

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

211 W. WALDBURG STREET

OWNER: BEEMAN-FROSSELL

PIN#20052 15003

seal

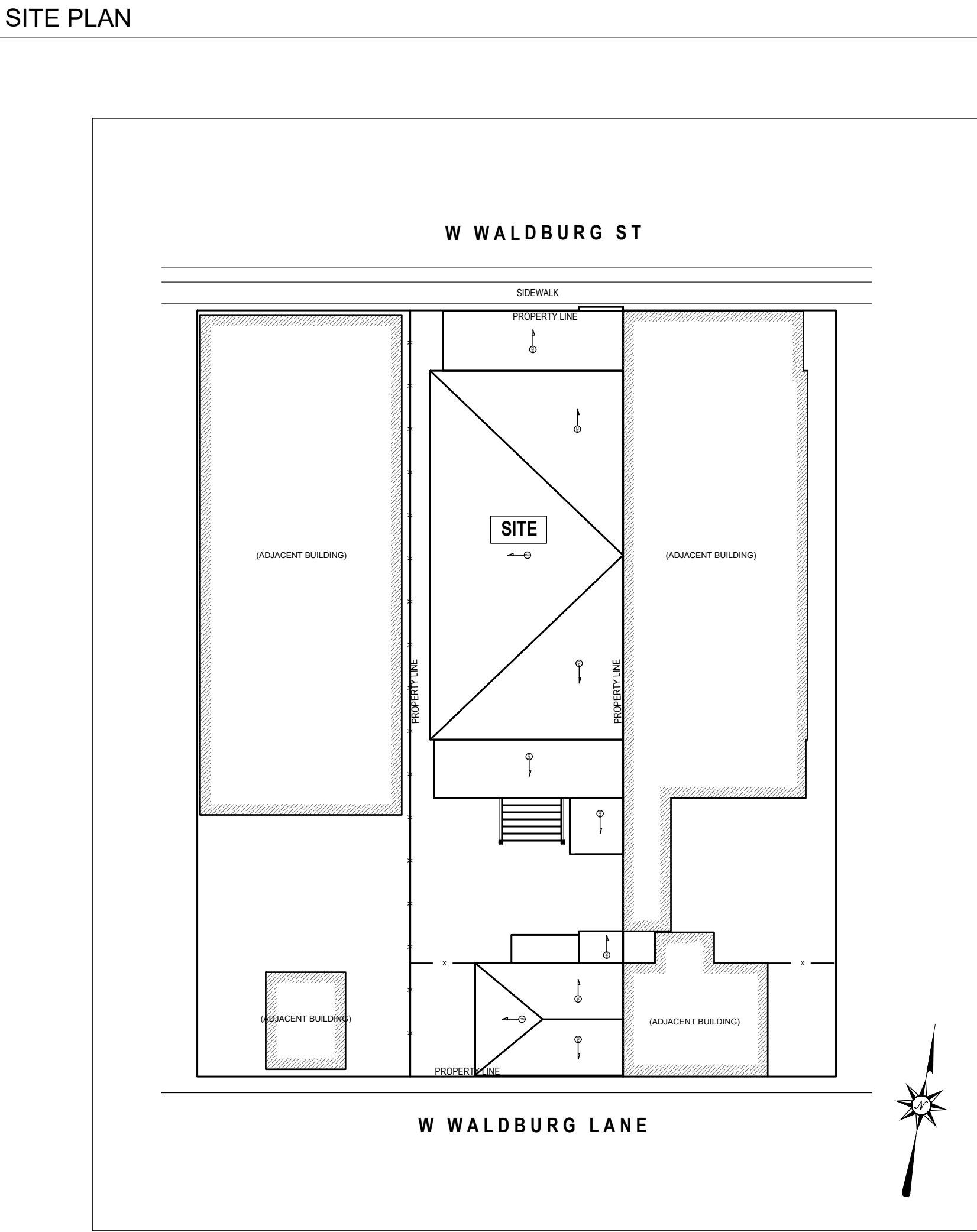


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DRAWING INDEX		
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A-1.0	24 JANUARY 2023	PROPOSED REAR PORCH PLAN
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A-2.1	24 JANUARY 2023	SOUTH ELEVATION IN-KIND REPAIRS
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- GENERAL NOTES:**
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE CITY OF SAVANNAH.
 - ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFIED BUILDING CODES, BY COMPANIES AND/OR INDIVIDUALS PROPERLY LICENSED TO PERFORM SUCH WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND HIS/HER SUB-CONTRACTORS TO BUILD A STRUCTURALLY SOUND WATERPROOF STRUCTURE, FREE FROM MATERIAL DEFECTS, THAT CONFORMS TO LOCAL BUILDING CODES AND AREA RESTRICTIONS.
 - IT IS UNDERSTOOD THAT THE CONTRACTOR(S) HAVE READ AND UNDERSTAND ALL DRAWINGS, SPECIFICATIONS, AND AND APPLICABLE CODES UNDER WHICH THE BUILDING IS TO BE CONSTRUCTED. THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM THE FAILURE TO FOLLOW THE CONSTRUCTION DOCUMENTS OR THE DESIGN INTENT THEY CONVEY.
 - THE CONTRACTOR SHALL FAMILIARIZE HIM(HER)SELF WITH THE EXISTING CONDITIONSP
 - AND NOTIFY THE OWNER AND ARCHITECT IN WRITING IF ANY DISCREPANCIES OR INCONSISTENCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS ARE DISCOVERED, PRIOR TO SUBMITTING A BID AND BEGINNING CONSTRUCTION.
 - IN CASE OF A CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE RIGID REQUIREMENTS SHALL BE ASSUMED UNTIL A RULING IS MADE BY THE ARCHITECT OR ENGINEER.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS. ALL WORK TO BE IN COMPLIANCE WITH CURRENTLY ADOPTED MECHANICAL, ELECTRICAL AND PLUMBING CODES AND PERFORMED BY LICENSED SUB-CONTRACTORS WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTIONS TO INSURE THE SAFETY, INTEGRITY, AND COMPLETION OF THIS PROJECT. THE ARCHITECT SHALL BE PROVIDED A FULL COPY OF THE PERMITTED DRAWINGS WITH COMMENTS BY THE LOCAL BUILDING AUTHORITIES UPON COMPLETION OF THEIR REVIEW. THE ARCHITECT/ENGINEER, AS REQUIRED, WILL PROVIDE ANY ADDITIONAL DETAILS, CLARIFICATIONS AND COMMENTS IN DIRECT RESPONSE TO THOSE ON THE ISSUED PERMIT DRAWINGS.
 - THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING REQUIRED INSPECTIONS AND TESTS.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, STRUCTURAL STEEL SUPPORT, HANGERS, AND OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, MILLWORK, CABINETRY, STONE, HANDRAILS, FURNISHINGS, DECORATIVE LIGHTING AND ALL OTHER ITEMS REQUIRING SAME.
 - ALL WORK AND/OR MATERIALS, ASSEMBLIES, PRODUCTS AND FINISHES SHALL BE PERFORMED/INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND IN COMPLIANCE WITH THE CITY OF SAVANNAH BUILDING CODES.
 - ALL FINISHES, INCLUDING PAINT, ARE TO BE PURCHASED FROM SPECIFIED MANUFACTURER. ALL SUBSTITUTION REQUESTS MUST BE SUBMITTED TO THE ARCHITECT IN WRITING.
 - DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. IN ORDER TO IDENTIFY CONFLICTS WITH EXISTING CONSTRUCTION AND DIMENSIONAL ERROR, DIMENSIONAL LAYOUT SHALL BE VERIFIED IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DIMENSIONS REQUIRING CORRECTION. DIMENSIONS ARE TO FACE OF WALL FINISH UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REMOVE FROM SITE AND DISCARD ALL CONSTRUCTION DEBRIS AT APPROVED DISPOSAL SITE.
 - CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES TO PROTECT THE GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.



SCALE: 1/16" = 1'-0"

PROJECT DESCRIPTION:	PROPOSED MATERIALS FOR RENOVATION
PIN: 2-0052 15-003 ZONING: TN-1 (TRADITIONAL NEIGHBORHOOD - 1) COA PROJECT REQUESTS: THIS CONTRIBUTING STRUCTURE IS CIRCA 1870'S. IT IS A 2-STORY, SINGLE-FAMILY HOME IN STABLE CONDITION, AND A FINE REPRESENTATION OF THE VICTORIAN DECORATIVE IN SAVANNAH'S VICTORIAN HISTORIC DISTRICT. ARRAY IS SEEKING APPROVAL FOR THE RECONSTRUCTION OF A REAR PORCH AND AS PREVIOUSLY PERMITTED (SEE PERMIT # 19-0054530-COA). WE ARE ALSO SEEKING APPROVAL TO PERFORM IN-KIND EXTERIOR REPAIRS THROUGHOUT BUT IN PARTICULAR AT THE CORNICE, ARCHITRAVE, PILASTERS, AND WOOD SIDING. ALSO, AT THE REAR PORCH A SMALL AREA OF ROOFING REPLACEMENT IS IN THE CURRENT SCOPE.	IN-KIND REPAIRS AT SOUTH ELEVATION TO INCLUDE: - REPAIRS AT CORNICE, PILASTERS, TRIM/CASING AND SIDING WHERE NEEDED . - ALSO, WINDOW AND SILL REPAIRS - PLUS ALL ELEMENTS TO BE PAINTED TO MATCH THE FRONT ELEVATION NEW WORK AT SOUTH PORCH TO INCLUDE... - WOOD TOP AND BOTTOM RAILING TO MATCH PROFILE OF FRONT PORCH RAIL. - HANDRAIL FINIAL AT STAIR: 5" ROUND - BALUSTERS: 1" SQUARE PICKETS - PORCH DECKING: EXISTING WOOD TO REMAIN - NEW STAIR: PAINTED, PRE-TREATED, WOOD TREADS AND RISERS - PORCH CEILING: WOOD BEADBOARD TO MATCH FRONT PORCH CEILING - NEW COLUMNS: WOOD, 8" SQUARE WITH CAPITAL AND BASE RESTORED TO MATCH ORIGINAL COLUMNS - SMALL ROOF REPLACEMENTS AT PORCH AND KITCHEN. IN-KIND REPAIRS AT WEST ELEVATION TO INCLUDE: - REPAIRS AT CORNICE, PILASTERS, TRIM/CASING AND SIDING WHERE NEEDED . - ALSO, WINDOW AND SILL REPAIRS - PLUS ALL ELEMENTS TO BE PAINTED TO MATCH THE FRONT ELEVATION

BUILDING CODE DATA (CITY OF SAVANNAH, GEORGIA):
Mandatory Codes, City of Savannah: International Residential Code, 2018 Edition, with Georgia Amendments (2020) International Fire Code, 2018 Edition (No Georgia Amendments) International Plumbing Code, 2018 Edition, with Georgia Amendments (2020) International Mechanical Code, 2018 Edition, with Georgia Amendments (2020) International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020) National Electrical Code, 2017 Edition (No Georgia Amendments) International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020) International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020) Life Safety Code (NFPA 101), 2018 ADA Standards for Accessible Design, 2010
DESIGNS SHALL BE BASED UPON THE FOLLOWING CRITERIA: - 3-SECOND WIND GUST: 120 MPH - FASTEST MILE BASIC WIND SPEED: 110 MPH - WIND EXPOSURE 'B' - SEISMIC DESIGN CATEGORY: 'C'
REQUIREMENTS FOR NEW WINDOWS, DOORS AND SKYLIGHTS: - NEGATIVE DESIGN PRESSURE: DP 40 OR HIGHER - SOLAR HEAT GAIN COEFFICIENT 0.30 OR LOWER - U-FACTOR: 0.50 OR LOWER
ROOFING: METAL ROOFING MATERIALS SHALL BE NATURALLY CORROSION RESISTANT OR PROVIDED WITH CORROSION RESISTANCE IN ACCORDANCE WITH TABLE LISTED IN SSTD 10-99, CHAPTER 5. FOR PANEL SYSTEMS, 2 ROWS OF FASTENERS SHALL BE USED ALONG THE EAVES, HIPS AND RIDGES. THE FIRST ROW SHOULD BE WITHIN 2- TO 3- INCHES OF THE EDGE AND THE NEXT ROW 3- TO 4-INCHES FROM THE FIRST. OTHER FASTENING TO BE PER IRC AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALL SCREWS AND OTHER FASTENERS TO BE CORROSION RESISTANT.

Revisions:

Date: 24 JANUARY 2024

Title:

COVER SHEET:
SITE PLAN
& DATA

Drawing No.

G-0.0

NOT RELEASED FOR CONSTRUCTION



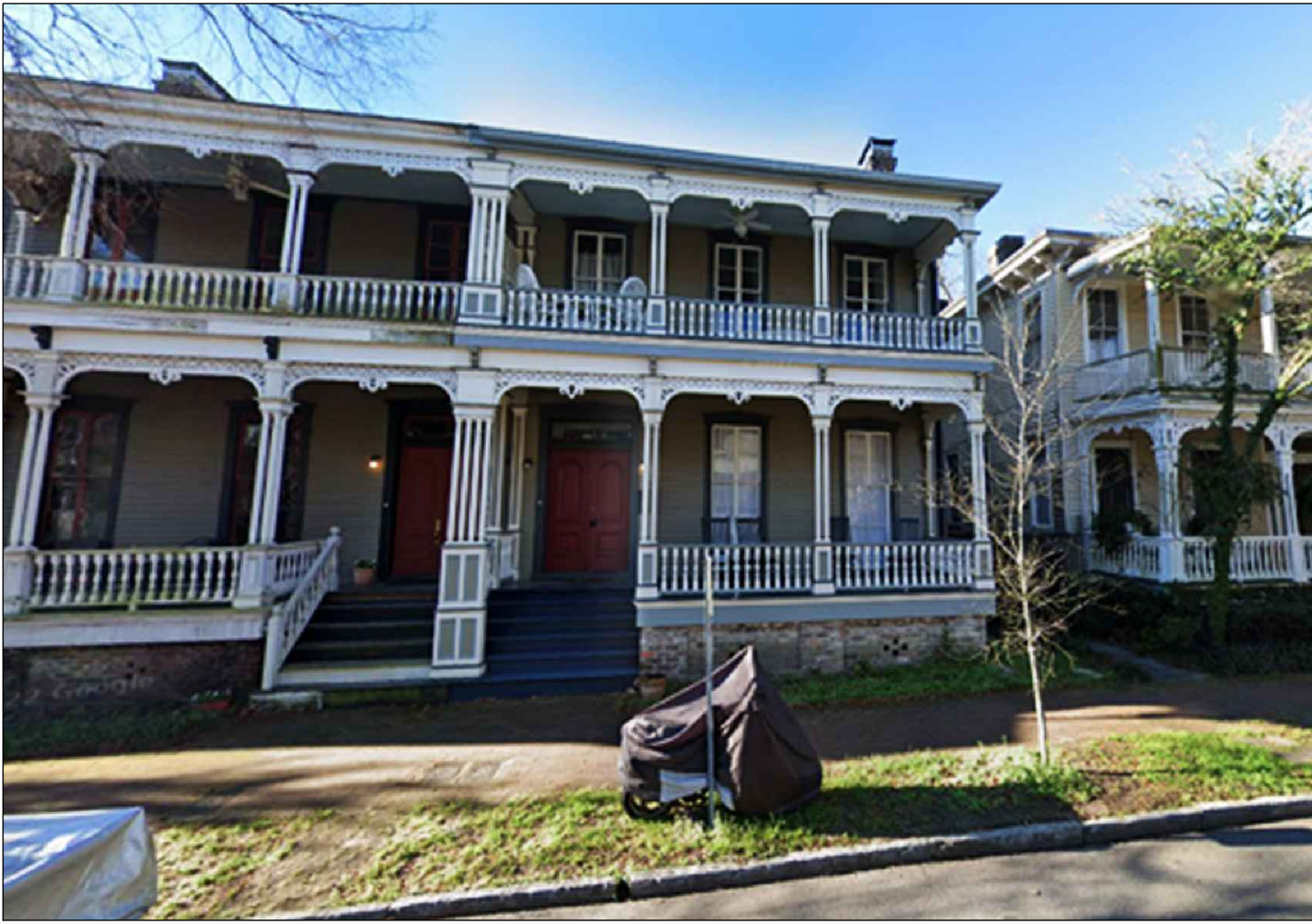
1 HABS PHOTO 1979: 209 & 211 W. WALDBURG



2 HABS PHOTO 1979: WEST WALDBURG W/ 209 & 211 AT CENTER



3 HABS PHOTO 1979: 209 & 211 W WALDBURG - FRONT PORCH



4 211 W. WALDBURG AND ADJACENT NEIGHBORS



5 WALDBURG LOOKING WEST



5 211 W. WALDBURG LOOKING SOUTHEAST



6 209 W. WALDBURG AT LANE/ LOOKING WEST

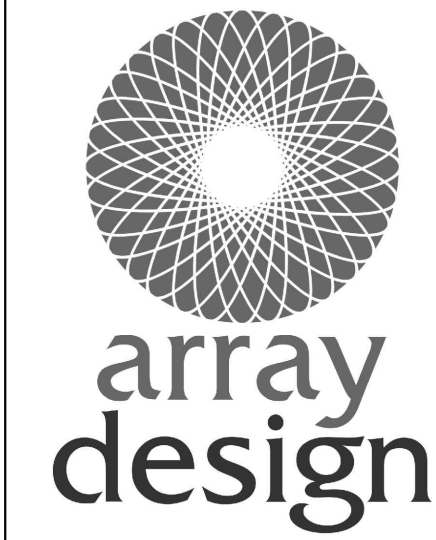


7 211 W. WALDBURG PORCH (PREVIOUS TO 2020 DEMOLITION)



8 211 W. WALDBURG AT LANE / LOOKING NORTHEAST (CURRENT)

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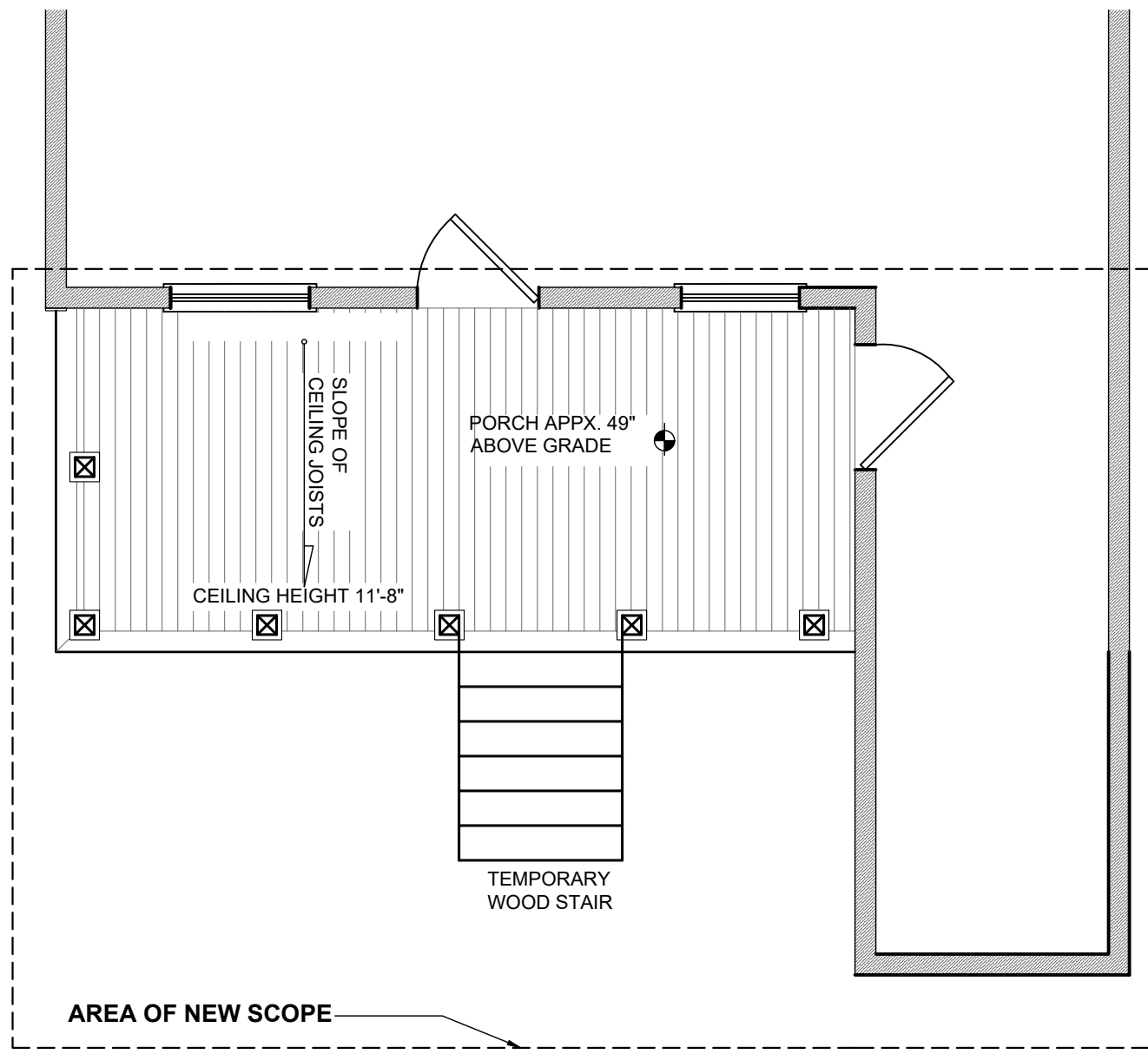
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Title:

HISTORICAL &
CONTEXT
PHOTOS

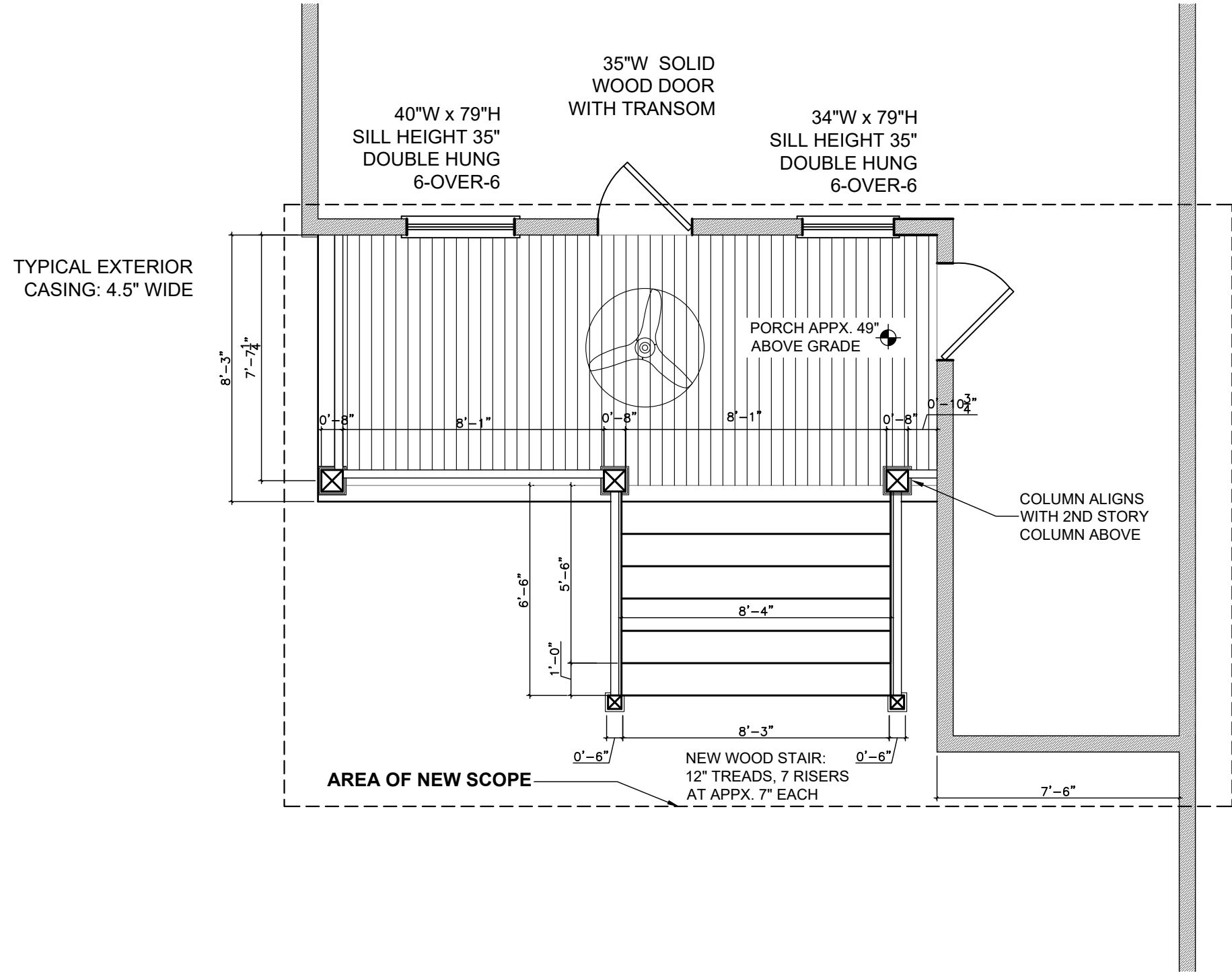
Drawing No.

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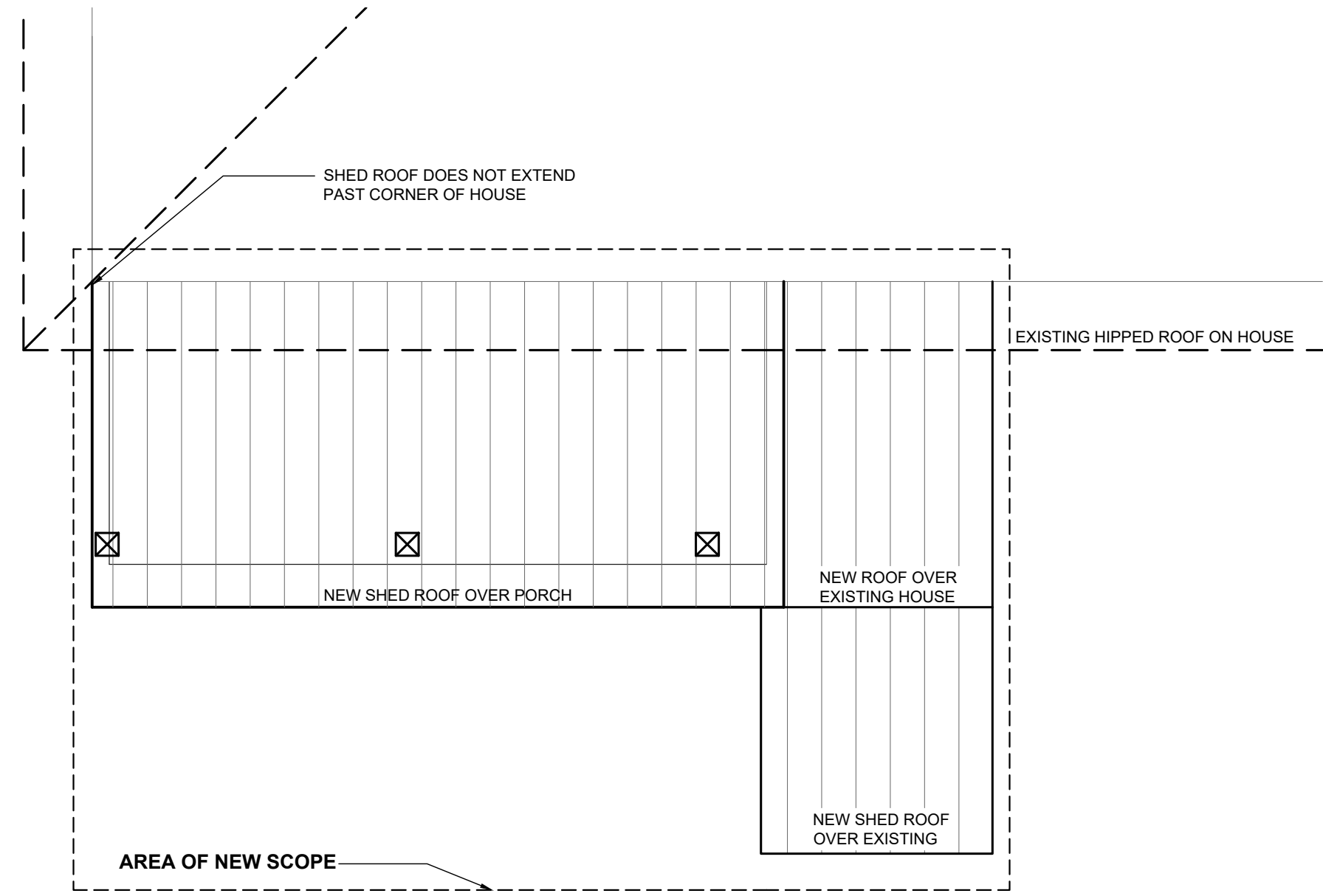
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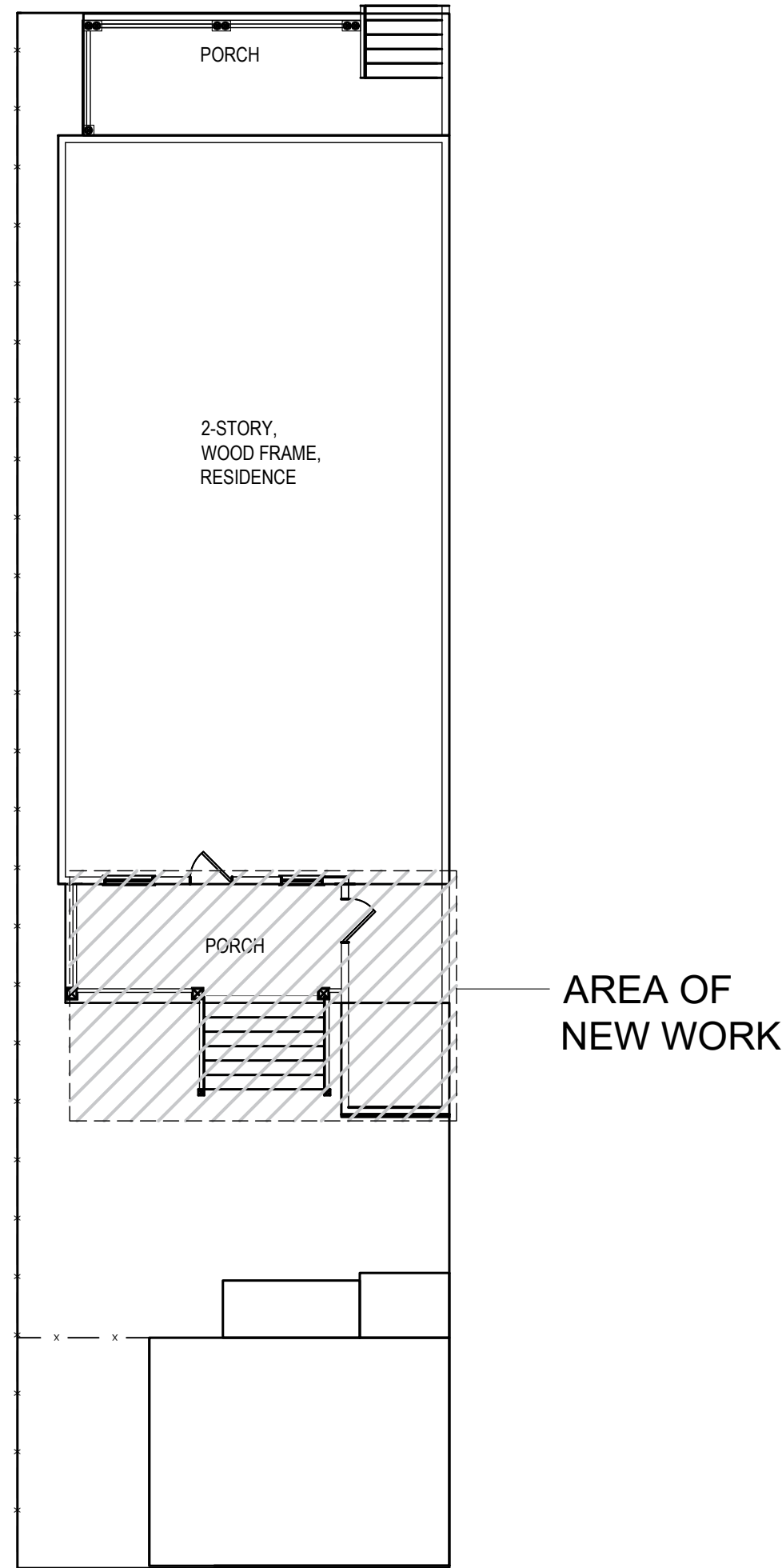
1 REAR PORCH PLAN: EXISTING
A-1.0 SCALE: 1/4" = 1'-0"



2 REAR PORCH PLAN: PROPOSED
A-1.0 SCALE: 1/4" = 1'-0"



3 PORCH ROOF PLAN
A-1.0 SCALE: 1/4" = 1'-0"



KEY PLAN SCALE: 3/32" = 1'-0"

seal



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9 1 2 . 2 2 8 . 9 0 8 8

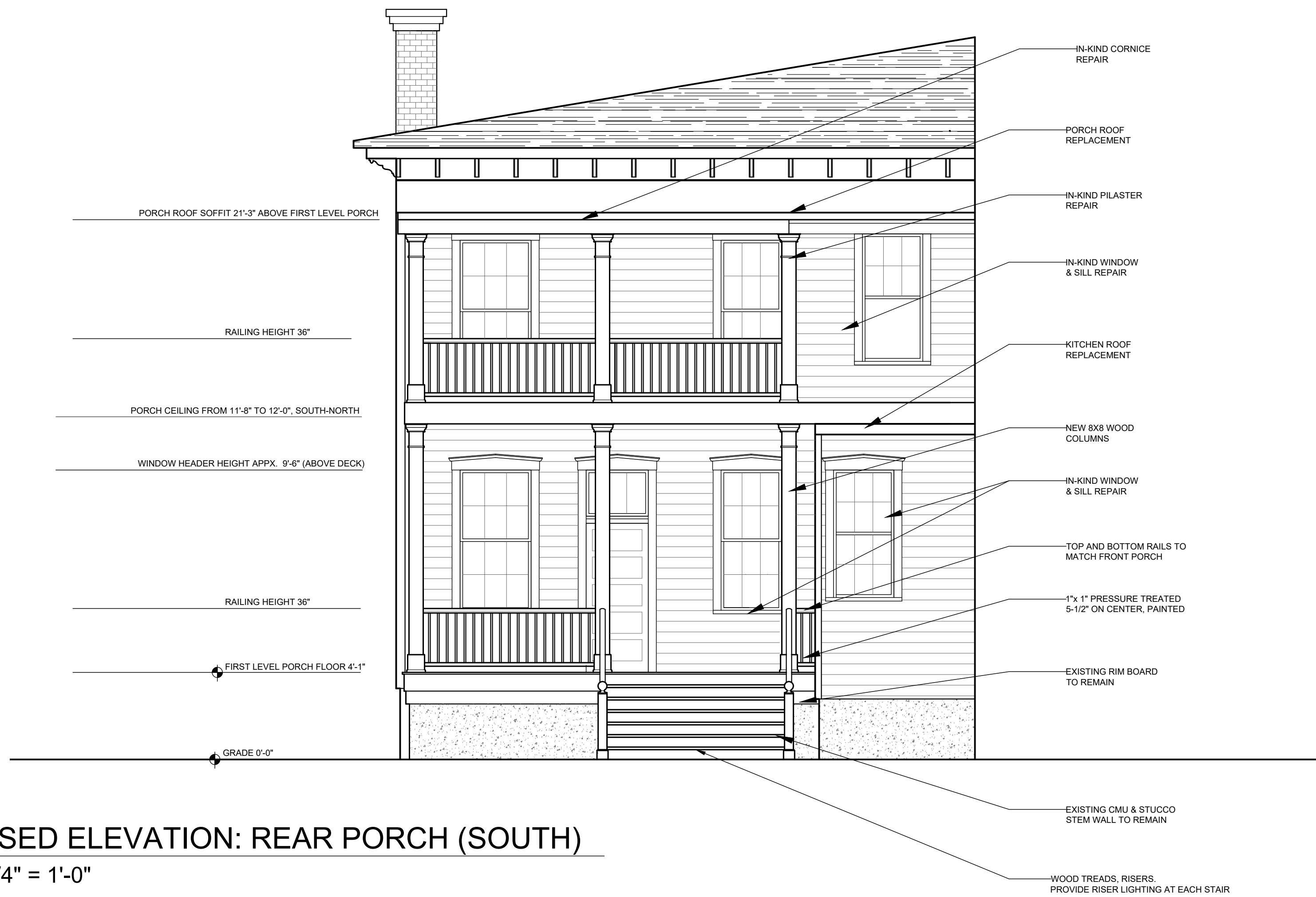
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Title:
EXISTING & PROPOSED PORCH PLANS, ROOF PLAN

Drawing No.
A-1.0

NOT RELEASED FOR CONSTRUCTION



1
A-2.0

PROPOSED ELEVATION: REAR PORCH (SOUTH)
SCALE: 1/4" = 1'-0"



2
A-2.0

PROPOSED SIDE ELEVATION: REAR PORCH (WEST)
SCALE: 1/4" = 1'-0"

seal



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9 1 2 . 2 2 8 . 9 0 8 8

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Date: 24 JANUARY 2024

Title:

PROPOSED
SOUTH & WEST
ELEVATIONS

Drawing No.

A-2.0

NOT RELEASED FOR CONSTRUCTION



1 CORNICE & ARCHITRAVE AT SOUTHWEST CORNER

- IN-KIND RESTORATION REPAIRS
- 1 REPLACE OR REPAIR ALL WOOD AT CORNICE, EAVES AND ARCHITRAVE
 - 2 REPLACE OR REPAIR WOOD PILASTER AND SIDING
 - 3 REPLACE SHED ROOF AND FLASHING, ADD GUTTER & DOWNSPOUT
 - 4 REPAIR ALL WINDOW FRAMES, SILLS AND CASING

REPAIR LEGEND



3 ROOFING AT SHED ROOF

4 WINDOWS ON SOUTH ELEVATION



2 REAR PORCH (EXISTING)

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Title:

IN-KIND REPAIRS
AT SOUTH
ELEVATION

Drawing No.

A-2.1

NOT RELEASED FOR CONSTRUCTION



1 SOFFIT AND FASCIA AT NORTHWEST CORNER

IN-KIND RESTORATION REPAIRS

1

REPLACE OR REPAIR ALL WOOD AT SOFFIT, FASCIA AND EAVES

2

REPAIR ALL WINDOW FRAMES, SILLS AND CASING

3

REPLACE OR REPAIR ALL DETERIORATED SIDING AND TRIM BOARDS

REPAIR LEGEND



3 SHIPLAP SIDING AT WEST ELEVATION



2 NORTH AND WEST ELEVATION

seal



array
design

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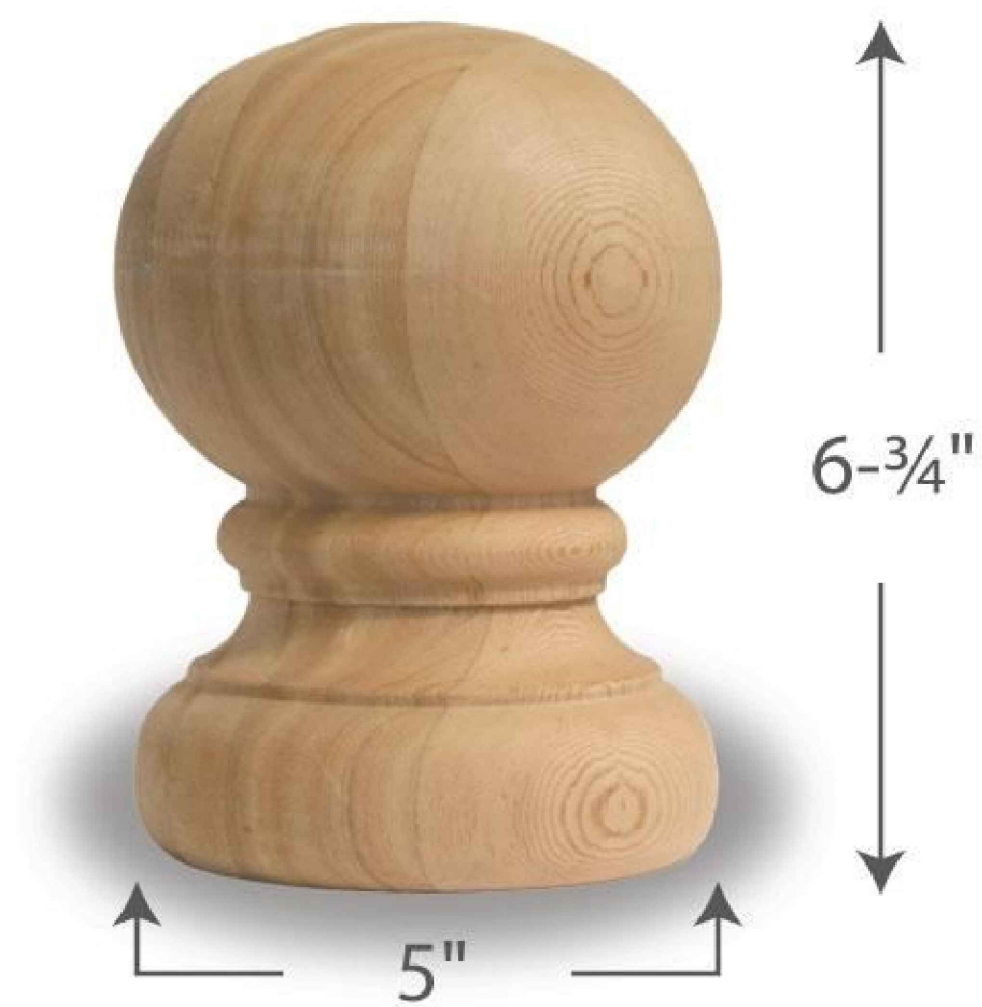
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IN-KIND REPAIRS
AT
NORTH & WEST
ELEVATIONS

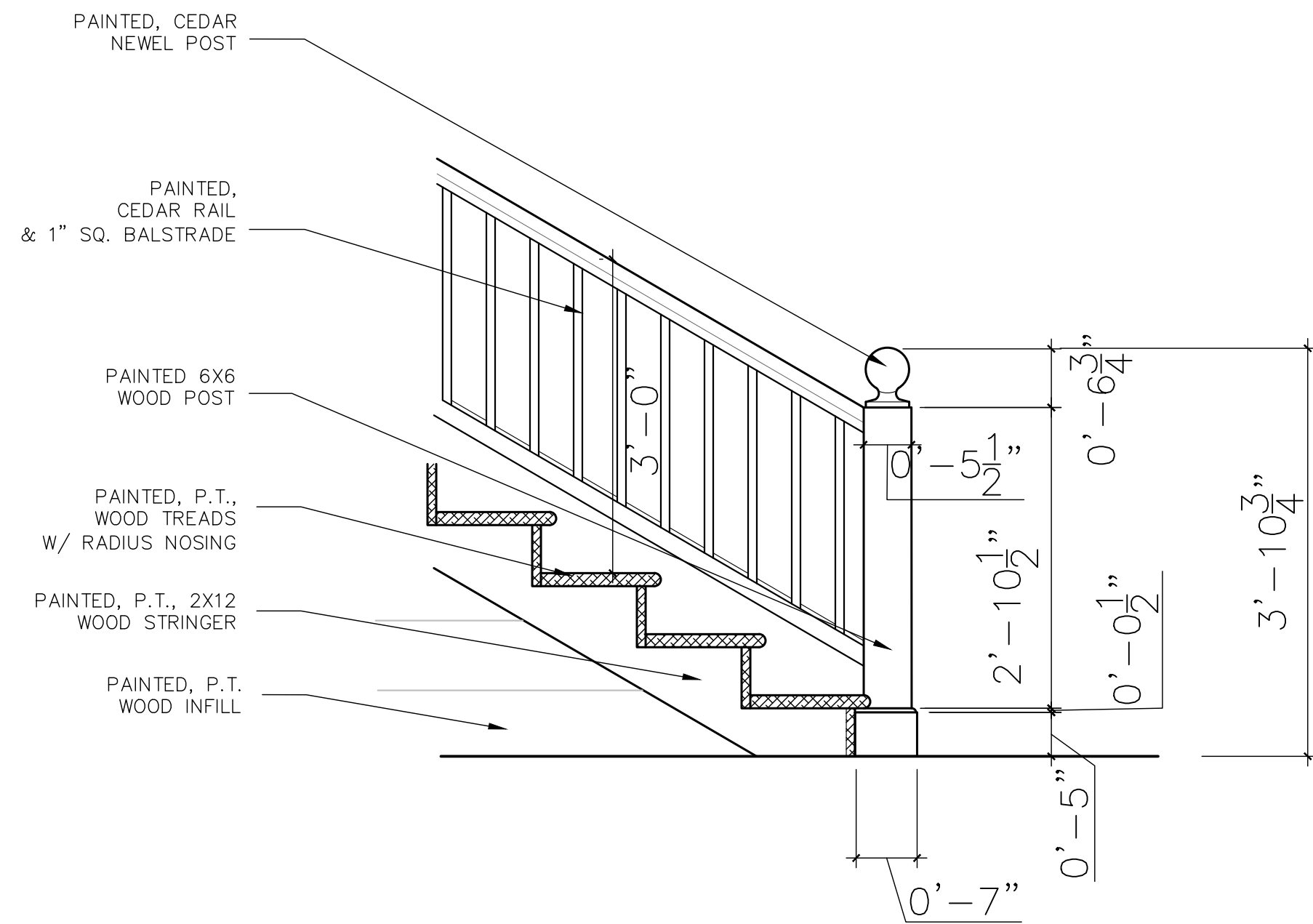
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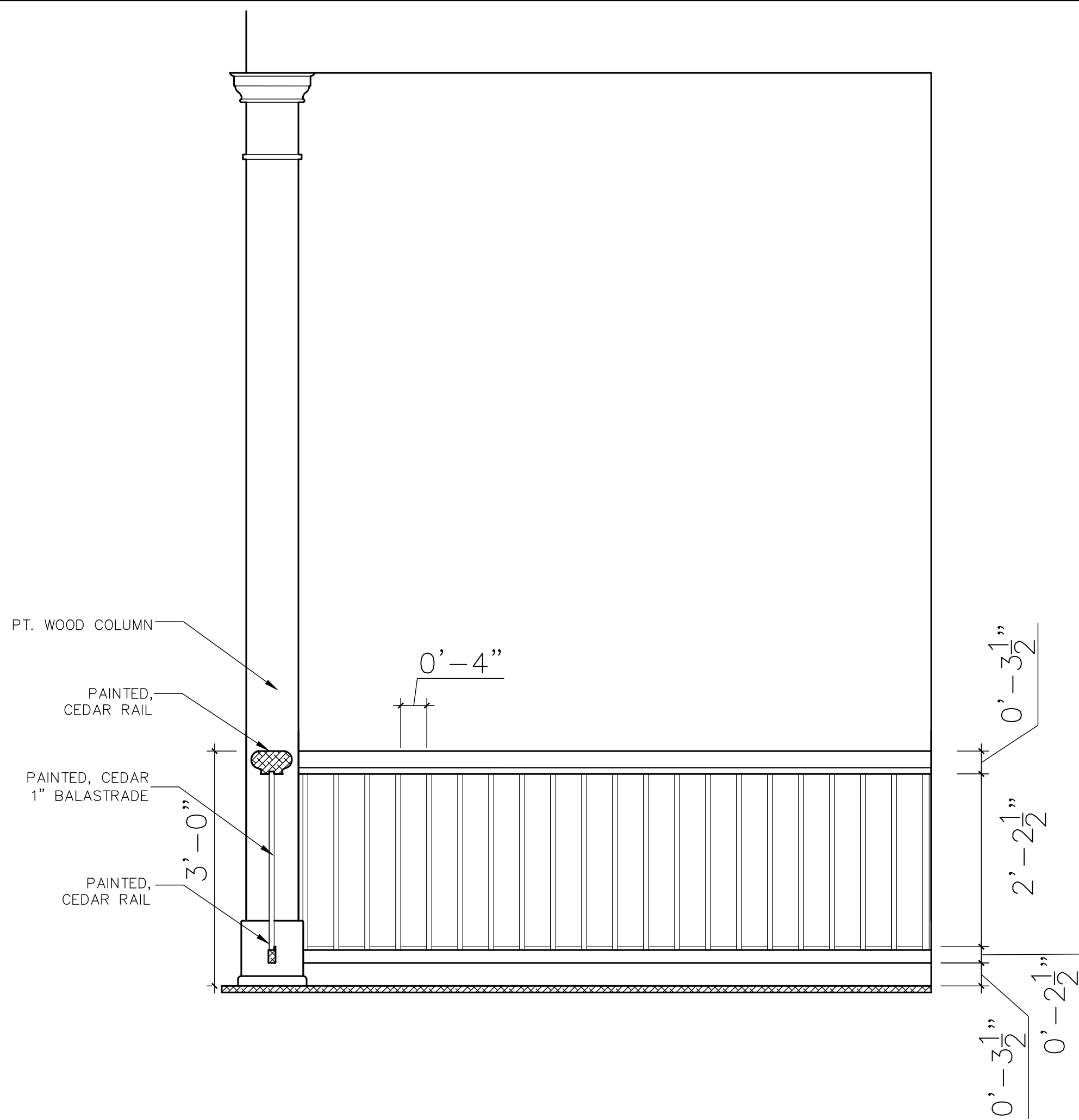


1 FINIAL AT STAIR NEWELS



2 HANDRAIL AND NEWEL POST

SCALE: 3/4" = 1'-0"



3 HANDRAIL @ LOWER PORCH COLUMN

SCALE: 3/4" = 1'-0"



ROOFING: Oakridge Fiberglass Shingles
COLOR: Estate Gray

4 PORCH & KITCHEN ROOFING

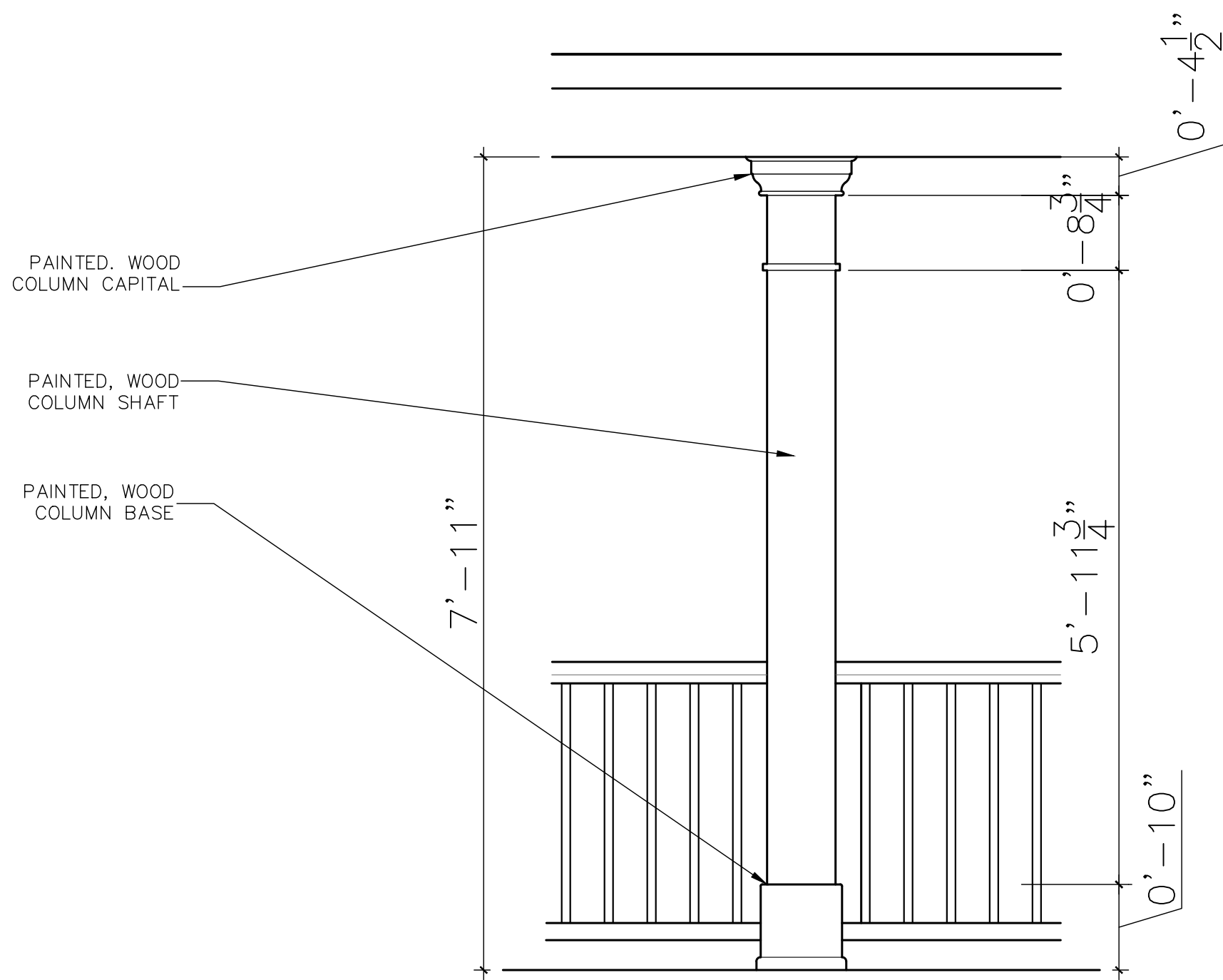
NTS



FAN: Minka Aire, 44", Exterior (Wet)
COLOR: Bronze Finish

5 PORCH FANS

NTS



6 UPPER PORCH COLUMN

SCALE: 3/4" = 1'-0"

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MILLWORK
DETAILS,
& SPECS

Drawing No.

A-3.0

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