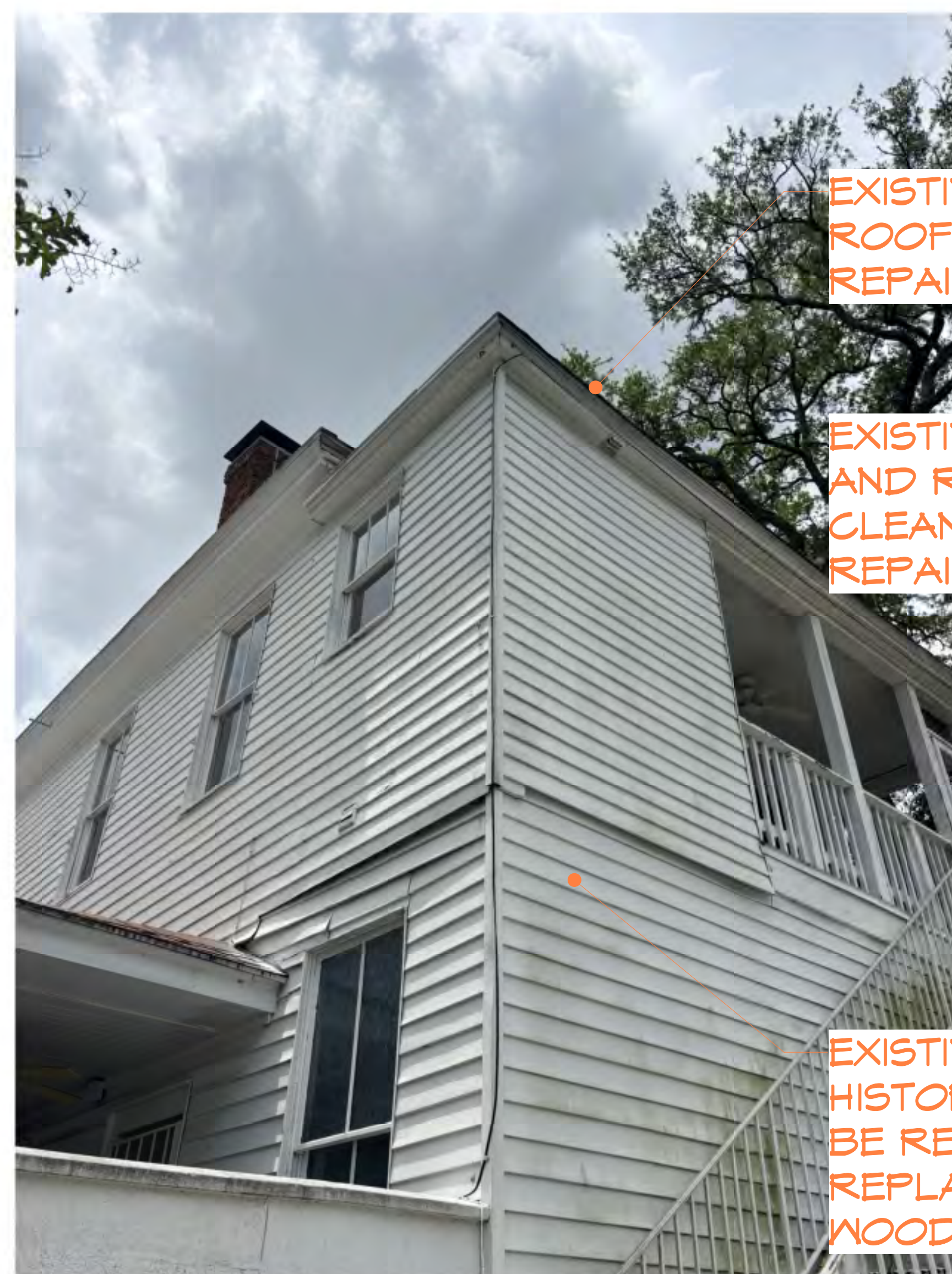




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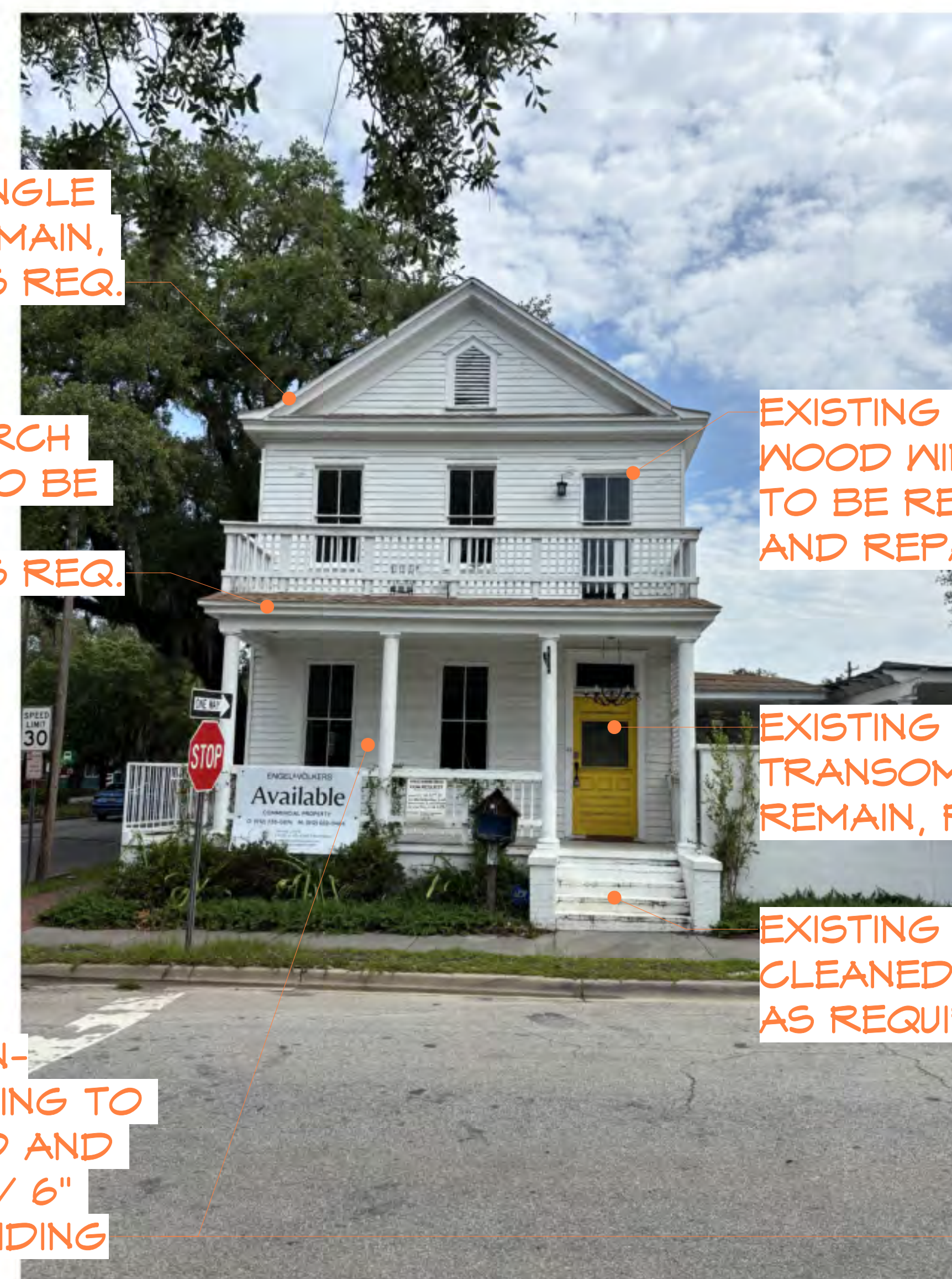
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EXISTING SHINGLE
ROOF TO REMAIN,
REPAIRED AS REQ.

EXISTING PORCH
AND ROOF TO BE
CLEANED &
REPAIRED AS REQ.

EXISTING NON-
HISTORIC SIDING TO
BE REMOVED AND
REPLACED W/ 6"
WOOD LAP SIDING



EXISTING HISTORIC
WOOD WINDOW TRIM
TO BE RESTORED
AND REPAINTED

EXISTING DOOR &
TRANSOM TO
REMAIN, PAINTED

EXISTING PORCH TO BE
CLEANED & REPAIRED
AS REQUIRED



THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION:

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The project requires minimal changes to the defining characteristics of the building.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The preservation standard is met. Historic features will be preserved.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The preservation standard is met.

4. Most properties change over time; those changes that have acquired historic significance shall be retained and preserved.

The preservation standard is met. Significant features are retained.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The preservation standard is met.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The preservation standard is met. All historic features are being repaired; retained and missing pieces are replaced in kind.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The preservation standard is met. The façade shall be cleaned with the gentlest means possible and repainted.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not Applicable.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The preservation standard is met.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The preservation standard is met.

VISUAL COMPATIBILITY FACTORS:

Visual compatibility factors. New construction and existing buildings and structures and appurtenances thereof in the historic district which are moved, reconstructed, materially altered, repaired, or changed in color shall be visually compatible with structures, squares and places to which they are visually related. The following factors shall be considered in determining the visual compatibility of such a building, structure, or appurtenance. These factors shall not be the basis for appeal of an adverse decision. Greater weight shall be given to adjacent historic structures.

- a) *Height.* New construction shall be permitted to build to the number of stories as shown on the Historic District Height Map and the Height of a building and the height of individual components of a building shall be visually compatible to the contributing structures to which it is Visually Related.

The standard is met. The addition remains subordinate in height.

- b) *Proportion of structure's front facade.* The relationship of the width of a structure to the height of its front facade shall be visually compatible to the contributing structures to which it is Visually Related.

The standard is met.

- c) *Proportion of openings.* The relationship of the width of the windows to height of windows within a structure shall be visually compatible to the contributing structures to which the structure is Visually Related.

The standard is met.

- d) *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the facades visible from the public right-of-way of a structure shall be visually compatible with the contributing structures to which the structure is Visually Related.

The standard is met.

- e) *Rhythm of structures on streets.* The relationship of a structure to the open space between it and adjacent structures shall be visually compatible with the open spaces between contributing structures to which it is Visually Related.

The standard is met.

- f) *Rhythm of entrance and/or porch projection.* The relationship of entrances, porch projections, and walkways to structures shall be visually compatible with the contributing structures to which they are Visually Related.

The standard is met.

- g) *Relationship of materials, texture, and color.* The relationship of materials, texture, and color of the facade of a structure shall be visually compatible with the predominate materials, textures, and colors used on contributing structures to which the structure is Visually Related.

The standard is met.

- h) *Roof shapes.* The roof shape of a structure shall be visually compatible with the contributing structures to which it is Visually Related.

The standard is met.

- i) *Walls of continuity.* Appurtenances of a structure such as walls, wrought iron, fences shall form consistent walls of enclosure along a street.

The standard is met.

- j) *Scale of a building.* The mass of a structure and size of windows, door openings, porches column spacing, stairs, balconies and

additions shall be visually compatible with the contributing structures to which the structure is Visually Related.

The standard is met.

- k) *Signs: Signs, where permitted, shall be visually compatible with contributing buildings and structures to which they are visually related.*

(Not Applicable)

- l) *Directional expression of front elevation. A structure shall be visually compatible with the structures to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.*

The standard is met.

DESIGN STANDARDS:

Design standards. The following design standards shall apply to new construction, additions, and alterations to historic and non-historic buildings and structures. Though certain building materials are prescribed herein, the Board may approve alternative materials that are not listed as prohibited upon a showing by the applicant that the material or product is visually compatible with historic building materials and has performed satisfactorily in the local climate.

- (a) **Streets and Lanes. (Not applicable to this project)**
 - i. Development shall preserve or reconstruct the historic ward pattern of streets and lanes within the Oglethorpe Plan Area. The Oglethorpe Plan Area is that portion of the Savannah National Historic Landmark District comprised of the city plan, established by James Oglethorpe in 1733 and continued until 1851, that is unique to Savannah for its system of wards containing a series of urban blocks divided by streets and lanes with a central public square. For the purpose of this section, a square is a common public open space in the center of a ward, typically one (1) acre in size.
 - ii. The Oglethorpe Plan Area is bounded by the centerline of the following streets: Gaston Street on the south, Bay Street on the north, Martin Luther King, Jr., Boulevard on the west, and East Broad Street on the east as shown in Figure 7.8-3.
 - iii. Within the Oglethorpe Plan Area, streets are classified as one of the following (Figure 7.8-2):
 - (1) Service Street A north-south street bounding the eastern and western perimeter of a ward, usually a one-way street.
 - (2) Connecting Street East-west streets and north-south streets that are internal to the ward, portions of which surrounds and forms the square.

- (3) Through Street An east-west street bounding the northern and southern perimeter of a ward.
- (4) Trust Street The east-west street between trust blocks.
- (5) Lane The service corridor that divides a titling block.
- iv. Streets and lanes shall not be bridged, except for pedestrian bridges on Factors Walk. Such bridges shall be for pedestrian use only. Factors Walk bridges

- (b) **Height.** The number of stories as shown on the Height Map (Fig. 7.8-4) shall be permitted. Variances from the Height Map shall not be permitted. Additionally, the following standards shall apply:
 - i. Large-Scale Development shall also be subject to the provisions of Sec. 7.8.10.t., Large-Scale Development.

The standard is met.

- ii. Stories are further clarified as follows:

The standard is met.

- (1) Buildings throughout the Historic District, which front a street, shall be at least two stories, except in the Beach Institute Character Area or for accessory buildings which front a lane.
- (2) Accessory buildings which front a lane shall be no taller than two stories.
- (3) A mezzanine shall not count as a story. Mezzanines are limited in area; see Section (a) Definitions.
- (4) A basement that is entirely underground shall not count as a story.
- (5) A crawl space or partial basement that is four feet or less above grade shall not count as a story.
- (6) Non-habitable rooftop structures such as church spires; cupolas; chimneys; tanks and supports; parapet walls not over 4 feet high; and Mechanical or Access Structures shall not be considered a story.
- (7) Habitable space within a roof or structures above a roof used other than to enclose stairways or elevator machinery shall be considered a story.
- (8) In calculating the dimensions of a story, the following provisions shall apply (except in cases where the floor-to floor heights can be shown to be historically predominately lower, such as in the Beach Institute Character Area):
 - (a) Residential buildings:
 - (i) The exterior expression of the height of raised basements shall be not less than 6'-6" and not higher than 9'-6".
 - (ii) The exterior expression of the height of the first story, or the second story

- in the case of a raised basement shall be not less than 11 feet.
- (iii) The exterior expression of the height of each story above the second shall not be less than 10 feet.

- (b) Commercial buildings:
 - (i) The exterior expression of the height of the ground floor shall not be less than 14 feet, six (6) inches.
 - (ii) The exterior expression of the height of the second story shall be not less than 12 feet.
 - (iii) The exterior expression of the height of each story above the second shall be not less than 10 feet.

- (9) Commercial buildings:
 - (a) The first story shall be designed as a storefront (See Sec. 7.8.10.h. Commercial Storefronts).
 - (b) Subdivide the facade horizontally into base, middle and top. The first story shall be separated from the upper stories by an architectural feature such as a string course (i.e. projecting horizontal band) or change in material. Such features may be placed at the top of the second story when the first and second stories have the visual appearance of a unified exterior expression.
 - (c) The height of the first story shall not be less than the exterior visual expression of the height of any single story above the first story.
 - (d) The exterior visual expression of the top story of buildings over three (3) stories shall be distinctive from the stories below the top story.

- (c) **Building Form.** The proposed building form for new construction shall comply with the following:

The standard is met.

- i. A proposed building on an east-west connecting street shall utilize an existing historic building form located within the existing block front or on an immediately adjacent titling or trust block.
- ii. A proposed building located on an east west through street shall utilize an historic building form fronting the same street within the same ward or in an adjacent ward.

- lii, A proposed building located on a trust block which fronts into a tithing block shall utilize an historic building form within such trust block. If, however, no historic buildings exist on such trust block, an historic building form from the tithing block across the street shall be utilized.
 - iv. A proposed building located on a trust block with front another trust block shall utilize an historic building form from the same trust block. If, however, no historic building exists on the trust block, an historic building form from the trust block across the street shall be utilized. If, however, no historic building exists on such trust block, a historic building form from the tithing block across the street shall be utilized.
- (d) **Setbacks. Setbacks shall comply with the following:**
The standard is met.
- i. Front yards. There shall be no front yard setbacks except as follows:
 - (1). On tithing lots where there is a historic setback along a particular block front, such setback shall be provided.
 - (2). On a trust lot fronting a square, proposed buildings may establish a front yard setback not to exceed 20 feet.
 - ii. Side and rear yards.
Side and rear yard setbacks shall not be required.
- (e.) **Foundations**
The standard is met.
- i. Alterations to contributing resources
 - (1) Foundations shall be repaired with in-kind materials rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director and the new foundation shall be of the same materials and configuration as the original foundation.
 - (2) If the original foundation material and/or configuration is unknown, the new foundation material and configuration shall be based on historic context.
 - (3) The space between piers may be filled with heavy gauge wood lattice with at least one-half (0.5) inch thick lattice boards, horizontal boards, brick, or stucco over concrete block. Infill material shall be recessed a minimum of three inches behind the front edge of the pier so that the piers are clearly visible and differentiated.
 - ii. New construction, alterations to non-contributing resources and additions
 - (1) Configuration Beneath a wood frame building, the foundation shall be recessed and not project forward of the building plane.
 - (2) Materials
 - (a) Foundations piers shall be constructed of brick, stone, or stucco over concrete block piers. CITY OF SAVANNAH ZONING ORDINANCE FINAL – EFFECTIVE SEPTEMBER 1, 2019 AMENDED OCTOBER 10, 2019 Article 7.0 Sec. 7.8 Savannah Downtown Historic Overlay District 7-30 **The foundation will be constructed of stucco over concrete block.**
 - (b) The space between piers may be filled with wood lattice, horizontal boards, brick, or stucco over concrete block. Infill material shall be recessed a minimum of three (3) inches behind the front edge of the pier so that the piers are clearly visible and differentiated.
- (f.) **Exterior Walls**
The standard is met
- i. Alterations to contributing resources
 - (1) Materials
 - (a) Exterior walls shall be repaired with in-kind materials rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director, and the replacement materials and configuration shall be of the same materials and configuration as the original wall. **The existing non-historic siding will be removed and replaced with 6” lap wood siding.**
 - (b) Prohibited
 - (i) Materials that cause damage, obscure, or change the appearance to the underlying historic fabric are prohibited.
 - ii. New construction, alterations to non-contributing resources and additions
 - (1) Configuration On lots less than 60 feet in width the front face shall be constructed to form a continuous plane parallel to the street. Bays and porches attached to such elevation may project street ward of the plane.
 - (2) Materials **The standard will be met.**
 - (a) Permitted materials
 - (i) Residential exterior walls shall be finished in brick, wood, or true stucco. Commercial exterior walls shall be finished in brick, concrete formed or assembled as stone, precast concrete panels with finish to simulate stucco texture, polished stone and glazed brick or tile where similar historic examples exist along the same block front.
 - (ii) Vinyl siding, aluminum siding, rolled asphalt, precast concrete panels, fiber cement wood simulated horizontal lap siding, fiber cement panels, EIFS, T-111, ceramic-based coatings and sealers on siding.
 - (b) Finishes and Treatments
 - (a) Color changes to contributing resources shall be historically appropriate.
 - (b) Ceramic based coatings and sealers on wood siding shall not be permitted.
 - (c) Cleaning, when undertaken, shall be so as not to damage historic fabric. Sandblasting and disk sanding shall not be permitted.

exterior walls of the addition will be finished using Haride Artisan 6" lap siding.

- (b) Prohibited materials: Vinyl siding, aluminum siding, rolled asphalt, EIFS, T I I I, corrugated metal, unpainted exposed CMU blocks, fiber cement panels, ceramic-based coatings, and sealers on siding.
- (3) Finishes and Treatments Colors, stains, and finishes shall be visually compatible with contributing resources within the block. If none exist, the color shall be compatible with contributing resources within the ward.

(g) **Entrances and Doors**

The standard is met.

i. Alterations to contributing resources

- (1) Doors shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation of the door shall be photographically documented and verified by the Planning Director, and the new door shall be of the same material and configuration as the original.
- (2) If the original door material and/or configuration is unknown, or if a new door is proposed in an unoriginal opening, the new door material and configuration shall be based on historic context.
The existing entry door will remain; any damage will be repaired.

ii. New construction, alterations to non-contributing resources and additions

(1) Location

(a) Trust Lots

- (i) A building on a trust lot facing a square shall locate its primary entrance to front the square.
- (ii) A building on a trust lot not facing a square shall locate its primary entrance so that it fronts the same street as other contributing buildings on the same block.

- (b) Tithing Blocks: A building on a tithing block shall locate its primary entrance to front the east-west street.

- (c) Broughton Street: A building on Broughton Street shall locate its entrances at no

greater intervals than 50 feet; provided, however, that for a corner entrance the interval to the next entrance may be increased to 60 feet.

- (d) North of Broughton Street: North of Broughton Street, a corner building located adjacent to a north-south service street shall have an entrance on the service street.
- (e) East-West Connecting Street: A building along an east-west connecting street fronting a square shall entrances at intervals not to exceed 50 feet.
- (f) Corner Entrance: An angled entrance shall only be permitted at intersections of streets or lanes.
- (g) If none of the above conditions apply, the building entrance shall be consistent with contributing buildings within the context.
- (2) Configuration Door frames shall be inset not less than three (3) inches from the exterior surface of the façade of a building, excluding facades with wood siding.
- (3) Materials
 - (a) Permitted: Glass, wood, clad wood, or steel (without wood grain simulation). See Sec. 7.8.10.h Commercial Storefronts. The standard is met. The new door is made of wood.
 - (b) Prohibited: Vinyl; sliding glass doors visible from a street; steel-pressed doors simulating wood grain, half-moon, semi-circular, diamond or similar light insets; boarded-up doors or entrances.

(h) **Windows, Shutters and Commercial Storefronts**

The standard will be met.

(1) Alterations to contributing resources

- (a) Windows shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation of each window shall be photographically documented and verified by the Planning Director, and the new window shall be of the same materials and configuration as the original (including single-glazed and true-divided lights, when appropriate).
The existing double hung windows will remain. Any damage will be repaired. The original historic wood trim will be restored.

- (b) If the original window material and/or configuration is unknown, or if a new window is proposed in an unoriginal opening, the new window material and configuration shall be based on historic context.

- (c) The boarding of windows and/or window openings shall not be permitted (see Sec. 3.20, Proactive Preservation, contributing buildings for temporary boarding). Windows and frames shall be weather-tight and free from cracks. Openings shall contain windows, doors, or storefronts.

(2) **New construction, alterations to non-contributing resources and additions** The standard is met.

a. Configuration

- (i) All windows facing a street, exclusive of storefronts, basement and top story windows, shall be rectangular and shall have a vertical to horizontal ratio of no less than 5:3; provided, however, nothing in this section precludes an arched window being used. Accent windows may be round or other shapes.
- (ii) Windows facing a street shall be double or triple hung, awning, casement or Palladian.
The new windows will be double-hung and made of aluminum-clad.
- (iii) The boarding of windows and/or window openings shall not be permitted; however, exceptions may be made for emergency situations as provided in Sec. 3.19, Certificate of Appropriateness for the Savannah Downtown Historic District. Windows and frames shall be weather-tight and free from cracks. Openings shall contain windows, doors, or storefronts.
- (iv) The centerline of the window and door openings all align vertically.
- (v) Double glazed, simulated divided light, windows shall be permitted provided that the following are met:
 - a. The muntin is 7/8 inches or less,
 - i. The muntin profile shall simulate traditional putty glazing,
 - ii. The lower sash rail shall be wider than the meeting and top rails,
 - iii. There shall be a spacer bar in between double panes of glass, and

- iv. Extrusions shall be covered with appropriate molding.
- (vi) Between-the-glass, snap-in or applied muntin shall not be permitted.
- (vii) Framing members shall be covered with appropriate trim; trim shall feature a header, surrounds, and pronounced sill where appropriate.
- (viii) Window sashes shall be inset a minimum of three (3) inches from the façade of a building, excluding exterior surfaces with wood siding.
- (ix) The distance between windows shall not be less than for adjacent contributing buildings, nor more than two (2) times the width of the windows on primary facades. The Board may waive strict compliance with this standard where historic precedent exists within the visually- related context and is visually compatible.
- (x) Paired or grouped windows shall be permitted, provided the individual sashes have a vertical to horizontal ratio of not less than 5:3.
- (xi) Bay windows shall extend to the ground unless they are oriel, beveled or are supported by brackets.
- (b) Materials
 - (i) Window casings and sashes shall be made of metal, wood, or clad wood material.
 - (ii) Window glass shall be transparent with no dark tints or reflective effects (except for stained glass windows). This provision does not preclude the use of Low Emissivity glass.
 - (iii) Solid vinyl windows shall be prohibited.
- ii. Shutters **The standard will be met.**
 - (1) Exterior shutters shall consist of a durable wood.
 - (2) Shutters shall be hinged and operable and sized to fit the window opening.
 - (3) The placement of the horizontal rail(s) shall correspond to the location of the meeting rail(s) of the window.
- iii. Commercial Storefronts **The standard will be met.**
 - (1) Alterations to contributing resources
 - (a) Original storefronts shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be

- photographically documented and verified by the Planning Director, and the new storefront shall be the of same materials and configuration as the original.
- (b) If the original storefront material and/or configuration is unknown, the new storefront material and configuration shall be based on historic context.
- (2) New construction, alterations to non-contributing resources and additions **The standard will be met.**
 - (a) Configuration
 - (i) The first story of a commercial building (except buildings with offices on the ground floor) shall be designed as a storefront.
 - (ii) Storefront area glazing shall be not less than 55% of surface area. Such glazing shall be transparent; provided, however, opaque glass may be used in the storefront window transoms. Storefront glazing shall extend from the sill, or from an 18-24-inch base of contrasting design or material to the lintel.
 - (iii) Storefront glazing in subdivided sashes shall be inset a minimum of four (4) inches from the face of the building; provided, however, that continuously glazed storefronts may be flush with the face of the building. **The standard is met.**
 - (iv) Entrances fronting Broughton Street shall be recessed and centered within the storefront.
 - (b) Materials
 - (i) Storefronts shall be constructed of wood, cast iron, Carrera glass, aluminum, steel, or copper as part of a glazed storefront system.
 - (ii) Storefront bases shall consist of wood, bronze, masonry, glazed brick or tile.
 - (iii) Exterior burglar bars, fixed “riot shutters”, roll-down shutters, or similar

- (i) **Porches, Stoops, Balconies, Porticos, Exterior Stairs and Decks**
The standard will be met. The original historic porch is existing to remain.
 - i. Alterations to contributing resources
 - (1) Porches shall be repaired rather than replaced, provided however, if the degree of degradation does not allow for repair, the degradation shall be photographed and verified by the Planning Director, and the new porch materials and configuration shall be the same of the same materials and configuration as the original. **The standard will be met. Any damage will be repaired.**
 - (2) If the original porch material and/or configuration is unknown, the new porch material and configuration shall be based on historic context.
 - (3) Front porches shall not be enclosed. Historic side and rear porches may be screened with fine wire mesh, lattice or shutters, provided the porch continues to read as a porch and character defining features (including but not limited to columns, balustrades, entablature, etc.) are retained and not obscured or damaged. Historic rear porches may also be enclosed with glazing. **The standard will be met.**
 - (4) Prohibited materials: Fiberglass (including Perma-Cast), vinyl and PVC. **The standard will be met.**
 - (5) Wrought iron brackets shall not be used with wood balcony railings. **The standard is met.**
 - ii. New construction, alterations to non-contributing resources and additions Porches, stoops, balconies, porticos and exterior stairs within the public right-of-way may be permitted with the approval of the encroachment by the Mayor and Aldermen and provided that the following criteria are met: **The standard will be met.**
 - (1) Configuration
 - (a) Wood portico posts shall have a cap and base molding. The column capital shall extend outward of the porch architrave.
 - (b) Balusters shall be placed between the upper and lower rails, and the distances between balusters shall not exceed four inches on center. The height of the railing shall not exceed 36 inches for single- and two-family dwelling units. **The standard will be met.**

- (c) Stoop heights shall be visually comparable to other historic stoops to which they are visually related and shall not exceed nine (9) feet, six (6) inches. **The standard will be met.**
- (d) Infill between foundation piers shall be recessed so that the piers are distinguishable.
- (e) Residential balconies shall not extend more than three (3) feet in depth from the face of a building and shall be supported by brackets of other types of architectural support.
- (f) Decks shall be screened from view from the street and shall be stained or painted to blend with the colors of the main building.
- (g) New exterior basement stairs may be established in the D-CBD district with approval of the encroachment by the Mayor and Aldermen and provided the following criteria are met:
- (i) A minimum of three (3) feet of unobstructed sidewalk shall be maintained between the edge of the exterior basement stairs and the tree lawn. A minimum of six (6) feet shall be maintained if no tree lawn exists. No portion of any tree lawn may be used for exterior basement stair space.
 - (ii) New exterior basement stairs shall be located only on a secondary façade.
 - (iii) An exterior basement stair shall not dominate the façade or interfere with the visual expression or architectural features of a building.
- (2) Materials **The standard will be met.**
- (a) On porches, porticos, and stoops, if proposed, piers and base walls shall be the same material as the foundation wall facing the street.
 - (b) Porch elements shall be constructed of brick, painted, or stained wood, wood composite, precast stone, marble, sandstone, or slate.
 - (c) Supported front porticos shall be constructed of wood unless the proposed material matches other façade details on the same building, such as terracotta, marble, or metal.
- (d) Prohibited material: Vinyl.
 - (e) Wrought iron brackets shall not be used with wood balcony railings. **The standard is met.**
- (j). **Awnings, Canopies and Shade Structures**
- Awnings, canopies, and shade structures within the public right-of-way may be permitted with the approval of the encroachment by the Mayor and Aldermen and provided that the following criteria are met:
- The project does not include new or existing awnings.**
- i. Configuration
 - (1) Installations extending above the public right-of-way shall have a minimum vertical clearance of eight (8) feet above the sidewalk.
 - (2) Awnings and canopies shall be structurally and architecturally integrated into the design of the façade.
 - (3) Installations shall not obscure character-defining features.
 - (4) Back-lit (internally lit) awnings shall be prohibited.
 - (5) Awnings shall not connect two (2) façades.
 - (6) Prefabricated shade structures not specifically custom designed for a particular site or building shall be located to the rear of the property, minimally visible, or screened from view. The maximum height shall be 11 feet and the maximum area shall be 100 square feet on any property, unless specifically required by state law for playground equipment. Colors shall be neutral.
 - ii. Materials
 - (1) Installations shall be constructed of canvas, cloth or equivalent, metal, or glass.
 - (2) Supports shall consist of metal or wood. PVC shall not be permitted.
- (k). **Roofs**
- The standard will be met.**
- i. Contributing Resources
 - (1) Configuration
 - (a) Original roof configuration shall be maintained.
 - (b) Skylights, roof decks, pergolas and roof vents shall be permitted only on the roof plane opposite the street, or when screened from public view and shall not damage or obscure character-defining features.
- (c) Dormers shall not damage or obscure character-defining features and shall reinforce the existing historic window pattern.
- (2) Materials
- (a) Original roof material shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director, and the new roof shall be of the same material and configuration as the original (except wood or asbestos).
 - (b) Metal roofs shall have a metal drip edge covering all edges.
- ii. New construction, alterations to non-contributing resources and additions **The standard will be met.**
 - (1) Configuration
 - (a) Gable and hip roofs pitches shall be between 4:12 and 8:12. Gable and hip roofs in excess of 8:12 pitch shall be permitted only where a similar contributing building roof pitch exists within the same block front. **The new hip roof will have a pitch of 4:12.**
 - (b) Pitched roofs parallel to the street with less than 4:12 pitch shall have an overhang and be bracketed or have a similar projecting eave detail or be screened from the street by a parapet wall. **The pitched roof will overhang 12”.**
 - (c) Shed roofs, and porch roofs, subordinate and attached to the primary building, shall be pitched between 2:12 and 6:12. Where historically appropriate, flat roofs may be utilized. **The covered porch will have a pitch of 2:12.**
 - (d) Parapets shall have a stringcourse and a coping. **The standard will be met.**
 - (e) Mansard roofs shall slope from all four sides to a flat or low hipped plane, shall have a molded cornice both above and below the lower roof slope, and shall be used only in conjunction with a habitable story.
 - (f) Skylights and roof vents may be permitted if integrated into roof design.
 - (g) Pergolas and roof decks shall not be permitted on the street façade.

(h) Eaves shall extend no less than 12 inches beyond the supporting walls. **The standard will be met.**

(i) Gable end rakes shall overhang at least eight (8) inches.

(j) Eaves and rakes on accessory buildings and dormers shall overhang at least eight (8) inches.

(k) Soffits shall be placed perpendicular to the building wall, not sloping in plane with the roof (except for gable end rakes).

(l) Applied mansard roofs shall not be permitted.

(2) **Materials** **The standard will be met.**

(a) Roof coverings shall be standing seam metal, v-crimp, slate or equivalent synthetic, tile, or architectural asphalt or similar shingles.

The roof will be made of architectural asphalt shingles.

(b) Metal roofs shall have a metal drip edge covering all edges. **The standard will be met.**

(c) Rooftop gardens or green roofs, as defined by City Code Part 8 (Planning and Regulation of Development), Article F (Green Roofs) shall be permitted.

(l.) **Additions to Contributing Resources**

The standard will be met.

Additions shall comply with the above standards and the following standards:

i. Additions shall not be on the primary or front façade of the resource and shall be located to the rear of the resource or the most inconspicuous façade. **The standard will be met.**

ii. Additions shall be subordinate in height and mass to the resource. **The standard will be met.**

iii. Additions shall not obscure or damage any character-defining features. **The standard will be met.**

iv. Additions to roofs shall not be visible from the front elevation. **The standard will be met.**

v. An addition shall be sited such that it is clearly an appendage and distinguishable from the contributing building. **The standard will be met.**

vi. Additions shall be reversible with minimal damage to the contributing building. **The standard will be met.**

(m.) **Accessory Structures**

Accessory structures, including accessory dwellings, shall comply with the Visual Compatibility Criteria, the above design standards,

the requirements set forth in Sec. 8.7, Accessory Structures and Uses, except as provided below:

The project does not include any new accessory structures.

i. Configuration Accessory structures shall be in the rear yard even if there is no lane access.

(1) The height and mass of the primary building shall not be exceeded by any accessory building or structure on the same parcel.

(2) Accessory buildings and structures shall not be more than two (2) stories tall.

(3) Where contributing accessory dwellings are to be expanded in depth, such expansion shall not occur on the lane façade of the building.

(4) New accessory dwellings and garages may have up to a five (5) foot lane setback to allow a turning radius into the garage.

(5) Roofs shall be side gable, hip with parapet, flat or shed with parapet.

(6) Driveway aprons shall not be erected on the public right-of-way.

ii. Doors and Openings

(1) In contributing accessory dwellings or accessory structures, original entry dimensions shall not be modified.

(2) Where garage doors front streets or are adjacent to sidewalks, they shall resemble carriage house doors.

(3) Garage openings shall not exceed 12 feet in width.

(n.) **Satellite Dishes**

The project does not include satellite dishes.

i. Ground mounted satellite dishes shall not be located in a front yard.

ii. Ground mounted satellite dishes in the side (street) yard shall be completely screened by a fence or wall or landscaping.

iii. Building mounted satellite dishes shall not be located on a street fronting façade (except lanes).

(o.) **Fuel Canopies**

The project does not include fuel canopies.

i. The entire canopy, including columns and roof, shall be architecturally compatible with the design of the principal building.

ii. The entire canopy, including columns and roof, shall be constructed of building materials consistent with the principal building, and should be complementary to the overall color scheme of the building façade from which it projects.

iii. A canopy may be counted toward the building frontage requirements, if applicable to the district, only where the spacing of columns along the frontage is no greater than 20 feet and where the columns are placed at the edge of the canopy.

(p.) **Mechanical Equipment and Refuse**

Existing equipment and refuse shall remain.

Mechanical equipment and refuse shall comply with Sec. 9.5.3, Screening of Service Areas, except as provided below.

i. Electrical vaults, meter boxes, communications devices, and similar equipment shall be located on the secondary and/or rear façades and shall be minimally visible from view.

ii. Roof mounted equipment and HVAC units shall be screened from view from the public right-of-way.

iii. Through-the-wall air conditioners may be installed in new construction when they are incorporated into the design and screened by a decorative grate.

iv. Refuse storage areas shall be located within a building or to the side or rear of the building and screened from the public right-of-way.

v. Alternative energy source devices may be permitted on new construction and noncontributing resources. Such devices may be permitted on contributing resources provided they are not visible from a street fronting elevation and do not damage or obscure any character-defining features.

(q.) **Lighting**

In addition to the requirements set forth in Sec. 9.8, Lighting, the following standards apply:

The standard will be met.

i. Configuration Light fixtures shall be compatible with the scale of the subject property and with the character of the district. **The standard will be met.**

ii. Materials Light fixtures shall be constructed of metal and/or glass. **The standard will be met.**

iii. Source Type White light source only. **The standard will be met.**

(r.) **Parking and Paving**

In addition to the requirements set forth in Sec. 9.3, Off-Street Parking and Loading, parking, and paving shall comply with the following:

No alterations

- i. Parking areas shall be in the rear yard. Properties on Trust lots or with double street frontage are exempt from this provision.
- ii. Vehicular access shall be from lanes or north-south service streets. When a property does not front a lane or north-south service street, parking may be accessed from east west connecting streets or trust streets.
- iii. Structured parking within the first story of a building shall be setback a minimum of 30 feet from property lines along all public rights-of-way (not including lanes). This standard does not apply to structured parking on the same lot as single family and two-family residential dwellings that are either on a corner lot with lane access or on a parcel that does not have access to a lane.
- iv. Curb cuts shall not exceed 20 feet in width. Loading areas for commercial development are exempt from this provision and shall be the minimum required.
- v. Loose paving materials, such as crushed shell or gravel, may be permitted if it is no closer than 18 inches of the public right-of-way.
- vi. Vehicle and pedestrian drop-off areas shall not be accommodated within the footprint of the building on the primary façade, unless the Board determines that there are site specific constraints which require it.

(s.) Fences, Trellises and Walls

The standard will be met. The existing wood fence is to remain.

Fences and walls shall comply with Sec. 9.6, Fences and Walls except as provided below.

- i. Configuration
 - (1) Fences, trellises, or walls shall not exceed 11 feet in height; however, where adjoining walls exceed 11 feet, any new wall may be constructed to the height of the existing wall. Rooftop trellises may exceed 11 feet in height, provided they are visually compatible.
 - (2) Fences, trellises, and walls shall not extend beyond the front façade of a building except in the following cases:
 - (a) A building set back on a trust lot with a front garden.
 - (b) A building set back on an east-west street with a front garden.
 - (3) Where permitted, fences or walls shall not exceed 48 inches within the front yard.

ii. Materials

- (1) Fences and walls facing a public street shall be constructed of the material and color of the primary building; provided however, iron, or extruded aluminum fencing may be used with a masonry structure. **The existing wood fence will remain and be repaired as required.**
- (2) Wood fences shall be painted or stained wood. **The standard will be met.**
- (3) Trellises shall be wood, metal or wire.
- (4) A masonry base shall be used with iron or extruded aluminum fencing.
- (5) Prohibited: Chain-link, vinyl, PVC, corrugated metal, barbed wire, razor wire.

(t.) Large-Scale Development Standards

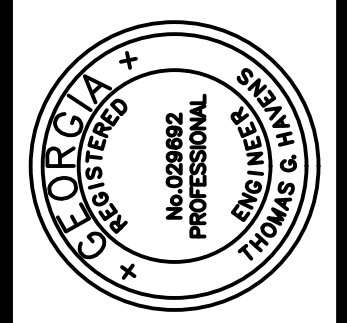
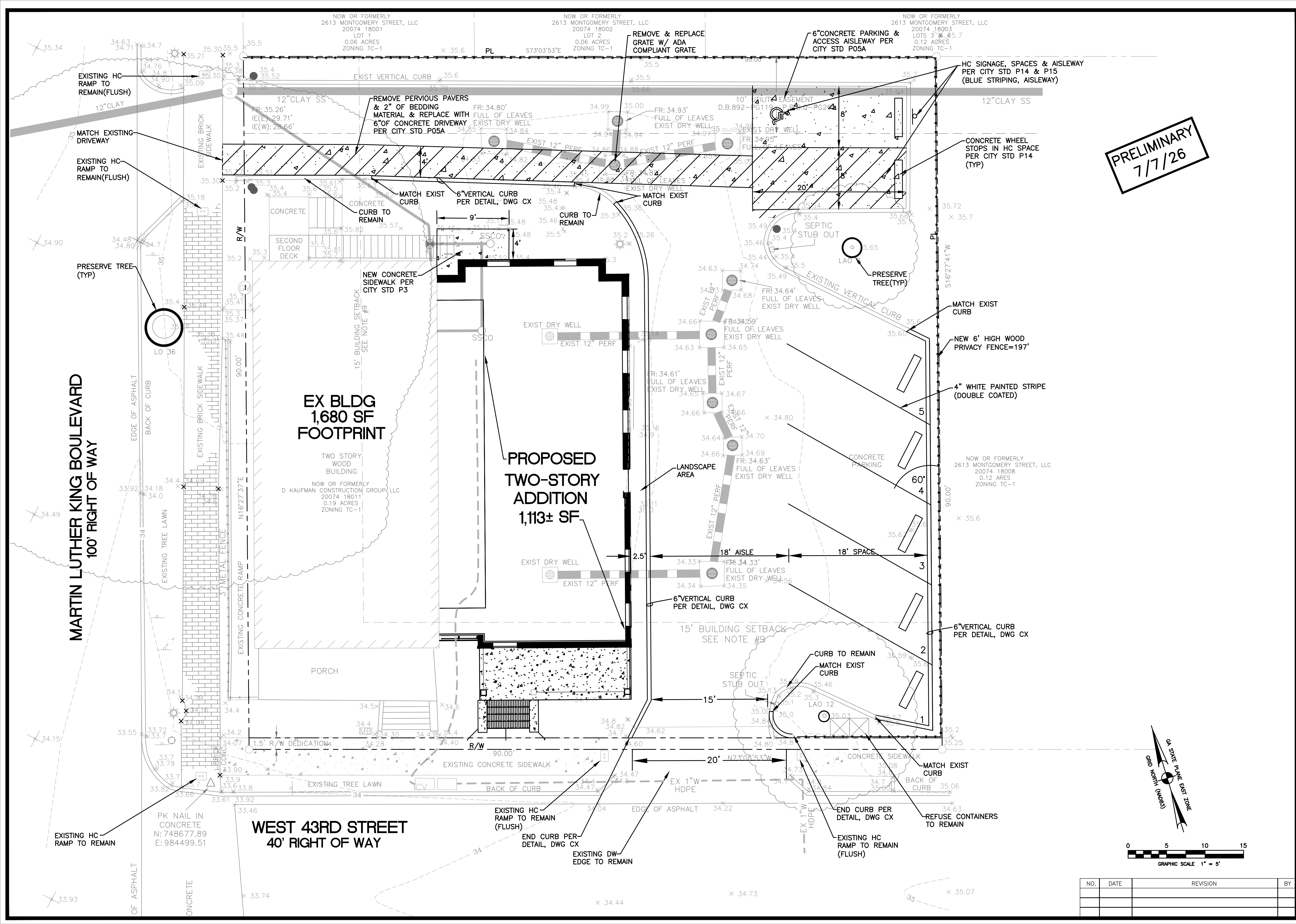
Large-Scale Development shall comply with the following standards. New construction on monumental buildings shall be exempt from Large-Scale Development Standards.

Not Applicable to this project.

END OF HISTORIC DISTRICT ZONING ORDINANCE

**THE FOLLOWING DRAWINGS ARE NOT TO
SCALE.**





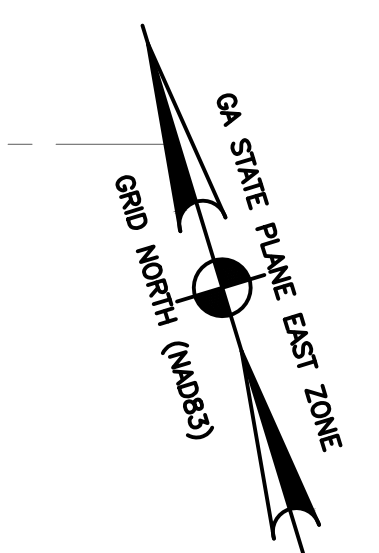
GEORGIA
No. 022882
PROFESSIONAL
ENGINEER
THOMAS & HINES

GEORGIA
SOUND & FURY RECORDING STUDIO
422 W 43RD STREET
SAVANNAH
SITE LAYOUT PLAN



DATE: XX/XX/XX
DRAWN BY: JH
CHECKED: TH
DRAWING NUMBER: C3 OF CX

PRELIMINARY
7/7/26



NO.	DATE	REVISION	BY

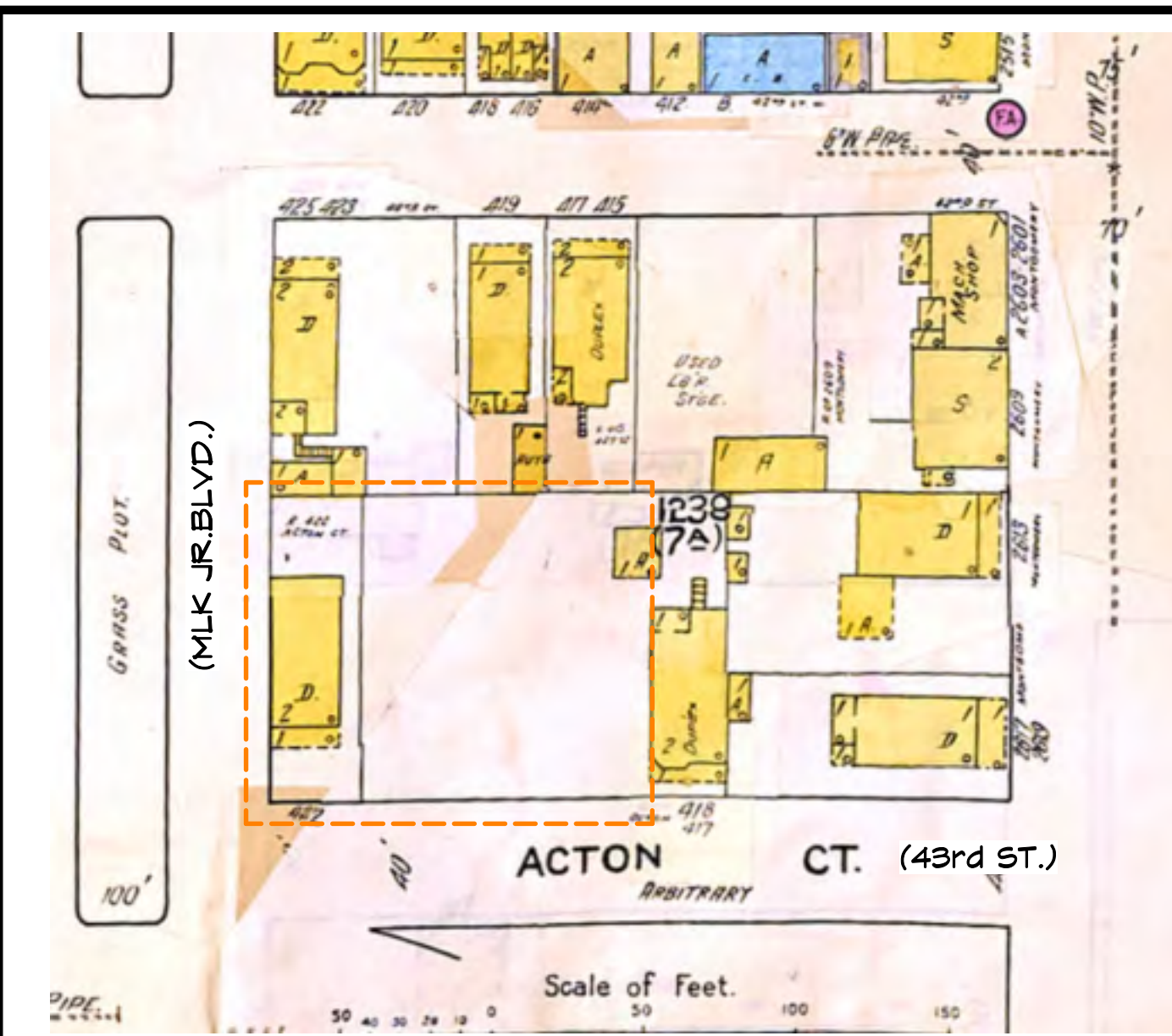


EXHIBIT A: 1915 SANBORN MAP

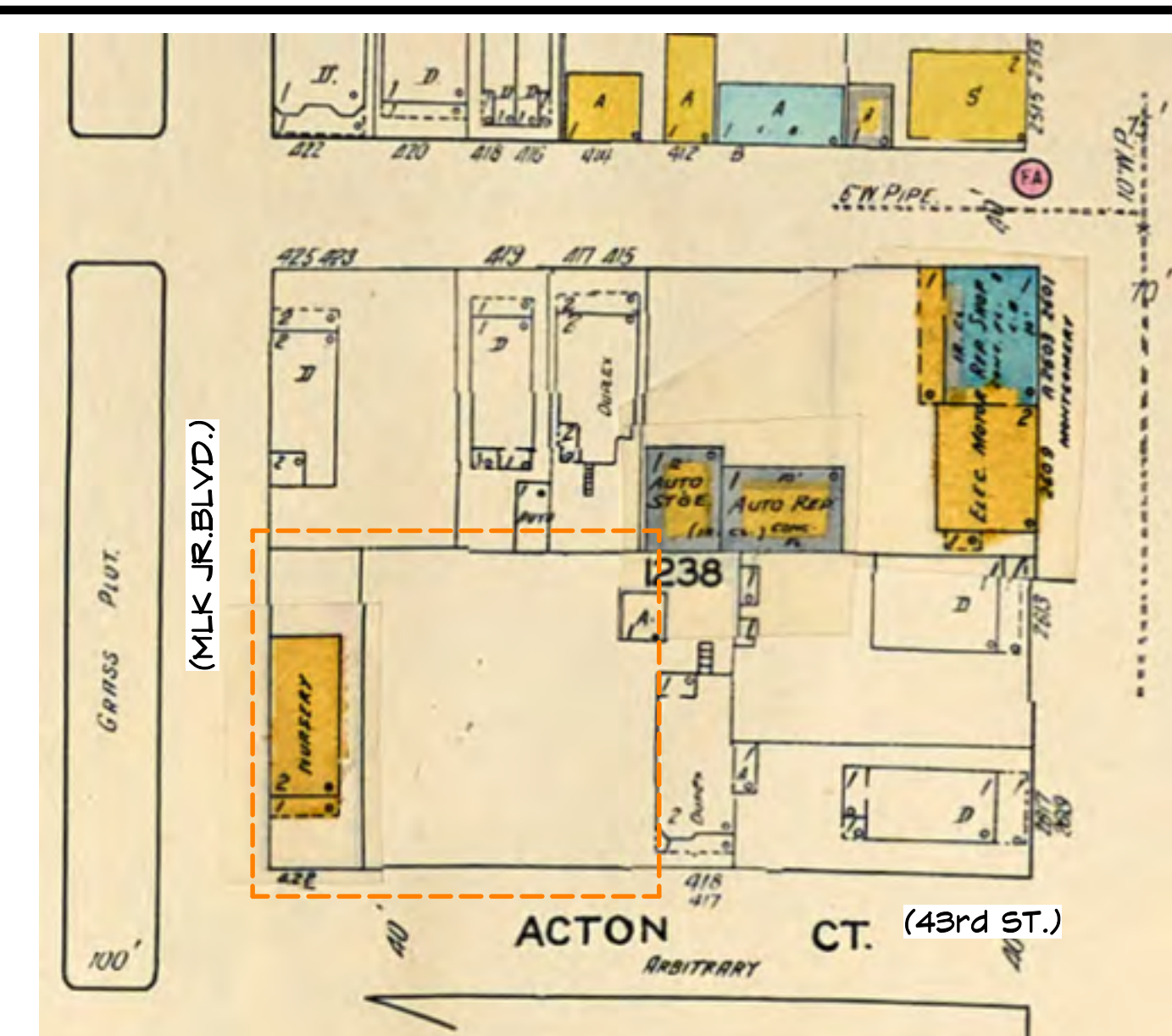
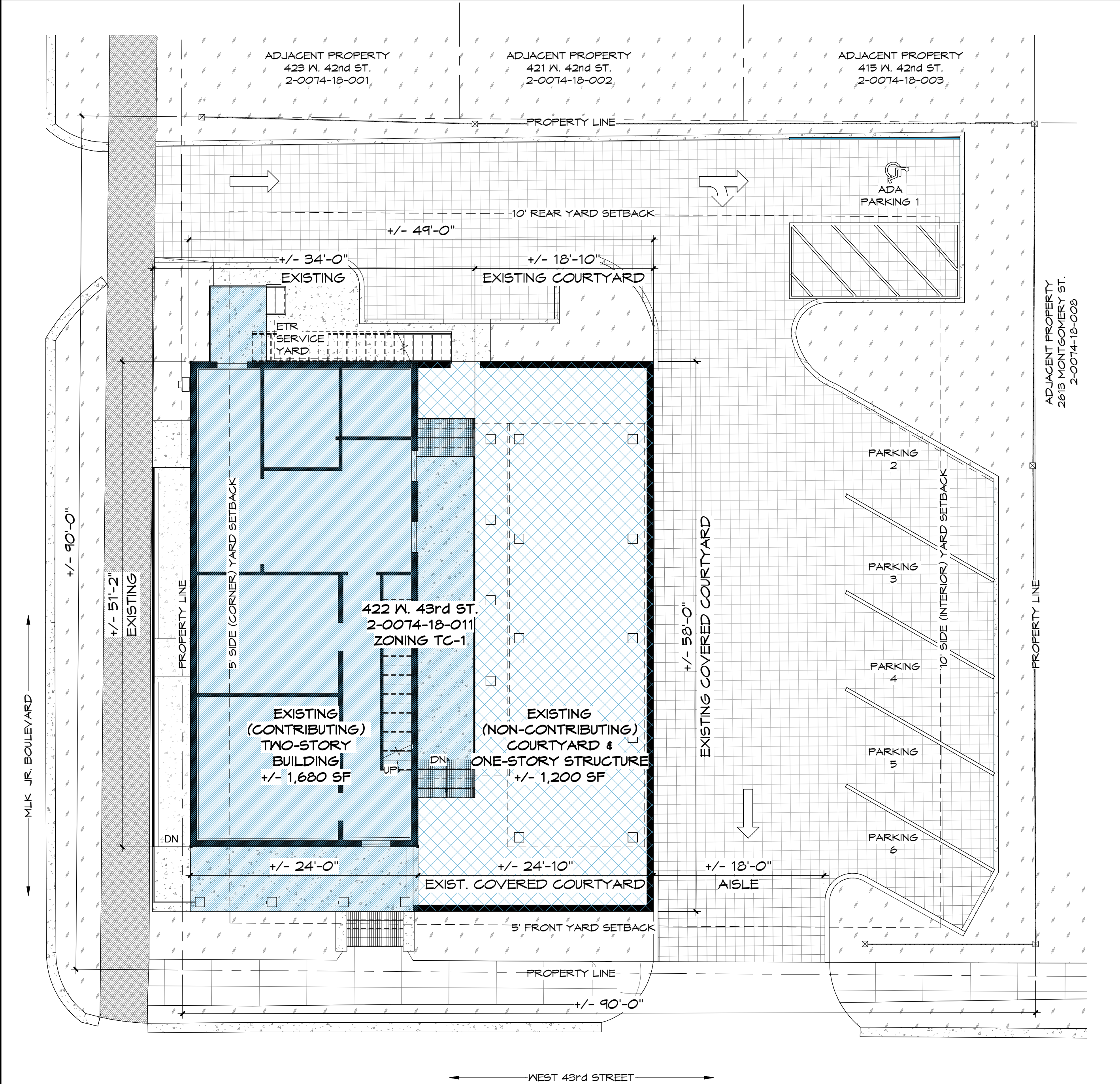
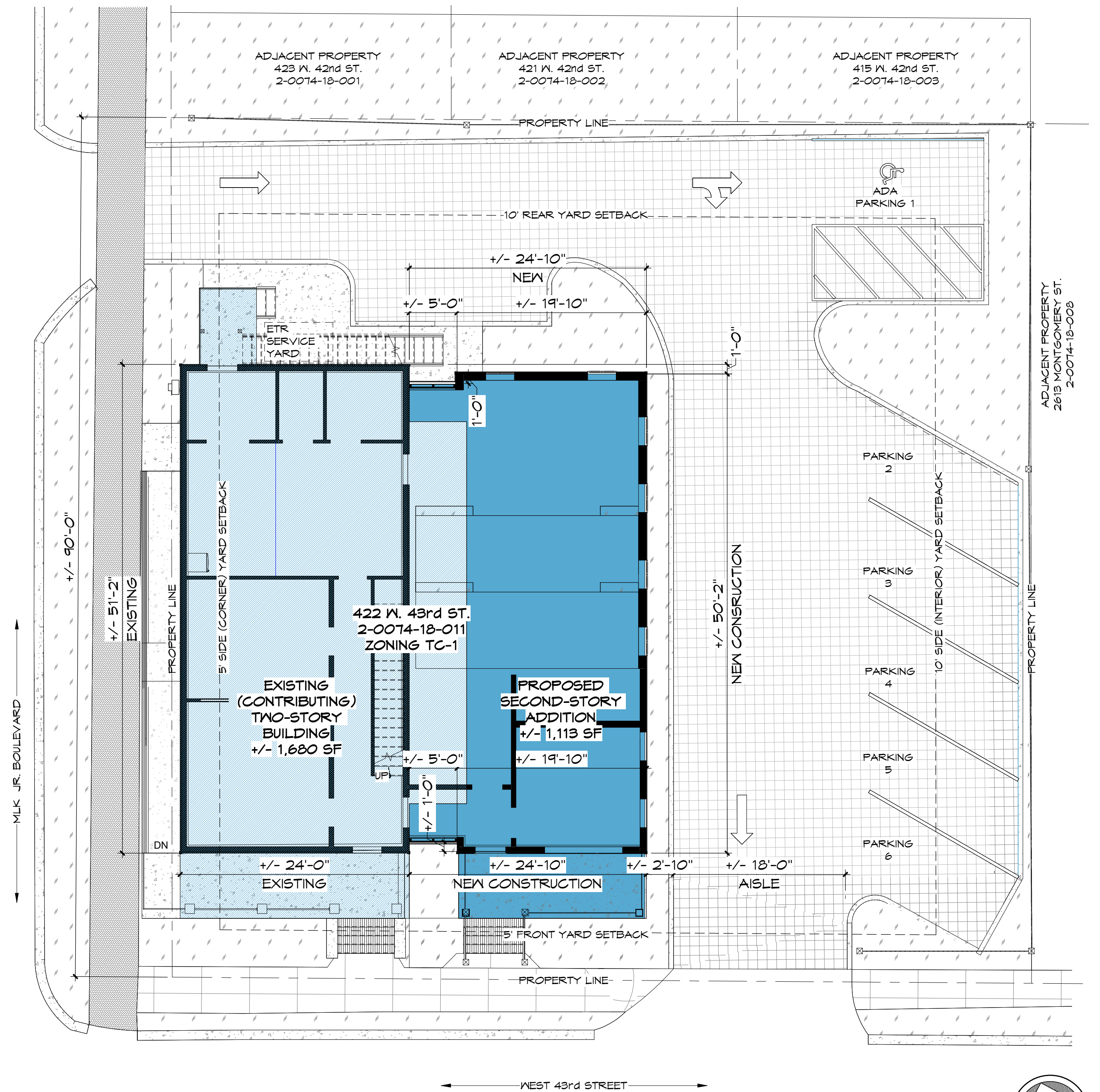


EXHIBIT B: 1955 SANBORN MAP



2 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

SITE DATA	
FIN:	2-0074-18-011
SITE:	8,100 SF 0.019 ACRES
FOOTPRINT(S):	1,680 SF (EXIST.) + 1,113 SF (NEW)
LOT COVERAGE:	21% (EXIST.); 34% (PROPOSED)
SOIL TYPE:	UNKNOWN

BUILDING FRONTAGE	
LOT WIDTH:	= 90'
70% OF LOT WIDTH:	= 63'
EXISTING:	= 24'-2" (26%)
PROPOSED:	= 49'-0" (54%)

SITE LEGEND	
	PERVIOUS PAVERS
	GRASS
	CONCRETE
	CONCRETE SIDEWALK
	EXISTING HERRINGBONE SIDEWALK
	EXISTING STRUCTURE FOOTPRINT
	EXISTING COVERED COURTYARD
	NEW CONSTRUCTION

1020 DRAYTON ST.
SUITE 200
SAVANNAH, GA 31401
912.777.3979

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HPC SUBMISSION -DESIGN DETAILS
422 WEST 43rd STREET
SOUND AND FURY
STREETCAR HISTORIC DISTRICT

REVISIONS	DESCRIPTION
ADD	DATE

CONCEPTUAL SITE PLAN

HPC SUBMISSION
AUGUST 26, 2026

JOB NO: 08.26.26
ISSUE DATE: 08.26.26
DRAWN: CAT

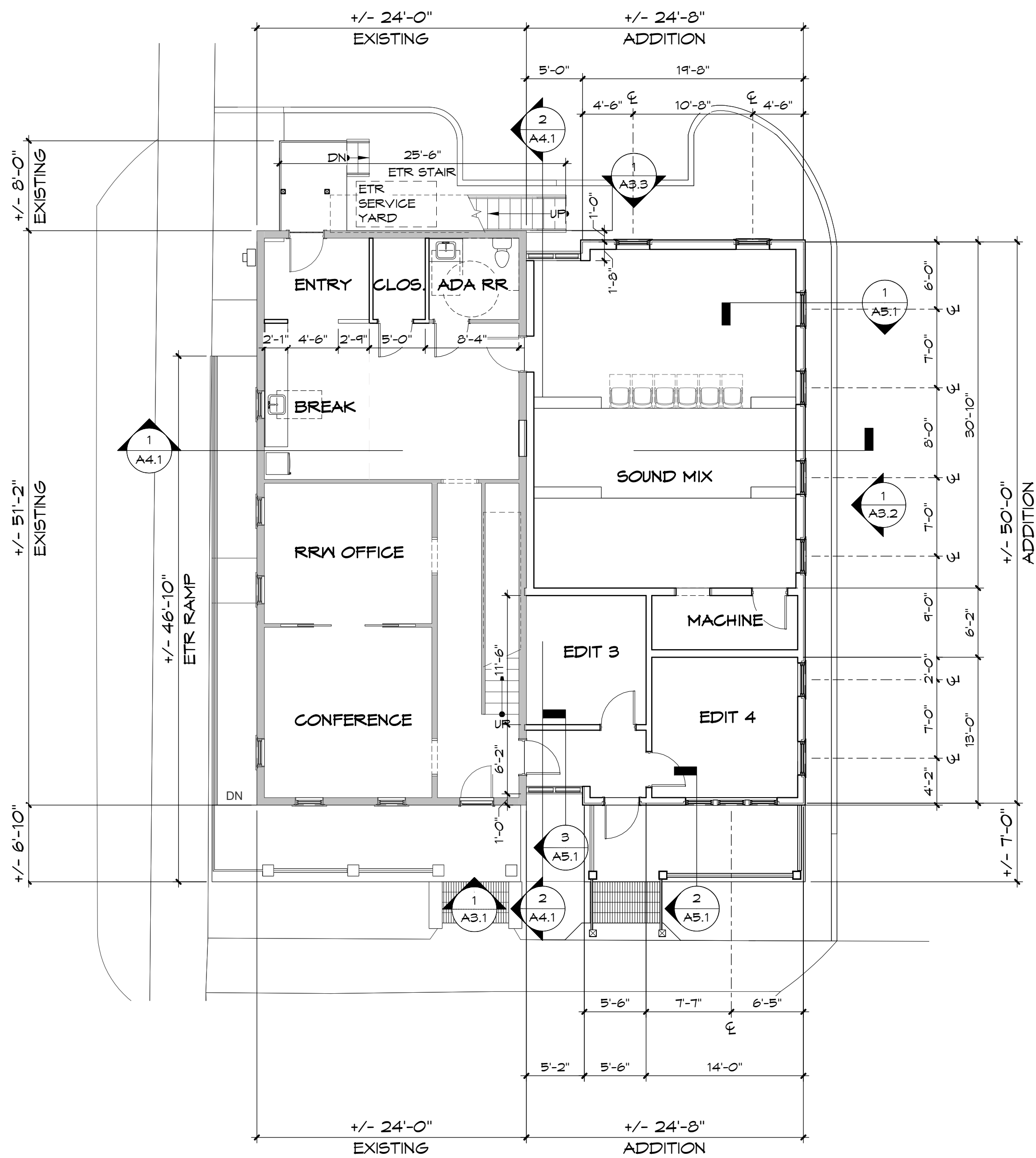
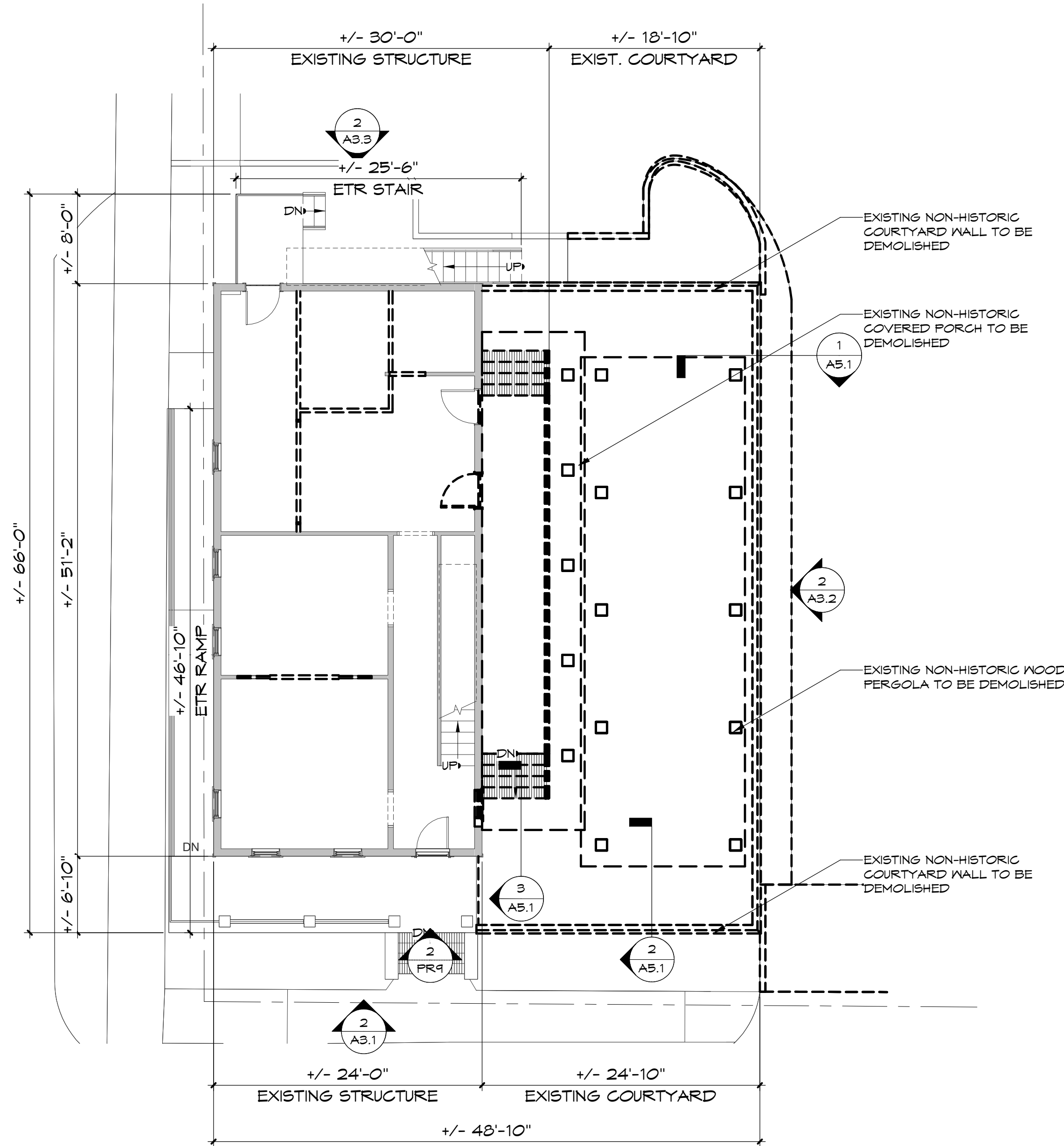
AS1.1

SF CALCULATION	
EXISTING CONDITIONED SPACE:	
1st FL.:	+/- 1,228 SF
2nd FL.:	+/- 1,152 SF
	= +/- 2,380 SF
NEW CONDITIONED SPACE:	
1st FL.:	+/- 1,228 SF
2nd FL.:	+/- 534 SF
	= +/- 1,762 SF
TOTAL CONDITIONED SPACE: = +/- 4,142 SF	

GENERAL DEMOLITION NOTES	
1. AS WITH ALL RENOVATION PROJECTS, DIMENSIONS ARE TAKEN FROM AS-BUILT DRAWINGS. THE GREATEST CARE HAS BEEN TAKEN IN MAKING THOSE AS-BUILT DRAWINGS AS ACCURATE AS POSSIBLE. THE GENERAL CONTRACTOR AND ALL TRADES WILL TAKE THE GREATEST CARE TO VERIFY EXISTING CONDITIONS PRIOR TO CUTTING AND DEMOLISHING OR INSTALLING NEW MATERIALS. IF DISCREPANCIES ARE FOUND, HALT WORK ON SITE AND NOTIFY ARCHITECT IMMEDIATELY.	
2. PRESERVE & PROTECT ALL ADJACENT WALLS, FLOORS, CEILINGS, WINDOWS & DOORS WHERE DEMOLITION IS NOT INTENDED. USE DUST CONTAINMENT MEASURES.	

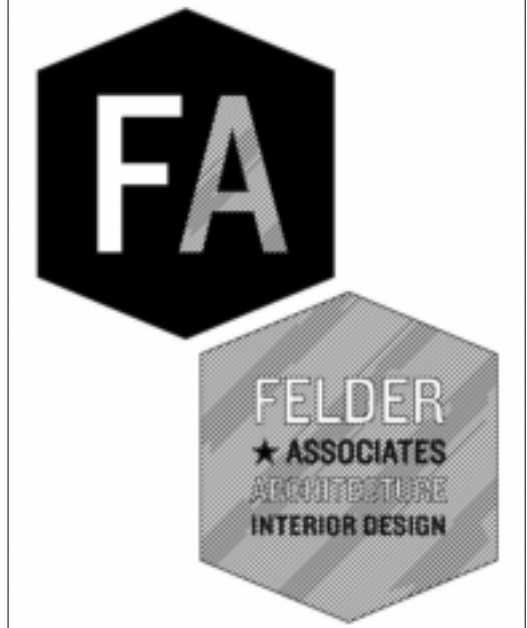
DEMOLITION LEGEND	
	ALL DASHED ITEMS TO BE REMOVED
	NO WORK IN THIS AREA

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW WALL CONSTRUCTION



2 FIRST FLOOR DEMOLITION PLAN
A1.1 SCALE: 1/8" = 1'-0"

1 FIRST FLOOR CONSTRUCTION PLAN
A1.1 SCALE: 1/8" = 1'-0"



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SUITE 200
SAVANNAH, GA 31401
912.777.3979

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HPC SUBMISSION -DESIGN DETAILS
422 WEST 43rd STREET
SOUND AND FURY
STREETCAR HISTORIC DISTRICT

REVISIONS	
ADD	DESCRIPTION
DATE	

CONSTRUCTION
PLAN - FIRST FLOOR

HPC SUBMISSION
AUGUST 26, 2026

JOB NO: 08.26.26
ISSUE DATE: 08.26.26
DRAWN: CAT

A1.1



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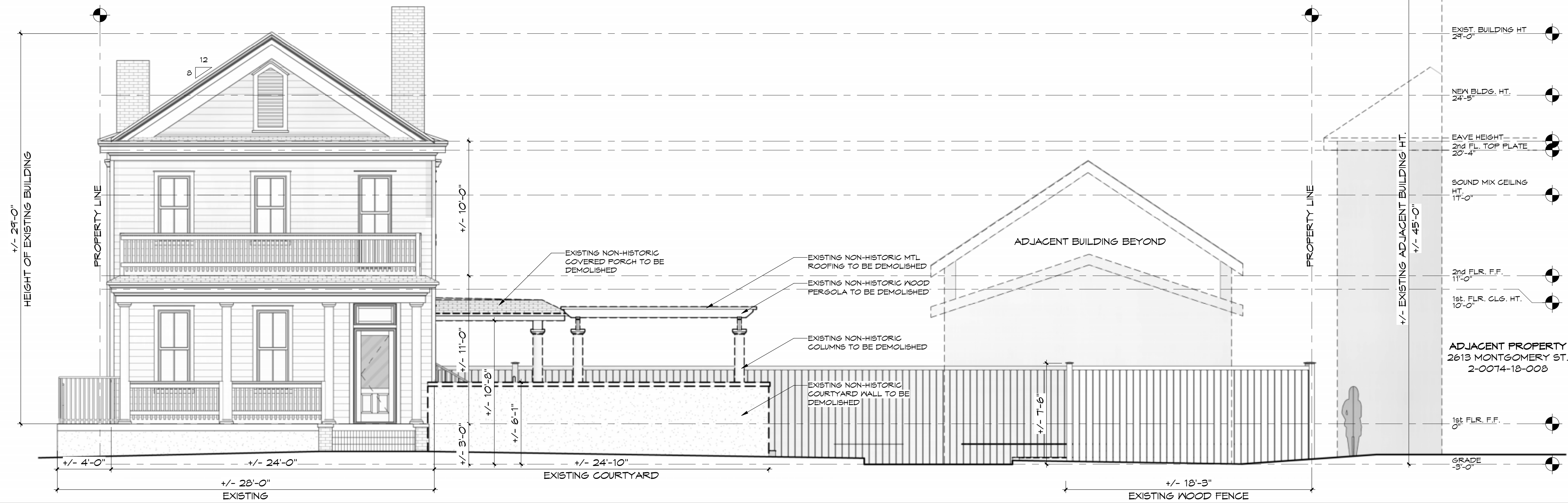
HPC SUBMISSION - DESIGN DETAILS
422 WEST 43rd STREET
SOUND AND FURY
STREETCAR HISTORIC DISTRICT

REVISIONS		DESCRIPTION	
ADD	DATE		

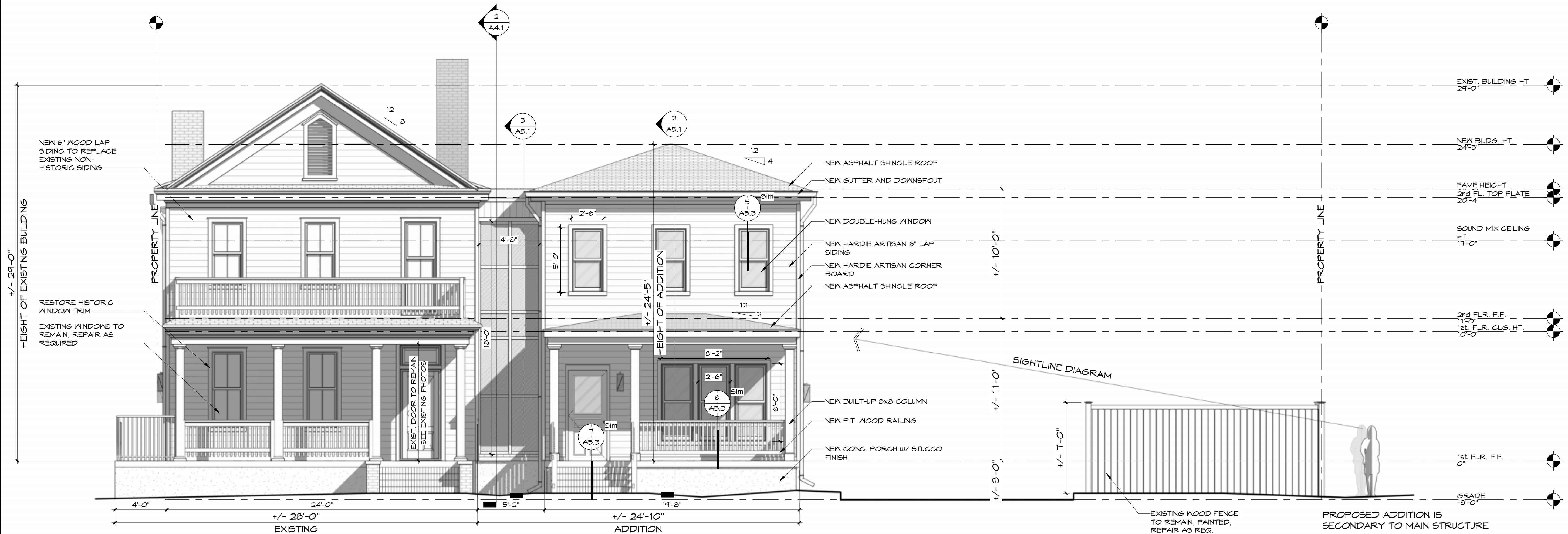
HPC SUBMISSION
AUGUST 26, 2026

JOB NO: 08.26.26
ISSUE DATE: 08.26.26
DRAWN: CAT

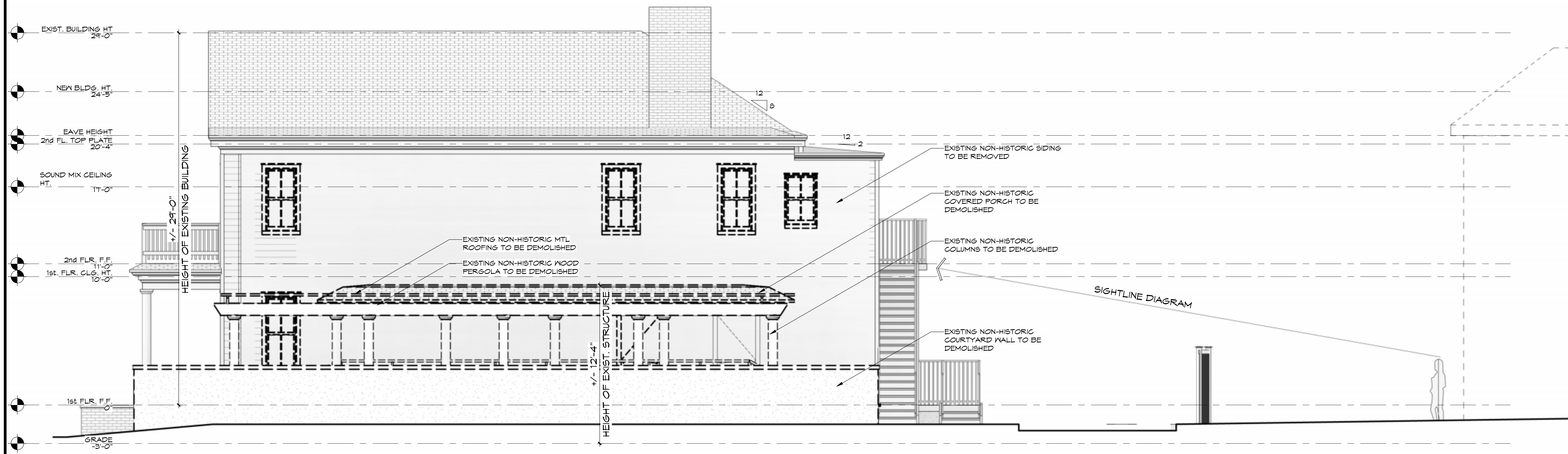
A3.1



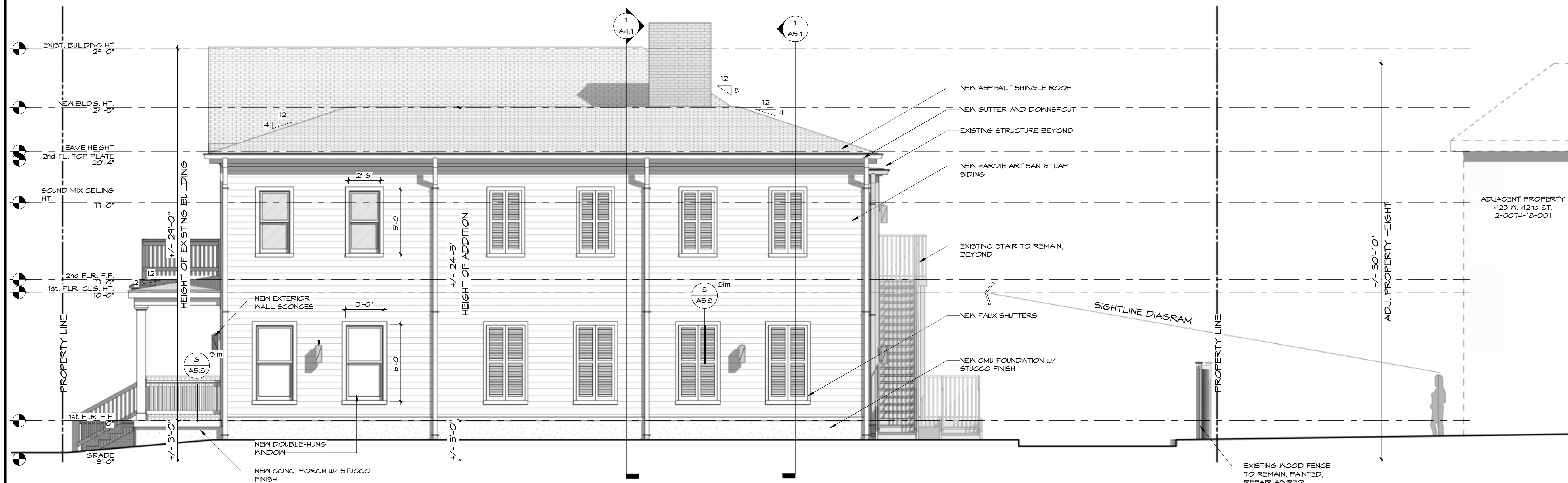
2 SOUTH ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

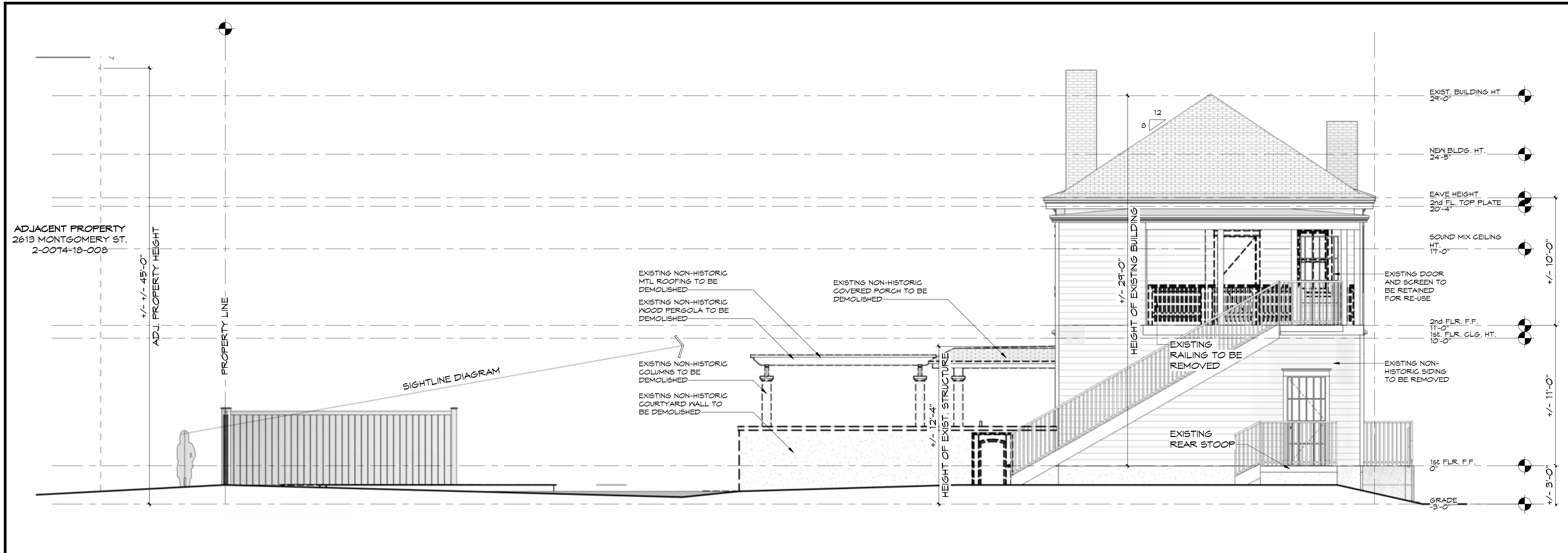
REVISIONS		DESCRIPTION	
ADD	DATE	ADD	DATE

EXTERIOR
ELEVATIONS

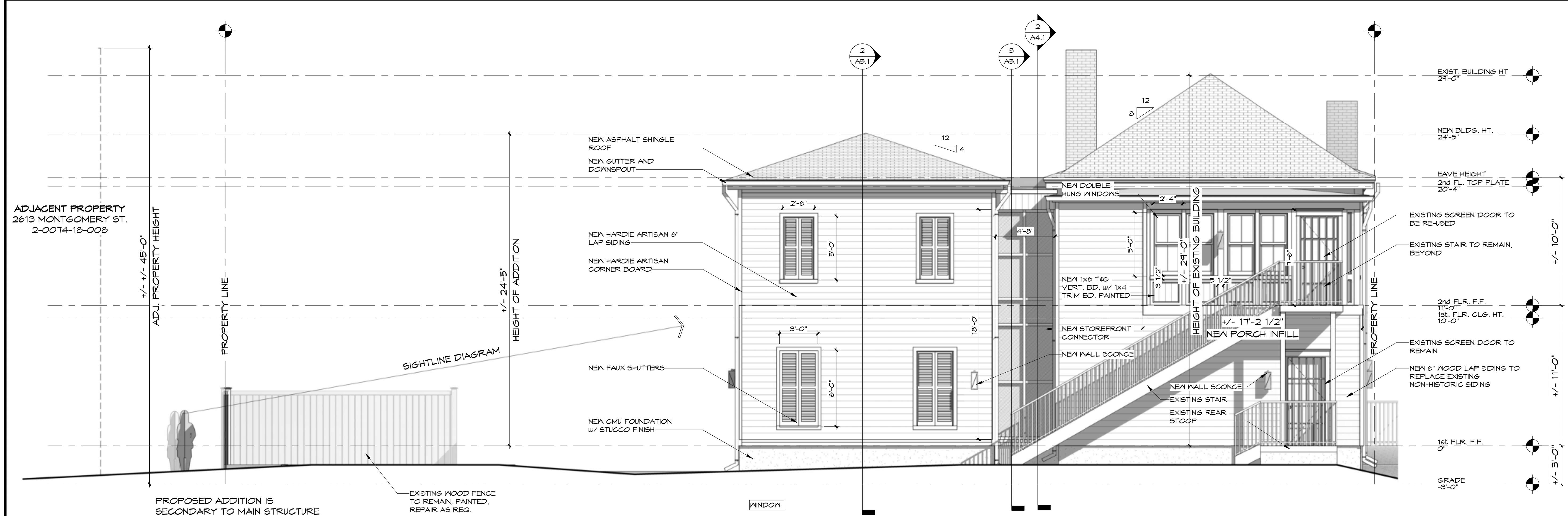
HPC SUBMISSION
AUGUST 26, 2026

JOB NO: 08.26.26
ISSUE DATE: 08.26.26
DRAWN: CAT

A3.2



2 NORTH ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



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SUITE 200
SAVANNAH, GA 31401
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HPC SUBMISSION - DESIGN DETAILS
422 WEST 43rd STREET

SOUND AND FURY
STREETCAR HISTORIC DISTRICT

REVISIONS		DESCRIPTION	
ADD	DATE	ADD	DESCRIPTION

EXTERIOR
ELEVATIONS

HPC SUBMISSION
AUGUST 26, 2026

JOB NO: 08.26.26
ISSUE DATE: 08.26.26
DRAWN: CAT

A3.3

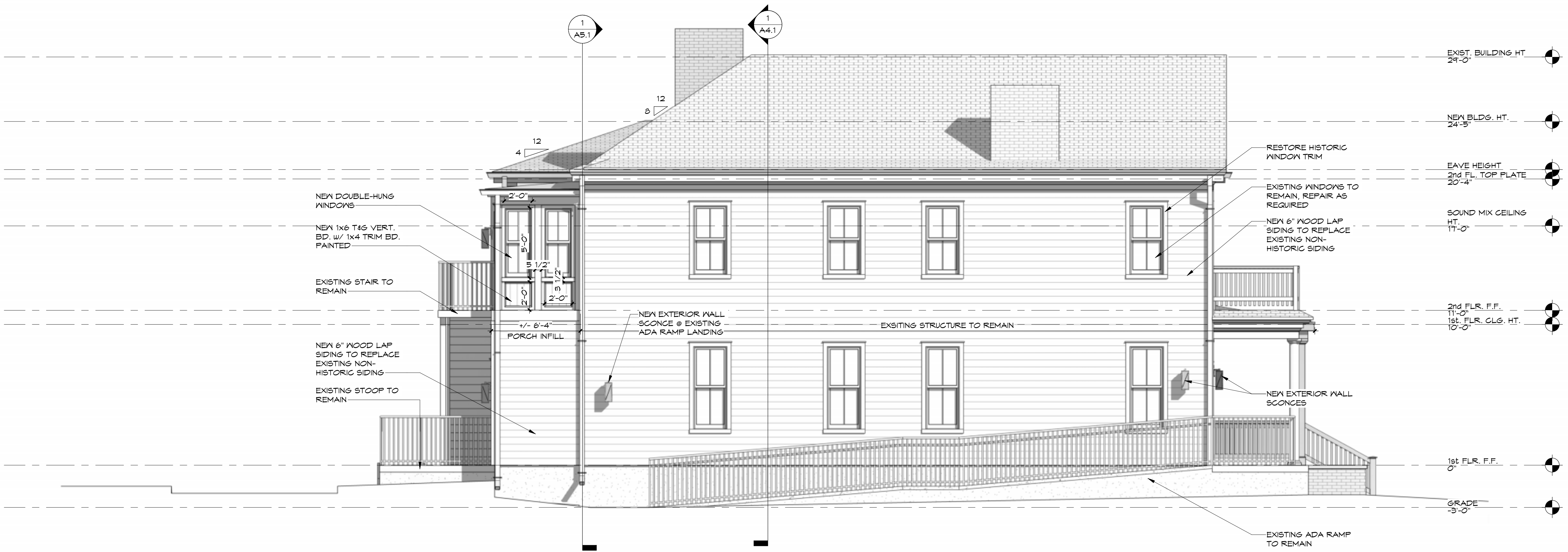
REVISIONS		DESCRIPTION	
ADD	DATE		

HPC SUBMISSION AUGUST 26, 2026	
JOB NO:	08.26.26
ISSUE DATE:	08.26.26
DRAWN:	CAT



2
A3.4

WEST ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



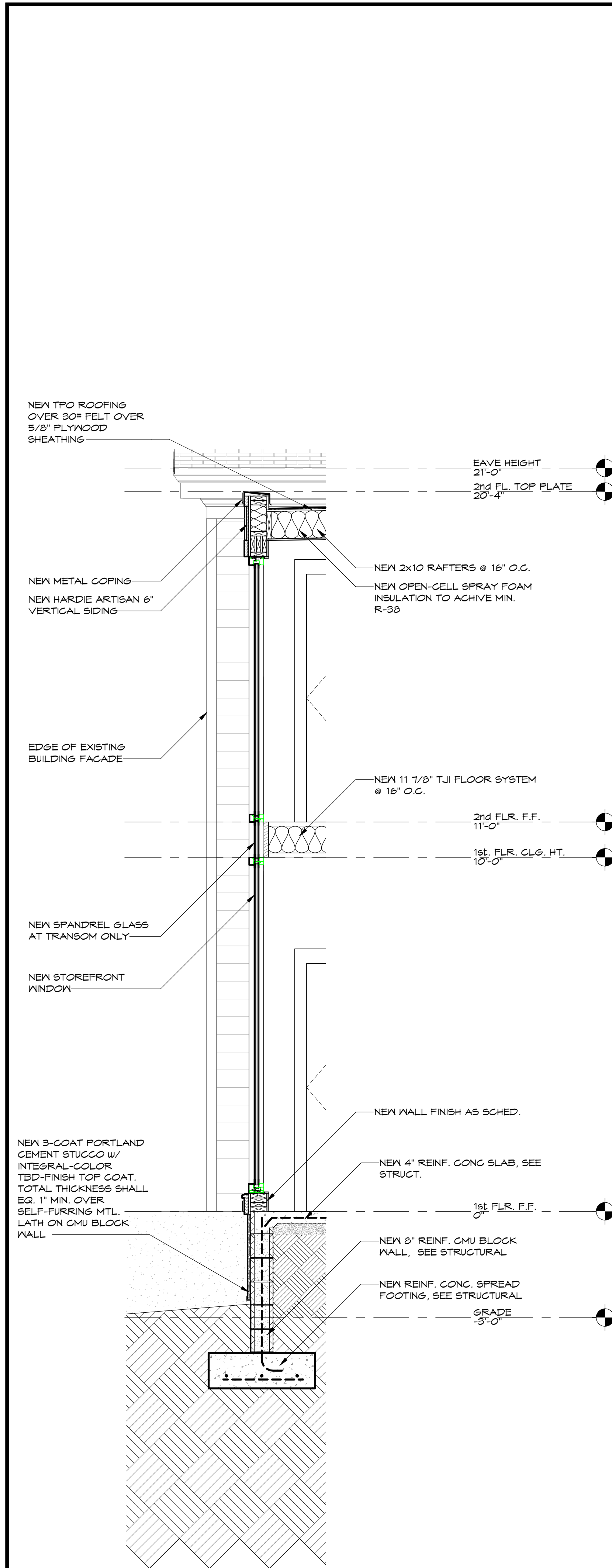
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A3.4

WEST ELEVATION - PROPOSED
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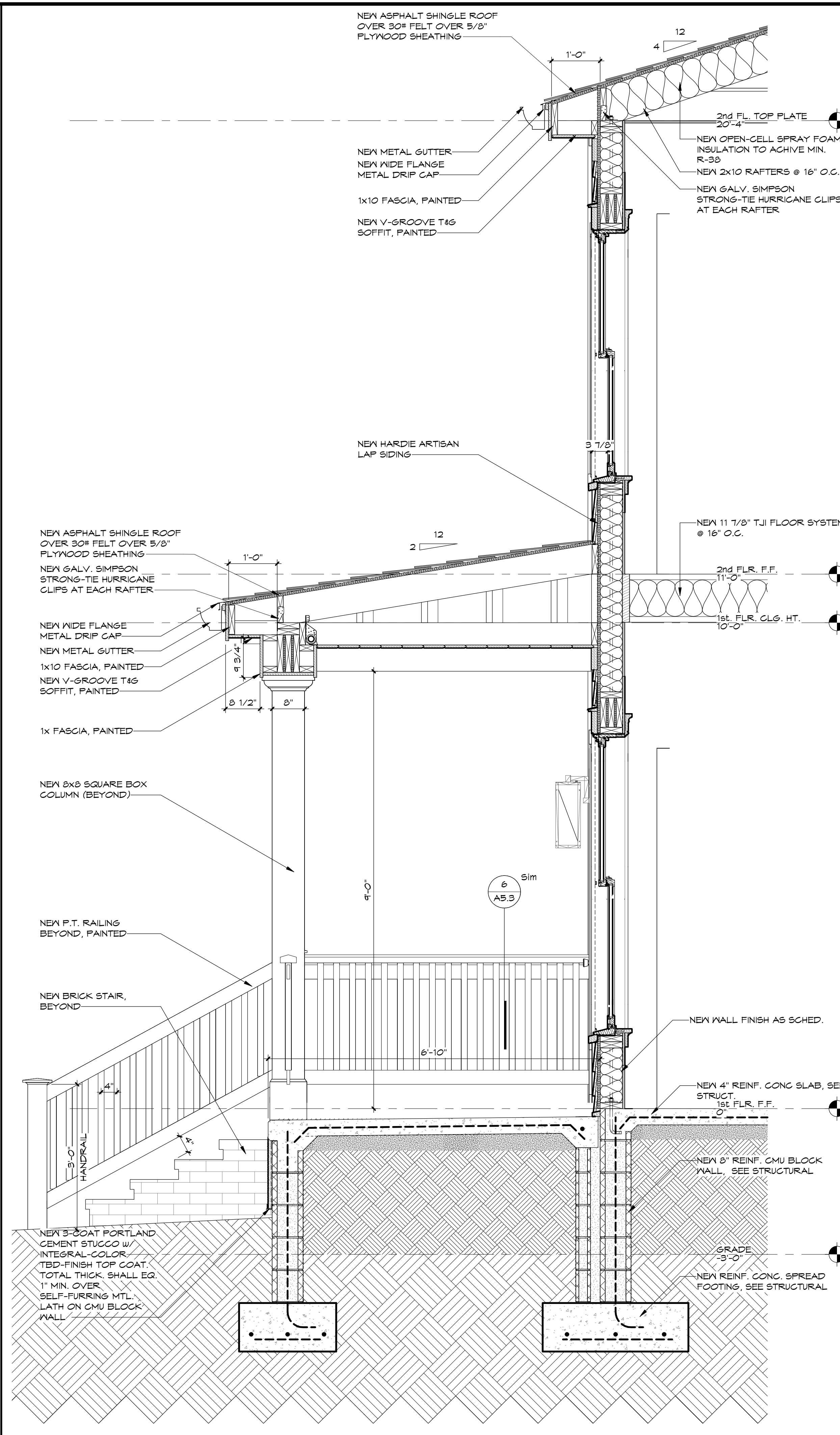
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A4.1

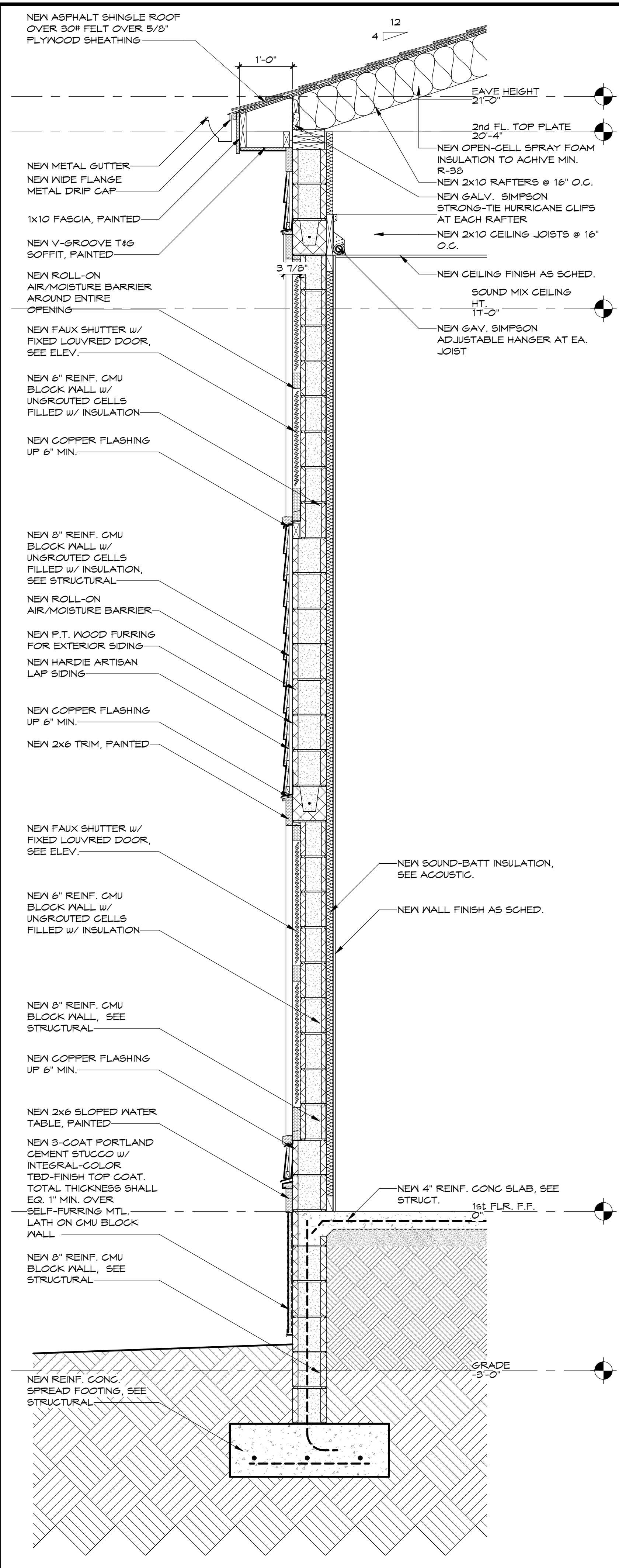




3 WALL SECTION THROUGH CONNECTOR
SCALE: 1/2" = 1'-0"



2 WALL SECTION @ ADDITION PORCH
SCALE: 3/4" = 1'-0"



1 WALL SECTION @ CMU WALL w/ SIDING
SCALE: 3/4" = 1'-0"



1020 DRAYTON ST.
SUITE 200
SAVANNAH, GA 31401
912.777.3979

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HPC SUBMISSION -DESIGN DETAILS
422 WEST 43rd STREET

SOUND AND FURY
STREETCAR HISTORIC DISTRICT

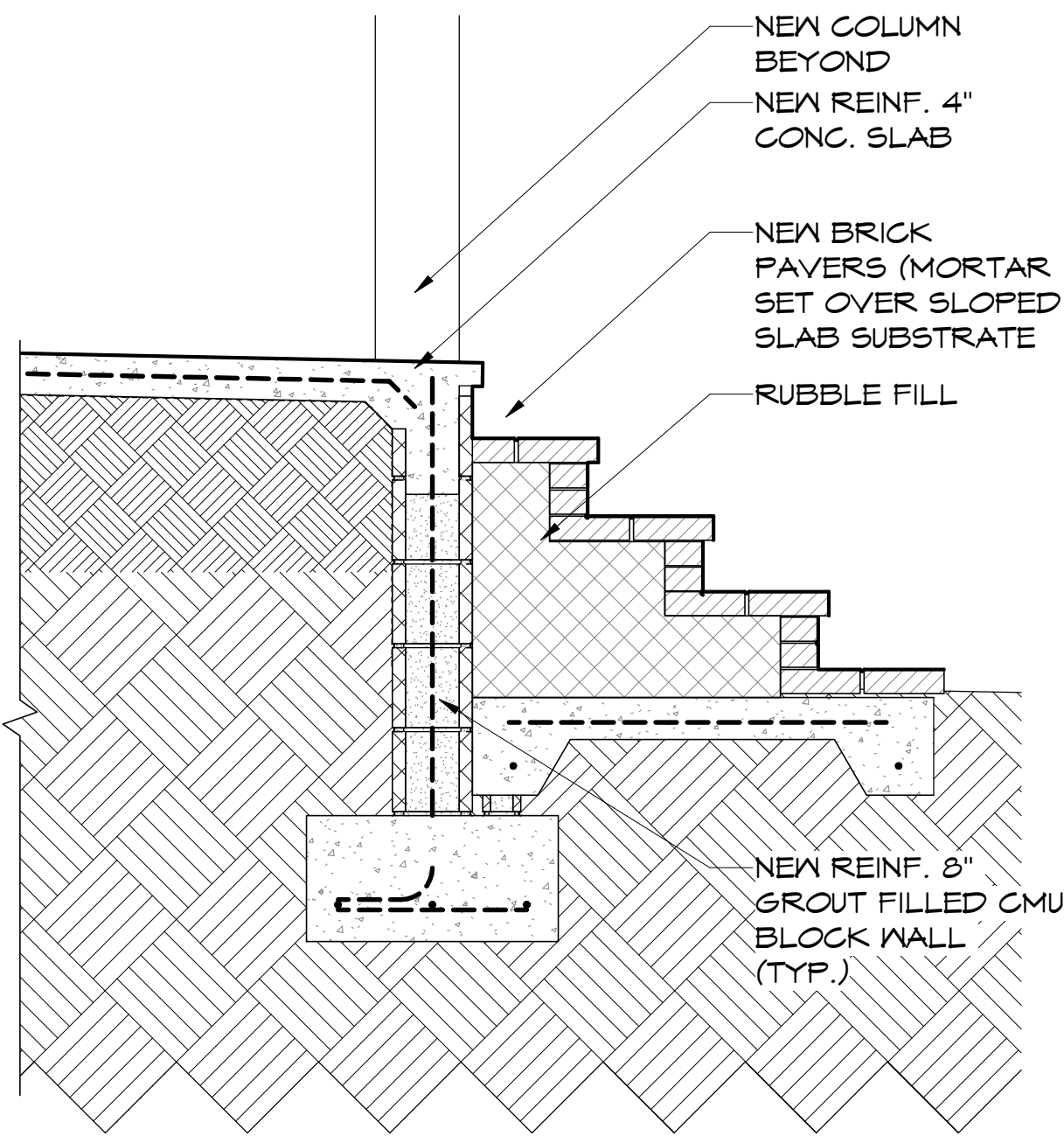
REVISIONS	DESCRIPTION
ADD	DATE

WALL SECTIONS

HPC SUBMISSION
AUGUST 26, 2026

JOB NO: 08.26.26
ISSUE DATE: 08.26.26
DRAWN: CAT

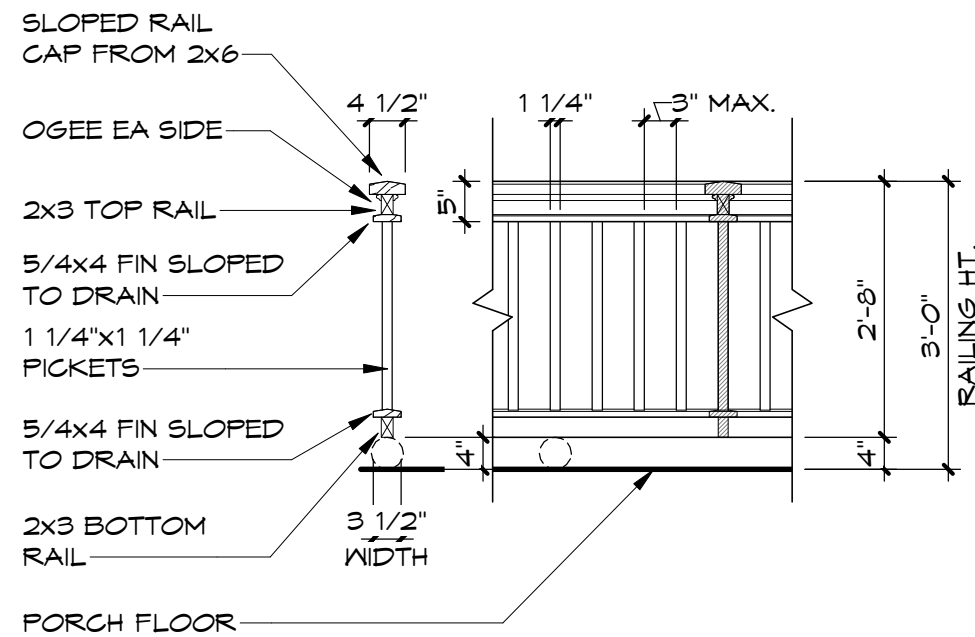
A5.1



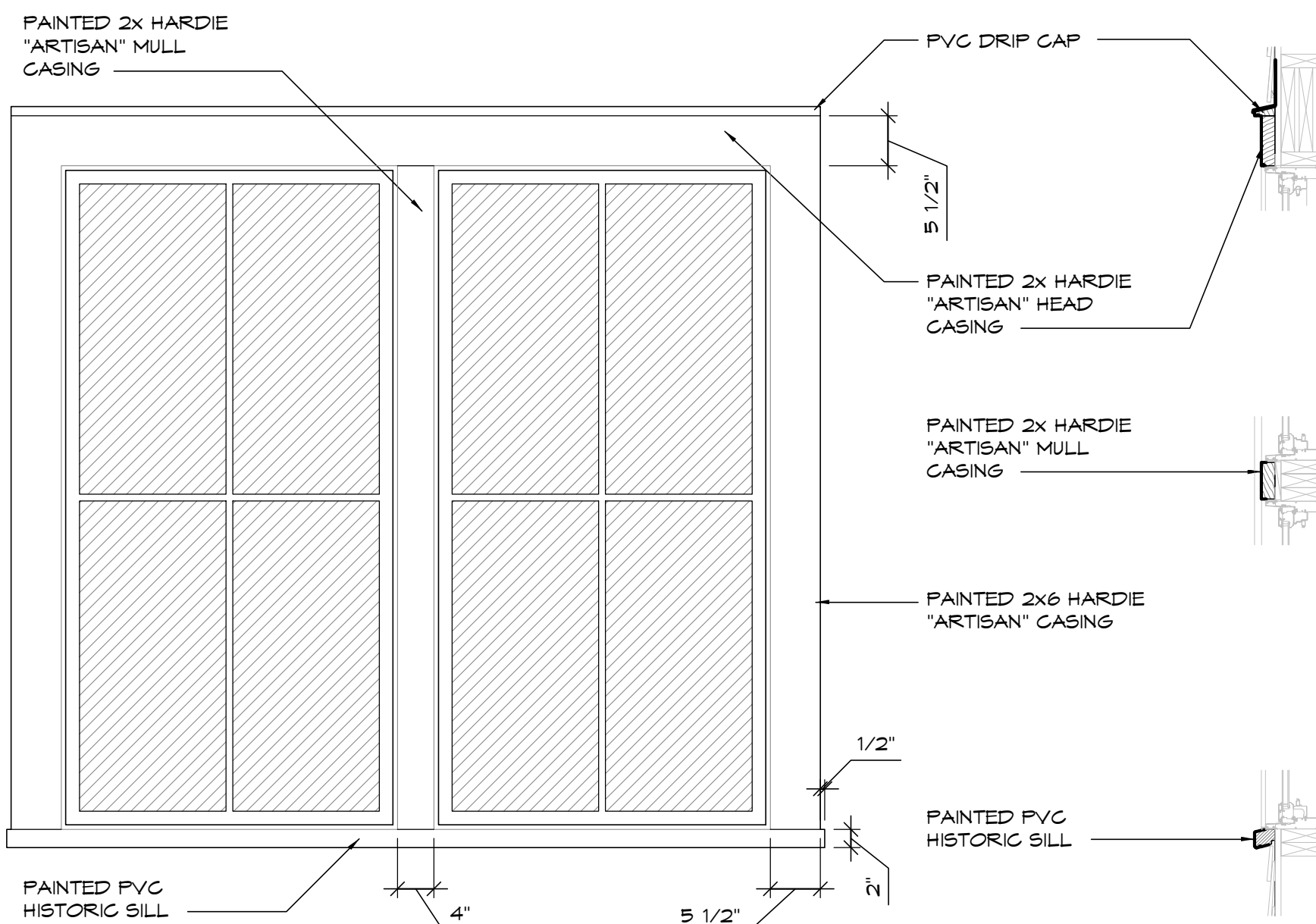
7 BRICK STAIR DETAIL
A5.3 SCALE: 3/4" = 1'-0"

NOTE:

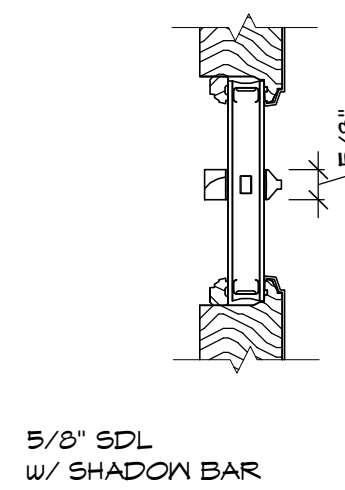
- ALL RAILINGS, BALUSTERS AND ASSOCIATED COMPONENTS TO BE P.T. KDAT WD., COLOR: TBD



6 HANDRAIL DETAIL
A5.3 SCALE: 1/2" = 1'-0"

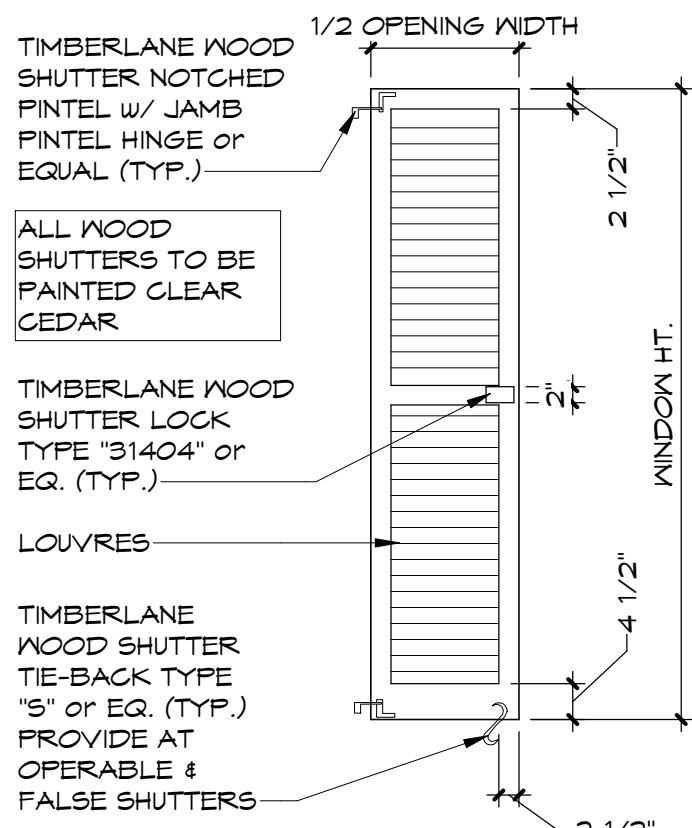


5 WINDOW CASING DETAIL
A5.3 SCALE: 3/4" = 1'-0"

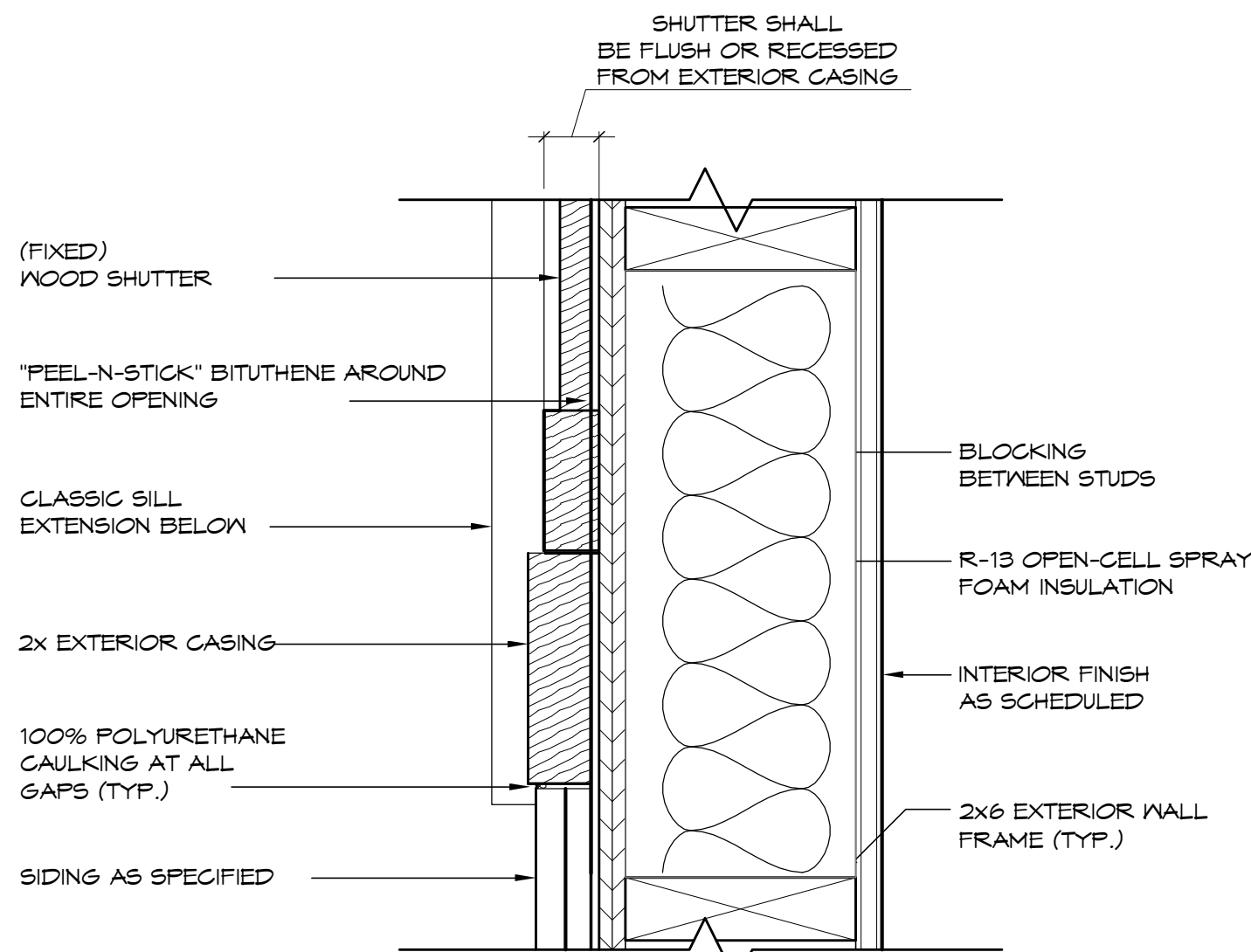


4 WINDOW DETAIL
A5.3 SCALE: 3" = 1'-0"

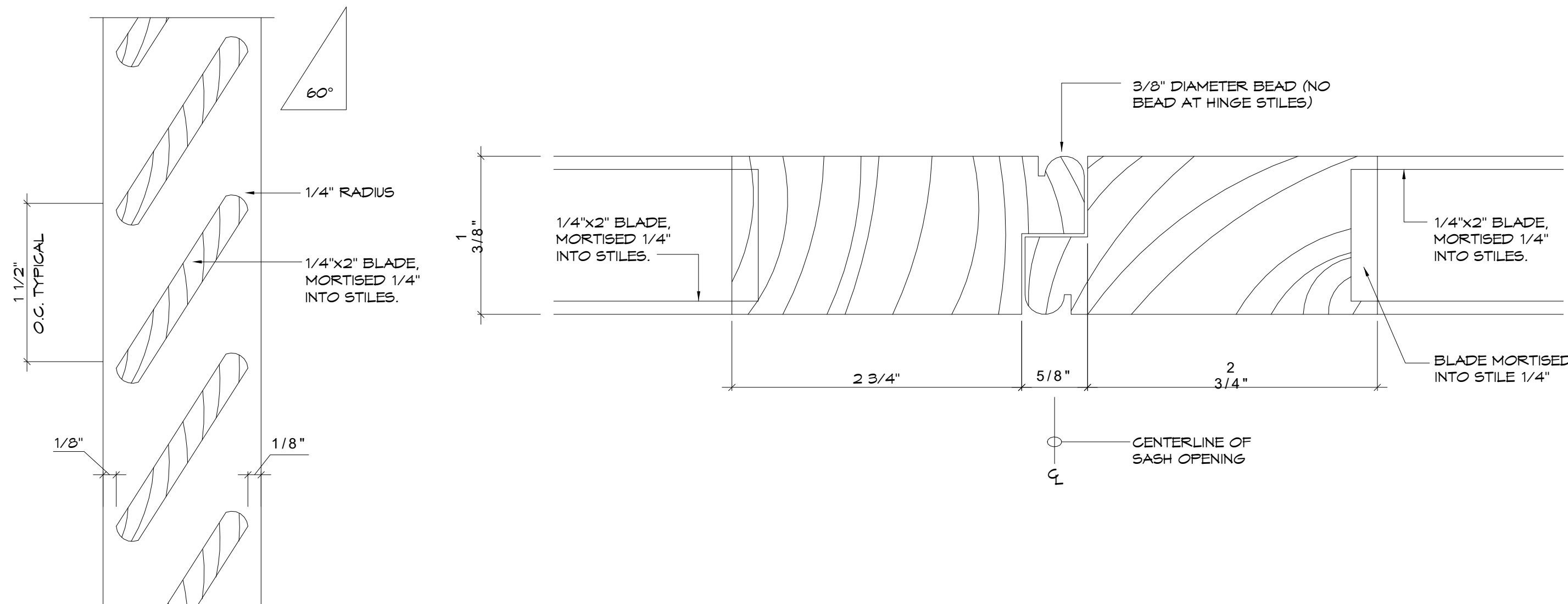
SHUTTER MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY ARCHITECT PRIOR TO FABRICATION. ALL PRODUCTS WITHOUT PRIOR SHOP DRAWING APPROVAL ARE SUBJECT TO REJECTION BY ARCHITECT.



3 SHUTTER DETAIL
A5.3 SCALE: 1/2" = 1'-0"



2 FALSE SHUTTER DETAIL
A5.3 SCALE: 3" = 1'-0"



1 SHUTTER DETAIL 1
A5.3 SCALE: 12" = 1'-0"



VIEW OF SOUTH WEST CORNER FROM MLK JR. BLVD. & W. 43rd



ADDITION →

← EXISTING STRUCTURE

EXTERIOR PERSPECTIVE - SOUTH WEST



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422 WEST 43RD STREET
SOUND AND FURY
STREETCAR HISTORIC DISTRICT

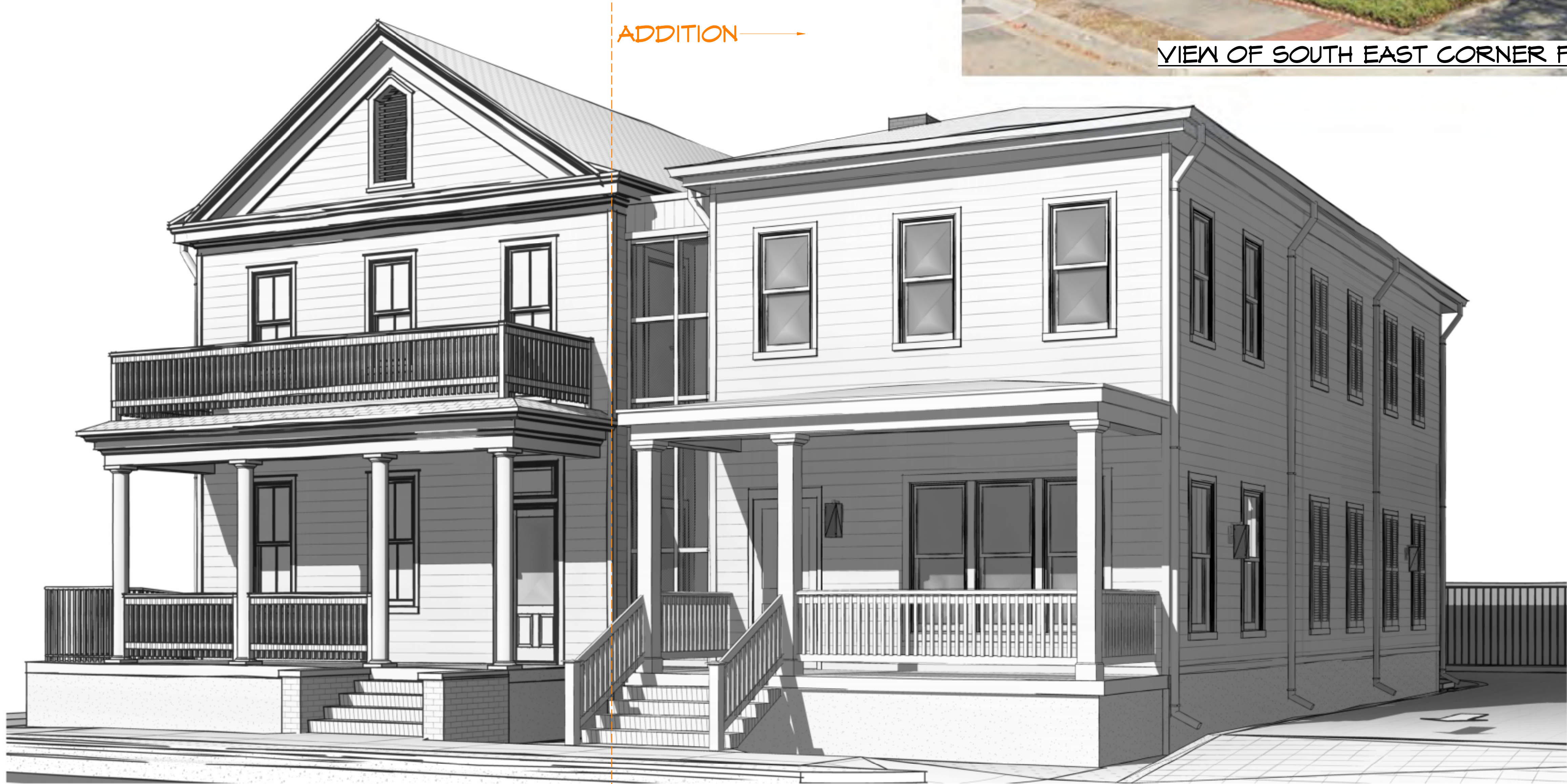
REVISIONS		DESCRIPTION
ADD	DATE	

HPC SUBMISSION AUGUST 26, 2026	
JOB NO:	08.26.26
ISSUE DATE:	06.24.26
DRAWN:	CAT

A9.1



VIEW OF SOUTH EAST CORNER FROM W. 43rd



ADDITION

EXISTING STRUCTURE

EXTERIOR PERSPECTIVE - SE



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422 WEST 43rd STREET
SOUND AND FURY
STREETCAR HISTORIC DISTRICT

REVISIONS		DESCRIPTION	
ADD	DATE		

EXTERIOR
PERSPECTIVES

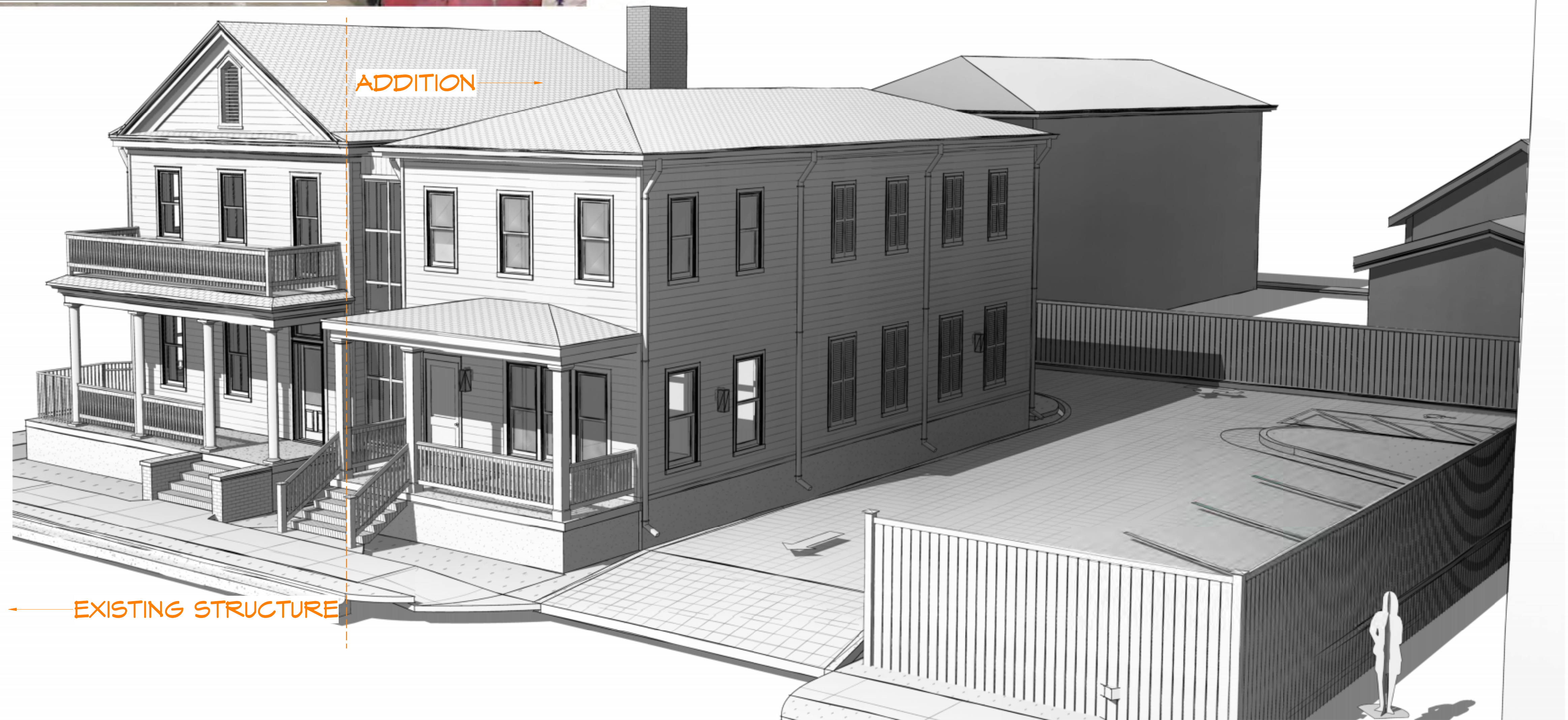
HPC SUBMISSION
AUGUST 26, 2026

JOB NO: 08.26.26
ISSUE DATE: 08.26.26
DRAWN: CAT

A9.2



AERIAL VIEW OF ADJACENT PROPERTIES



EXTERIOR PERSPECTIVE - SE AERIAL



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422 WEST 43rd STREET
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A9.3



VIEW OF NORTH WEST CORNER FROM MLK JR. BLVD.



EXTERIOR PERSPECTIVE - NORTH WEST



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422 WEST 43rd STREET
SOUND AND FURY
STREETCAR HISTORIC DISTRICT

REVISIONS		DESCRIPTION	
ADD	DATE		

EXTERIOR
PERSPECTIVES

HPC SUBMISSION
AUGUST 26, 2026

JOB NO: 08.26.26
ISSUE DATE: 08.26.26
DRAWN: CAT

A9.4

Double Hung G2

The Marvin Ultimate™ Double Hung G2 window is an embodiment of our dedication to the craft of creating windows and doors. Influenced by the rich, historical significance of this window style and inspired by innovative design, each feature is thoughtfully added and every detail is carefully considered. This is all in service of shaping a window that deserves to be in the unique homes our customers desire.



fig. 1

- fig. 1 **DOUBLE HUNG G2 WINDOWS**
Painted White
- fig. 2 **INTERIOR VIEW**
Pine
- fig. 3 **EXTERIOR VIEW**
Gunmetal
- fig. 4 **TILT-WASH MODE**
Allows cleaning of both sides of glass from indoors



fig. 2

fig. 3



fig. 4

- FEATURES**
- Narrow checkrail maximizes views while maintaining historical accuracy
 - Unique tilt-wash mode allows convenient cleaning of both sides of the glass from indoors
 - Exclusive auto-lock activates when the window is closed
 - Available with Commercial Windows Performance certification
 - Expansive sizes to fit openings up to 5'6" wide and 10'6" high
 - Choose traditional Ogee profiles or square profiles for a more contemporary look

Wood Direct Glaze Round Top - Double Hung

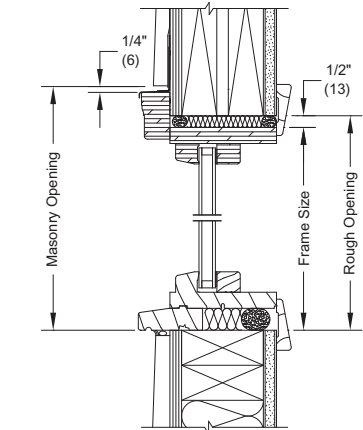
RT1 True Half Circle Standard Sizes - Direct Glaze

RO (mm)	2-6 3⁄8 (772)	2-8 3⁄8 (822)	2-10 3⁄8 (873)	3-0 3⁄8 (924)	3-2 3⁄8 (975)	3-6 3⁄8 (1076)
	1-3 3⁄16 (386)	1-4 3⁄16 (411)	1-5 3⁄16 (437)	1-6 3⁄16 (462)	1-7 3⁄16 (487)	1-9 3⁄16 (638)
	UWDGRT2914	UWDGRT3115	UWDGRT3316	UWDGRT3517	UWDGRT3718	UWDGRT4120
RO (mm)	3-10 3⁄8 (1178)	4-3 3⁄4 (1314)	4-11 3⁄4 (1518)	5-7 3⁄4 (1721)	6-3 3⁄4 (1924)	
	1-11 3⁄16 (669)	2-1 7⁄8 (657)	2-5 7⁄8 (759)	2-9 7⁄8 (860)	3-1 7⁄8 (962)	
	UWDGRT4522	UWDGRT5025	UWDGRT5828	UWDGRT6632	UWDGRT7437	

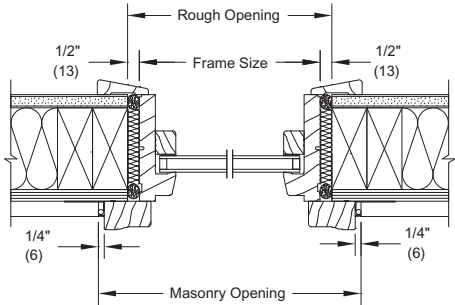
RT29 Elliptical Standard Sizes - Direct Glaze

RO (mm)	4-3 3⁄4 (1314)	4-11 3⁄4 (1518)	5-7 3⁄4 (1721)	6-3 3⁄4 (1924)
	1-5 5⁄16 (456)			
	UWDGRT5118	UWDGRT5918	UWDGRT6718	UWDGRT7518

Construction Details



HEAD JAMB AND SILL - DIRECT GLAZE



JAMB - DIRECT GLAZE

Details and Elevations not to scale.

- If these units are NOT used as transoms, ADD 1 3⁄32" (28) to the rough opening height for subsill.

Please consult your local Marvin representative for more information.
For further details and drawings visit the 'Technical Specifications' section at Marvin.com.

Double Hung G2

MO (mm)	1-9 3⁄4 (552)	2-1 3⁄4 (654)	2-5 3⁄4 (756)	2-7 3⁄4 (806)	2-9 3⁄4 (857)	2-11 3⁄4 (908)
RO (mm)	1-10 1⁄4 (565)	2-2 1⁄4 (667)	2-6 1⁄4 (768)	2-8 1⁄4 (819)	2-10 1⁄4 (870)	3-0 1⁄4 (921)
FS (mm)	1-9 1⁄4 (540)	2-1 1⁄4 (641)	2-5 1⁄4 (743)	2-7 1⁄4 (794)	2-9 1⁄4 (845)	2-11 1⁄4 (895)
DLO (mm)	14 47⁄64 (347)	18 47⁄64 (476)	22 47⁄64 (577)	24 47⁄64 (628)	26 47⁄64 (679)	28 47⁄64 (730)

2-7 3⁄4 (806) 2-8 (813) 2-9 1⁄2 (800) 10 3⁄4 (273)	UDHG2 1612	UDHG2 2012	UDHG2 2412	UDHG2 2612	UDHG2 2812	UDHG2 3012
2-11 3⁄4 (908) 3-0 (914) 2-11 1⁄2 (902) 12 3⁄4 (324)	UDHG2 1614	UDHG2 2014	UDHG2 2414	UDHG2 2614	UDHG2 2814	UDHG2 3014
3-3 3⁄4 (1010) 3-4 (1016) 3-3 1⁄2 (1003) 14 3⁄4 (375)	UDHG2 1616	UDHG2 2016	UDHG2 2416	UDHG2 2616	UDHG2 2816	UDHG2 3016
3-7 3⁄4 (1111) 3-8 (1118) 3-7 1⁄2 (1105) 16 3⁄4 (425)	UDHG2 1618	UDHG2 2018	UDHG2 2418	UDHG2 2618	UDHG2 2818	UDHG2 3018
3-11 3⁄4 (1213) 4-0 (1219) 3-11 1⁄2 (1207) 18 3⁄4 (476)	UDHG2 1620	UDHG2 2020	UDHG2 2420	UDHG2 2620	UDHG2 2820	UDHG2 3020
4-3 3⁄4 (1314) 4-4 (1321) 4-3 1⁄2 (1308) 20 3⁄4 (527)	UDHG2 1622	UDHG2 2022	UDHG2 2422	UDHG2 2622	UDHG2 2822	UDHG2 3022
4-7 3⁄4 (1416) 4-8 (1422) 4-7 1⁄2 (1410) 22 3⁄4 (578)	UDHG2 1624	UDHG2 2024	UDHG2 2424	UDHG2 2624	UDHG2 2824	UDHG2 3024
4-11 3⁄4 (1518) 5-0 (1524) 4-11 1⁄2 (1511) 24 3⁄4 (629)	UDHG2 1626	UDHG2 2026	UDHG2 2426	UDHG2 2626	UDHG2 2826	UDHG2 3026
5-3 3⁄4 (1619) 5-4 (1626) 5-3 1⁄2 (1613) 26 3⁄4 (679)	UDHG2 1628	UDHG2 2028	UDHG2 2428	UDHG2 2628	UDHG2 2828	UDHG2 3028 E

Multiple Assembly Conversions

ROUGH OPENING		MASONRY OPENING WITHOUT BMC	
Width	Height	Width	Height
Add all frame sizes plus 1" (25)	Add frame sizes plus 1⁄2" (13)	Add all frame sizes plus 1⁄2" (13)	Add frame sizes plus 1⁄4" (6)

ULTIMATE DOUBLE HUNG G2: UDHG2

Double Hung G2

MO (mm)	3-1 3/4 (959)	3-5 3/4 (1060)	3-9 3/4 (1162)	4-1 3/4 (1264)	4-5 3/4 (1365)	4-11 3/4 (1518)	5-5 3/4 (1670)
RO (mm)	3-2 1/4 (972)	3-6 1/4 (1073)	3-10 1/4 (1175)	4-2 1/4 (1276)	4-6 1/4 (1378)	5-0 1/4 (1530)	5-6 1/4 (1683)
FS (mm)	3-1 1/4 (946)	3-5 1/4 (1048)	3-9 1/4 (1149)	4-1 1/4 (1251)	4-5 1/4 (1353)	4-11 1/4 (1505)	5-5 1/4 (1657)
DLO (mm)	30 47/64 (781)	34 47/64 (882)	38 47/64 (984)	42 47/64 (1085)	46 47/64 (984)	52 47/64 (984)	58 47/64 (1492)
5-3 3/4 (1619) 5-4 (1626) 5-3 1/2 (1613) 26 3/4 (679)	 UDHG2 3212	 UDHG2 3612	 UDHG2 4012	 UDHG2 4412	 UDHG2 4812	 UDHG2 5412	 UDHG2 6012
2-7 3/4 (806) 2-8 (813) 2-7 1/2 (800) 10 3/4 (273)	 UDHG2 3214	 UDHG2 3614	 UDHG2 4014	 UDHG2 4414	 UDHG2 4814	 UDHG2 5414	 UDHG2 6014
2-11 3/4 (908) 3-0 (914) 2-11 1/2 (902) 12 3/4 (324)	 UDHG2 3216	 UDHG2 3616	 UDHG2 4016	 UDHG2 4416	 UDHG2 4816	 UDHG2 5416	 UDHG2 6016
3-3 3/4 (1010) 3-4 (1016) 3-3 1/2 (1003) 14 3/4 (375)	 UDHG2 3218	 UDHG2 3618	 UDHG2 4018	 UDHG2 4418	 UDHG2 4818	 UDHG2 5418	 UDHG2 6018
3-7 3/4 (1111) 3-8 (1118) 3-7 1/2 (1105) 16 3/4 (425)	 UDHG2 3220	 UDHG2 3620	 UDHG2 4020	 UDHG2 4420	 UDHG2 4820	 UDHG2 5420	 UDHG2 6020
3-11 3/4 (1213) 4-0 (1219) 3-11 1/2 (1207) 18 3/4 (476)	 UDHG2 3222	 UDHG2 3622	 UDHG2 4022	 UDHG2 4422	 UDHG2 4822	 UDHG2 5422	 UDHG2 6022
4-3 3/4 (1314) 4-4 (1321) 4-3 1/2 (1306) 20 3/4 (527)	 UDHG2 3224	 UDHG2 3624	 UDHG2 4024	 UDHG2 4424	 UDHG2 4824	 UDHG2 5424	 UDHG2 6024
4-7 3/4 (1416) 4-8 (1422) 4-7 1/2 (1410) 22 3/4 (578)	 UDHG2 3226 E	 UDHG2 3626 E	 UDHG2 4026 E	 UDHG2 4426 E	 UDHG2 4826 E	 UDHG2 5426 E	 UDHG2 6026 E
4-11 3/4 (1518) 5-0 (1524) 4-11 1/2 (1511) 24 3/4 (629)	 UDHG2 3228 E	 UDHG2 3628 E	 UDHG2 4028 E	 UDHG2 4428 E	 UDHG2 4828 E	 UDHG2 5428 E	 UDHG2 6028 E

Double Hung G2

MO (mm)	1-9 3/4 (552)	2-1 3/4 (654)	2-5 3/4 (756)	2-7 3/4 (806)	2-9 3/4 (857)	2-11 3/4 (908)
RO (mm)	1-10 1/4 (565)	2-2 1/4 (667)	2-6 1/4 (768)	2-8 1/4 (819)	2-10 1/4 (870)	3-0 1/4 (921)
FS (mm)	1-9 1/4 (540)	2-1 1/4 (641)	2-5 1/4 (743)	2-7 1/4 (794)	2-9 1/4 (845)	2-11 1/4 (895)
DLO (mm)	14 47/64 (347)	18 47/64 (476)	22 47/64 (577)	24 47/64 (628)	26 47/64 (679)	28 47/64 (730)
5-7 3/4 (1721) 5-8 (1727) 5-7 1/2 (1715) 28 3/4 (730)	 UDHG2 1630	 UDHG2 2030	 UDHG2 2430	 UDHG2 2630	 UDHG2 2830 E	 UDHG2 3030 E
5-11 3/4 (1822) 6-0 (1829) 5-11 1/2 (1816) 30 3/4 (781)	 UDHG2 1632	 UDHG2 2032	 UDHG2 2432	 UDHG2 2632 E	 UDHG2 2832 E	 UDHG2 3032 E
6-3 3/4 (1924) 6-4 (1930) 6-3 1/2 (1918) 32 3/4 (832)	 UDHG2 1634	 UDHG2 2034	 UDHG2 2434 E	 UDHG2 2634 E	 UDHG2 2834 E	 UDHG2 3034 E
6-7 3/4 (2026) 6-8 (2032) 6-7 1/2 (2019) 34 3/4 (883)	 UDHG2 1636	 UDHG2 2036	 UDHG2 2436 E	 UDHG2 2636 E	 UDHG2 2836 E	 UDHG2 3036 E
7-3 3/4 (2229) 7-4 (2235) 7-3 1/2 (2223) 38 3/4 (984)	 UDHG2 1640	 UDHG2 2040	 UDHG2 2440 E	 UDHG2 2640 E	 UDHG2 2840 E	 UDHG2 3040 E
7-7 3/4 (2330) 7-8 (2337) 7-7 1/2 (2324) 40 3/4 (1035)	 UDHG2 1642	 UDHG2 2042	 UDHG2 2442 E	 UDHG2 2642 E	 UDHG2 2842 E	 UDHG2 3042 E

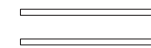
Details and Elevations not to scale.

E These windows meet national Egress codes for fire evacuation. Local codes may differ. Please consult your local Marvin representative for more information.

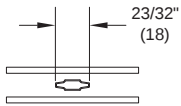
For further details and drawings visit the 'Technical Specifications' section at Marvin.com.

Product Options

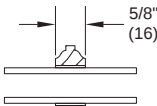
Glazing Profiles



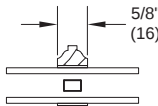
Insulating Glass



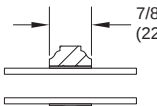
Aluminum 23/32"
Contour GBG



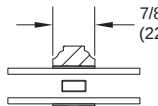
5/8" SDL



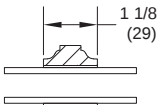
5/8" SDL
W/Spacer



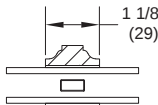
7/8" SDL



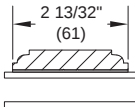
7/8" SDL
W/Spacer Bar



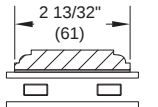
1 1/8" SDL



1 1/8" SDL
W/Spacer Bar



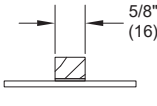
2 13/32" SDL



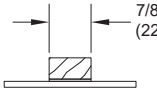
2 13/32" SDL
W/Two Spacer Bars

Product Options

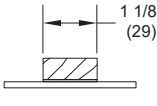
Glazing Profiles



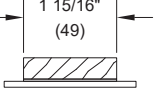
5/8" SDL



7/8" SDL

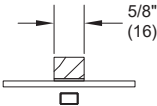


1 1/8" SDL

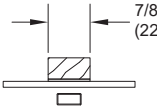


1 15/16 " SDL

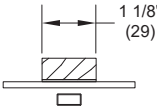
Square Sticking



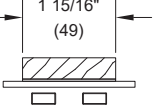
5/8" SDL
W/Spacer



7/8" SDL
W/Spacer Bar



1 1/8" SDL
W/Spacer Bar



1 15/16" SDL
W/Two Spacer Bars

* For additional ADL profiles consult with your local Marvin representative.



TruStile (TS) Series

TS4200

Sticking:	Bevel (BV)
Panel:	Raised (A)
Panel Replacement:	Replace Panels in Top Row with Glass
Glass:	Clear
Material:	Quarter Sawn White Oak
Finish:	Champagne
Displayed Size:	36" x 84" x 1 3/4"

Your design code is:

KwiEANpdd

(Click to see your design in the Door Visualizer)

Need assistance?

Contact us and reference your design code:

(877) 283-4511

visualizer@trustile.com

www.trustile.com

Every TruStile door is made to order. The TruStile Door Visualizer is designed to showcase a single door style as a static size in all material options and profiles. When choosing a wood door, please keep in mind it is a natural product and grain pattern will vary from results shown here. Individual computer and monitor settings may prevent exact product color duplication. Some limitations may apply based on size and application. To configure pairs, entry systems, or single doors of different sizes, please visit our [Project Configurator](#). Not all door styles and options are available in Entry Systems. Please see your TruStile dealer for samples and confirm product availability before selecting your final design.

TEAR SHEET



Fresno Framed Medium Sconce

Item # CHD 2933AI-CG

Designer: Chapman & Myers

Height: 17.75"

Width: 6"

Extension: 9"

Backplate: 4.25" X 8" Rectangle

Finishes: AI

Glass Options: CG

Socket: E26 Keyless

Wattage: 60 T10

Weight: 7 Pounds

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