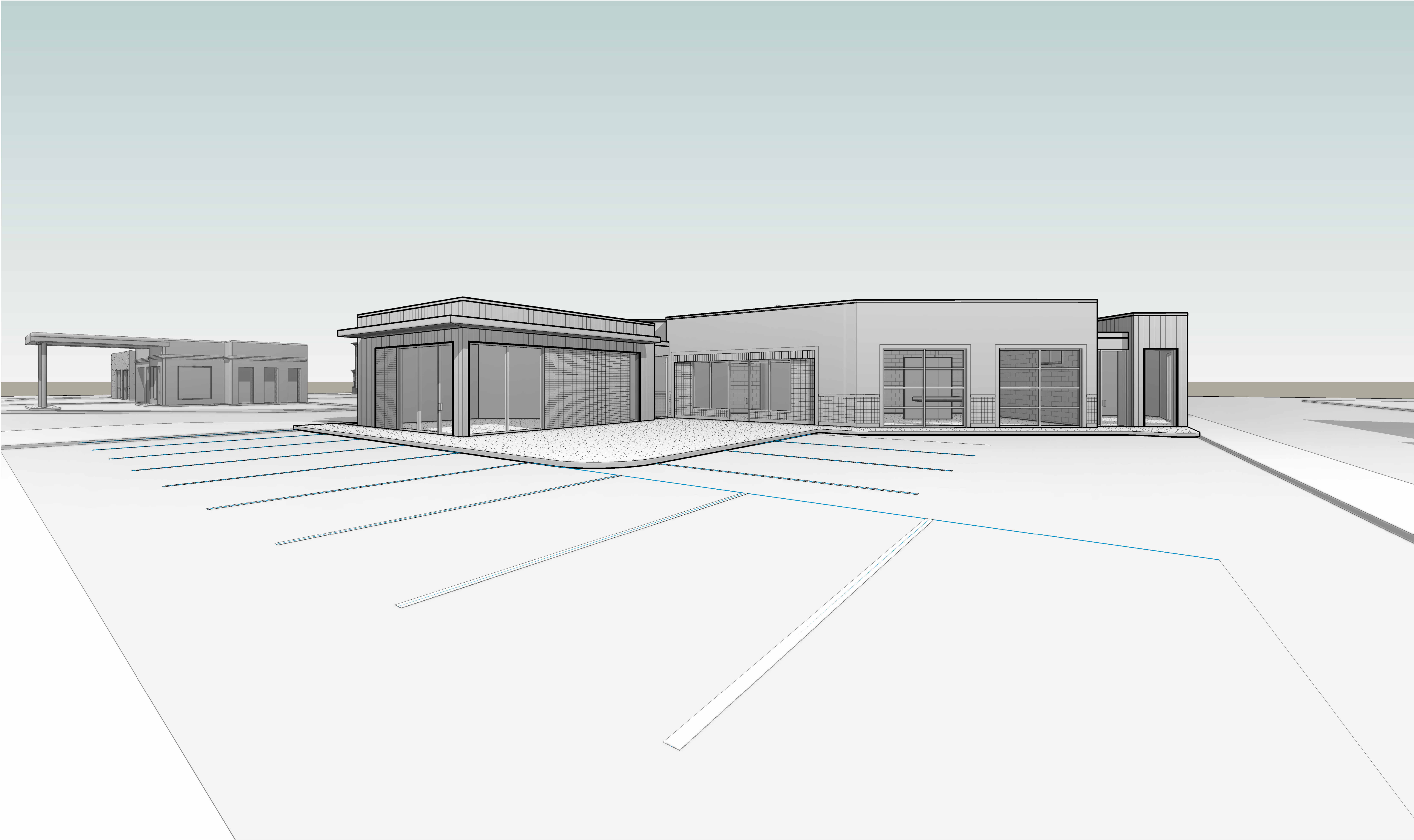


LOCATED AT

2601 BULL STREET, SAVANNAH, GA 31401



SCOPE OF WORK INCLUDES REHABILITATION THE EXISTING BUILDING'S FACADE WITH NEW MATERIALS. AS WELL AS UPFIT TO THE BUILDING'S INTERIOR.
NEW CONSTRUCTION OF TWO ADDITIONS TO COMPLIMENT THE EXISTING STRUCTURE.

2001 BULL ST
AT
2601 BULL ST
SAVANNAH, GA
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COVER SHEET

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RENT DRAWING STATUS

PC

G-001

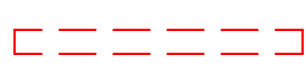
DEMO PLAN GENERAL NOTES

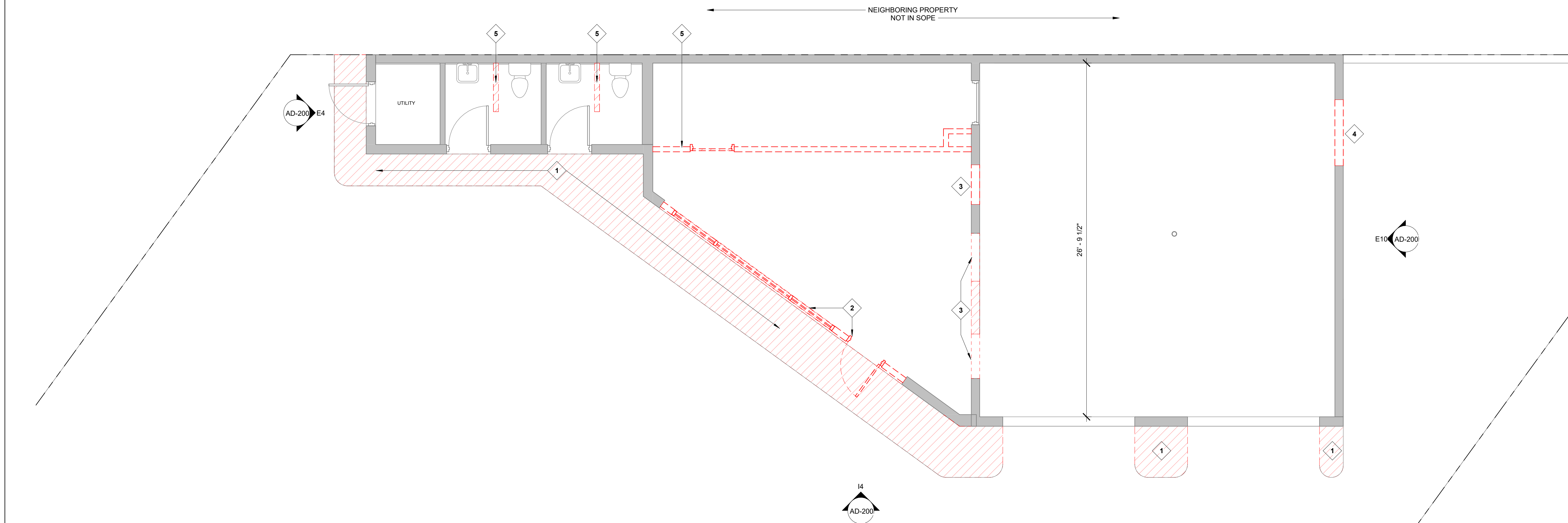
1. THE DEMOLITION PLANS ARE DERIVED FROM EXISTING BUILDING PLANS/SCAN AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. ACTUAL CONDITIONS MAY DEVIATE FROM THAT SHOWN. CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
2. ALL ELEMENTS SHOWN AS EXISTING TO REMAIN UNLESS NOTED OR INDICATED WITH RED LINES TO BE REMOVED. THE EXTENT OF DEMOLITION WORK SHALL INCLUDE ALL INCIDENTAL DEMOLITION WORK NECESSARY TO PROPERLY PROVIDE ALL NEW WORK SHOWN AND SPECIFIED IN THE CONSTRUCTION DOCUMENTS, INCLUDING STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF EXISTING BUILDING ELEMENTS TO REMAIN THROUGHOUT SEQUENCE OF WORK. ANY DAMAGE TO EXISTING BUILDING CONDITIONS SHOWN TO REMAIN SHALL BE RESTORED TO NEW WORK CONDITION AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL REPORT ANY UNEXPECTED SUBSURFACE CONDITIONS INCLUDING SUSPECTED HAZARDOUS MATERIALS, PRESENCE OF MOLD, MILDEW, ACTIVE TERMITES OR TERMITE DAMAGE, DRY ROT OR MOISTURE INFILTRATION TO THE ARCHITECT IMMEDIATELY.
5. ITEMS TO BE DEMOLISHED SHALL BE REMOVED COMPLETELY INCLUDING ALL ANCHORS, HANGERS, FASTENERS, GROUT, ADHESIVES, PIPES, CONDUITS, DUCTS, ETC. UNLESS OTHERWISE INDICATED TO BE ABANDONED IN PLACE.
6. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
7. WHERE REMOVAL OF MATERIALS RESULTS IN OPENINGS IN EXISTING SURFACES, CONTRACTOR SHALL FILL OPENING WITH MATERIALS AND USING METHODS TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
8. WHERE EXISTING MATERIALS, SURFACES, OR FINISHES ARE DAMAGED DUE TO WORK OF THIS CONTRACT THE CONTRACTOR SHALL REPAIR SUCH DAMAGED AREAS WITH NEW MATERIALS OF TYPE, SIZE, AND FINISH TO MATCH EXISTING.
9. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
10. COORDINATE DEMOLITION OF ANY STRUCTURAL ELEMENTS (COLUMNS, BEAMS, SLABS, ETC.) WITH STRUCTURAL. EXTENT OF DEMOLITION AREA SHALL BE IN ACCORDANCE WITH STRUCTURAL REQUIREMENTS AND COORDINATED WITH ALL NEW WORK.
11. TEMPORARILY SUPPORT ALL STRUCTURAL ELEMENTS TO BE DISTURBED BY DEMOLITION WORK, UNTIL THEY ARE RESUPPORTED BY NEW WORK.
12. CONCRETE SLABS TO REMAIN SHALL BE PATCHED, SCRAPPED, LEVELED, AND CLEANED TO PROVIDE SURFACE SUITABLE FOR NEW FINISHES. IN AREAS TO RECEIVE NEW UNDERGROUND MECHANICAL, PLUMBING, ELECTRICAL, OR ADDITIONAL FOUNDATION WORK, REFER TO MECHANICAL, PLUMBING, ELECTRIC, AND STRUCTURAL DRAWINGS TO DETERMINE EXTENT OF REQUIRED CUT AND PATCH OF EXISTING SLAB.
13. COMPLETELY REMOVE PARTITIONS FROM FLOOR TO STRUCTURE ABOVE INCLUDING BASE, ALL FASTENERS, GROUTS, SEALANTS, ETC. UNLESS NOTED OTHERWISE.
14. AT LOCATIONS WHERE WALL IS REMOVED AND FLOOR IS UN-LEVEL BETWEEN ADJACENT SPACES PROVIDE MATERIALS AND LABOR NECESSARY TO LEVEL FLOOR.
15. MECHANICAL SYSTEMS, EMERGENCY LIGHTING AND FIRE PROTECTION TO REMAIN AND BE PROTECTED THROUGHOUT DEMOLITION. AND RENOVATION. UNLESS OTHERWISE NOTED. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
16. REMOVE ALL INACTIVE CABLES, CONDUIT, PIPING AND BRACKETS FROM EXISTING STRUCTURE AND WALLS.

DEMOLITION KEYNOTES

- 1 DEMOLISH EXISTING CURBS
- 2 DEMOLISH STOREFRONT FACING BULL ST, RESTORE ORIGINAL WALL OPENING
- 3 CUT/DEMOLISH WALL TO ALLOW FOR NEW OPENING
- 4 CUT/DEMOLISH WALL BELOW TO ALLOW FOR NEW OPENING
- 5 DEMOLISH PARTITION WALL

DEMOLITION LEGEND

-  ELEMENTS TO BE DEMOLISHED
-  ELEMENTS TO BE DEMOLISHED
-  ELEMENTS TO REMAIN
-  ELEMENTS TO REMAIN



DEMOLITION FLOOR PLAN
1/4" = 1'-0"

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DEMOLITION PLANS

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DEMO PLAN GENERAL NOTES

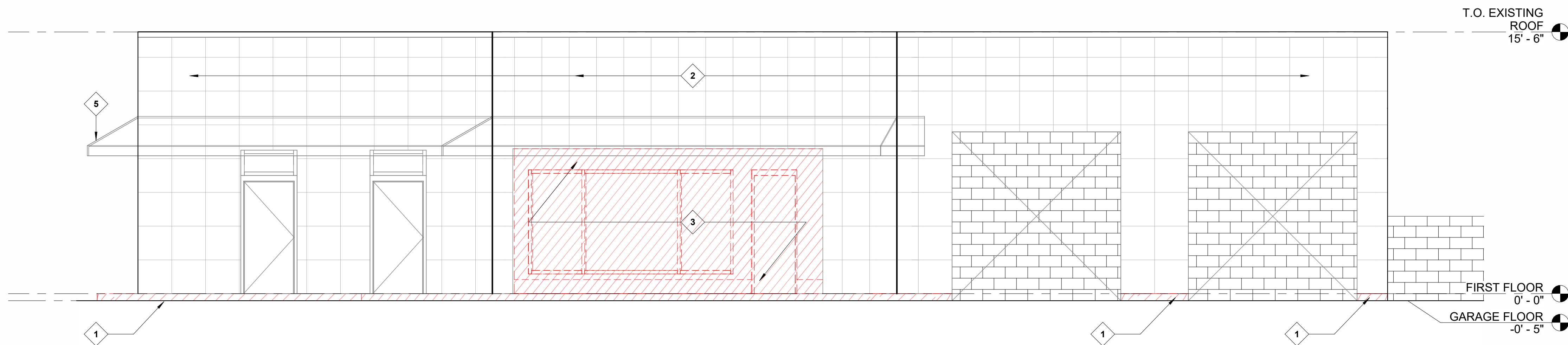
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16. REMOVE ALL INACTIVE CABLES, CONDUIT, PIPING AND BRACKETS FROM EXISTING STRUCTURE AND WALLS.

DEMOLITION KEYNOTES

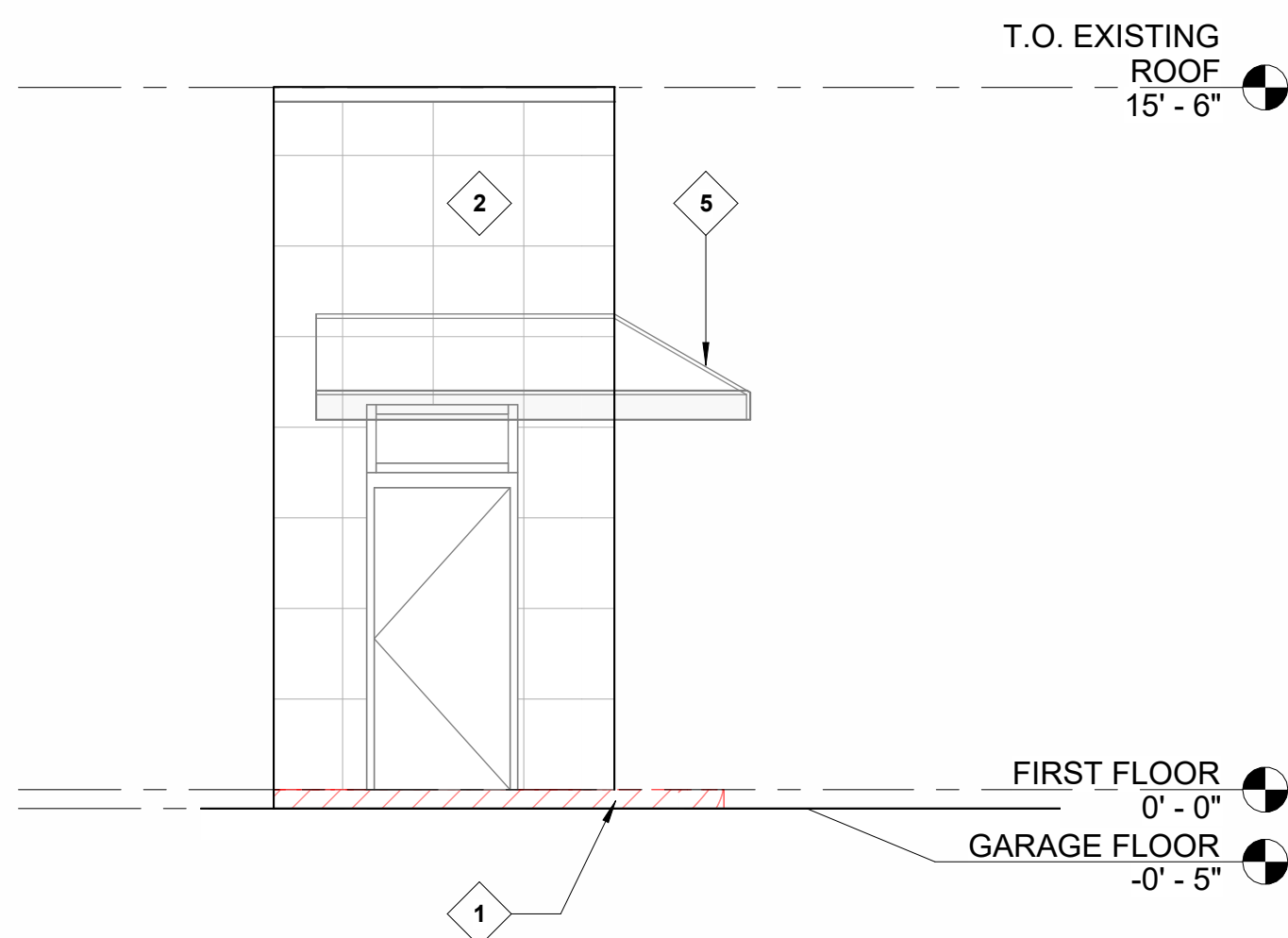
- 1 DEMOLISH EXISTING CURBS
- 2 REMOVE EXISTING METAL PANELS
- 3 DEMOLISH STOREFRONT FACING BULL ST, RESTORE ORIGINAL WALL OPENING
- 4 CUT/DEMOLISH WALL BELOW TO ALLOW FOR NEW OPENING
- 4 DEMOLISH WRAP AROUND AWNING

DEMOLITION LEGEND

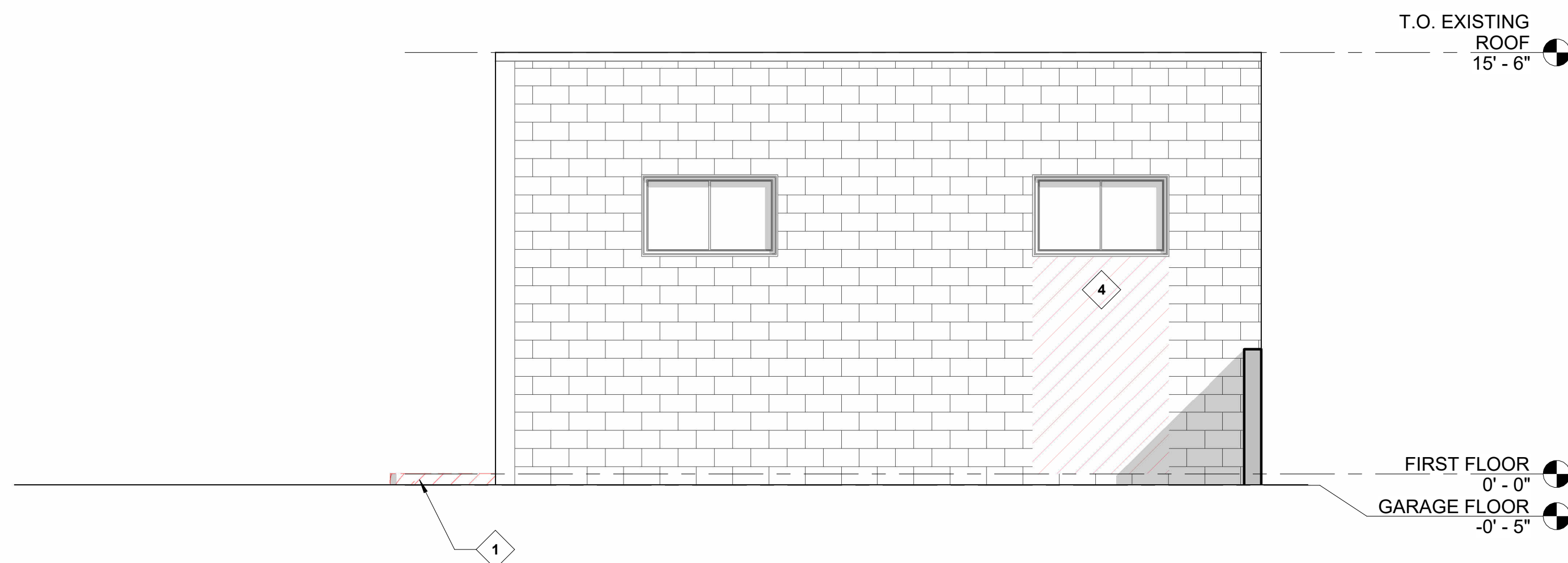
- ELEMENTS TO BE DEMOLISHED
- ELEMENTS TO REMAIN



I4 DEMOLITION ELEVATION - EAST
1/4" = 1'-0"



E4 DEMOLITION ELEVATION - NORTH
1/4" = 1'-0"



E10 DEMOLITION ELEVATION - SOUTH
1/4" = 1'-0"

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DEMOLITION ELEVATIONS

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SITE PLAN - WITH ADDITION

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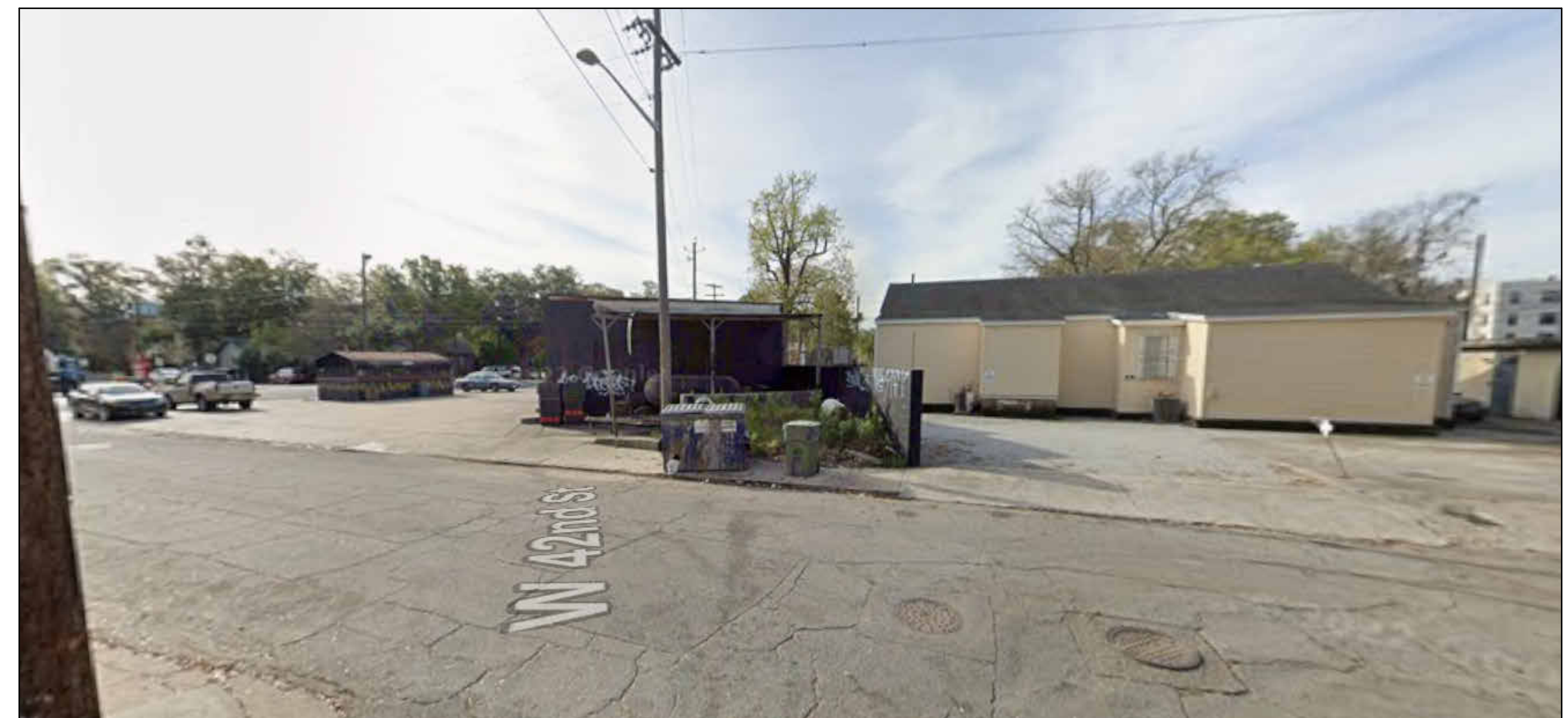
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00101110110101

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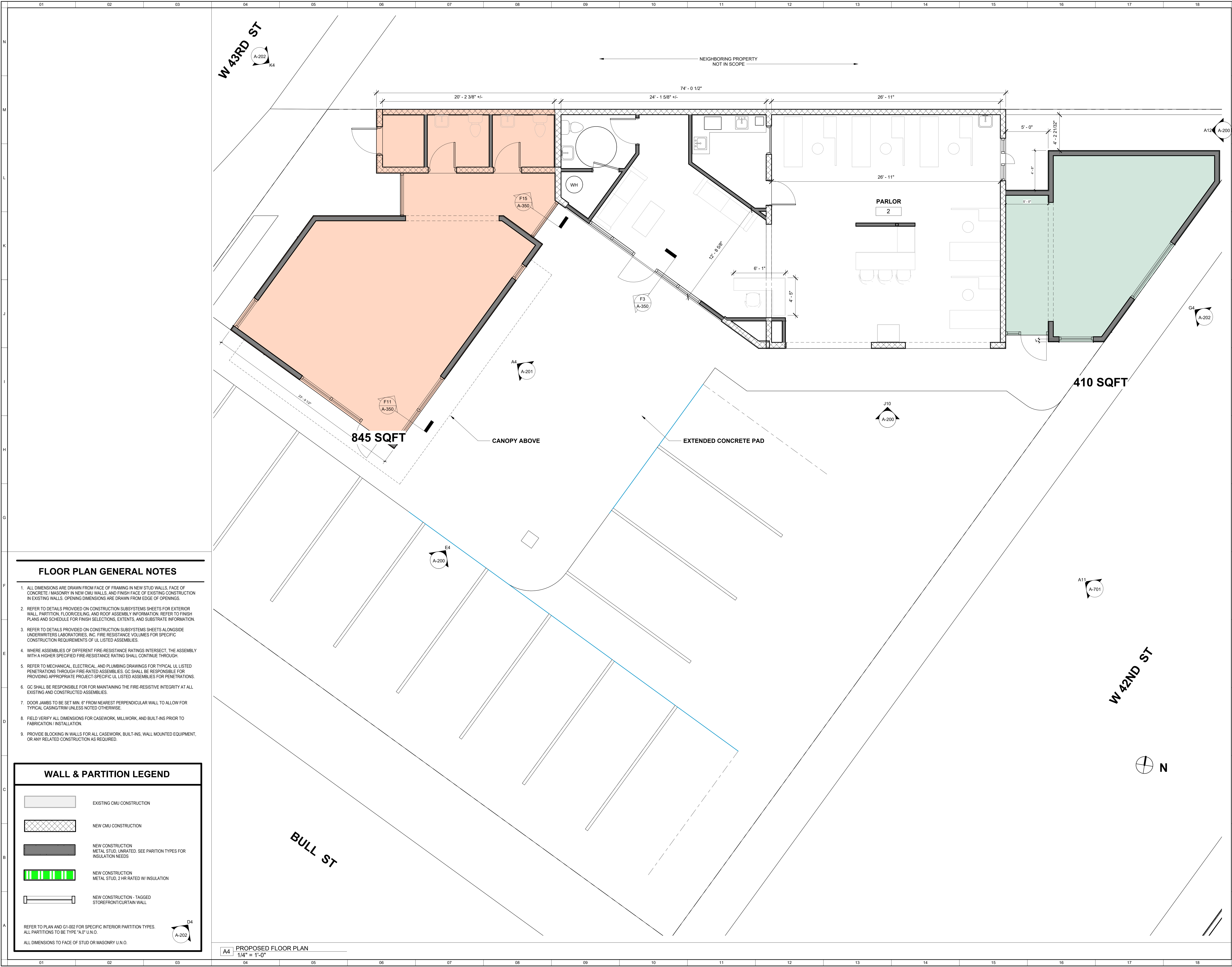
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FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE DRAWN FROM FACE OF FRAMING IN NEW STUD WALLS, FACE OF CONCRETE / MASONRY IN NEW CMU WALLS, AND FINISH FACE OF EXISTING CONSTRUCTION IN EXISTING WALLS. OPENING DIMENSIONS ARE DRAWN FROM EDGE OF OPENINGS.
2. REFER TO DETAILS PROVIDED ON CONSTRUCTION SUBSYSTEMS SHEETS FOR EXTERIOR WALL, PARTITION, FLOORCEILING, AND ROOF ASSEMBLY INFORMATION. REFER TO FINISH PLANS AND SCHEDULE FOR FINISH SELECTIONS, EXTENTS, AND SUBSTRATE INFORMATION.
3. REFER TO DETAILS PROVIDED ON CONSTRUCTION SUBSYSTEMS SHEETS ALONGSIDE UNDERWRITERS LABORATORIES, INC. FIRE RESISTANCE VOLUMES FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF UL LISTED ASSEMBLIES.
4. WHERE ASSEMBLIES OF DIFFERENT FIRE-RESISTANCE RATINGS INTERSECT, THE ASSEMBLY WITH A HIGHER SPECIFIED FIRE-RESISTANCE RATING SHALL CONTINUE THROUGH.
5. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR TYPICAL UL LISTED PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES. GC SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE PROJECT-SPECIFIC UL LISTED ASSEMBLIES FOR PENETRATIONS.
6. GC SHALL BE RESPONSIBLE FOR FOR MAINTAINING THE FIRE-RESISTIVE INTEGRITY AT ALL EXISTING AND CONSTRUCTED ASSEMBLIES.
7. DOOR JAMBS TO BE SET MIN. 6" FROM NEAREST PERPENDICULAR WALL TO ALLOW FOR TYPICAL CASING/TRIM UNLESS NOTED OTHERWISE.
8. FIELD VERIFY ALL DIMENSIONS FOR CASEWORK, MILLWORK, AND BUILT-INS PRIOR TO FABRICATION / INSTALLATION.
9. PROVIDE BLOCKING IN WALLS FOR ALL CASEWORK, BUILT-INS, WALL MOUNTED EQUIPMENT, OR ANY RELATED CONSTRUCTION AS REQUIRED.

WALL & PARTITION LEGEND

- EXISTING CMU CONSTRUCTION
- NEW CMU CONSTRUCTION
- NEW CONSTRUCTION METAL STUD, UNRATED. SEE PARTITION TYPES FOR INSULATION NEEDS
- NEW CONSTRUCTION METAL STUD, 2 HR RATED W/ INSULATION
- NEW CONSTRUCTION - TAGGED STOREFRONT/CURTAIN WALL

REFER TO PLAN AND G1-002 FOR SPECIFIC INTERIOR PARTITION TYPES.
ALL PARTITIONS TO BE TYPE "A.0" U.N.O.
ALL DIMENSIONS TO FACE OF STUD OR MASONRY U.N.O.

PROPOSED FLOOR PLAN
1/4" = 1'-0"

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FIRST FLOOR PLAN WITH ADDITIONS

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ROOF PLAN

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1. REFERENCE FLOOR PLANS FOR ANY HORIZONTAL DIMENSIONS.
2. MATERIAL TAGS REFERENCE FINISH OF EXTERIOR WALLS, FLOOR/CEILINGS, AND ROOF ASSEMBLIES ONLY. REFER TO CONSTRUCTION SUBSYSTEMS SHEET FOR FULL ASSEMBLY DETAILS.
3. REFERENCE WALL SECTIONS, SECTION DETAILS, AND RELEVANT SCHEDULES FOR CASING/TRIM PROFILES.
4. UTILITIES, LIGHT FIXTURES, HVAC/EXHAUST ELEMENTS, ETC. ARE SHOWN FOR REFERENCE TO ILLUSTRATE DESIGN INTENT. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR SPECIFICATIONS AND ADDITIONAL INFORMATION AND INFORM ARCHITECT OF ANY DISCREPANCIES.
5. ALL EXPOSED UTILITIES ON THE EXTERIOR OF THE BUILDING ARE TO BE PAINTED TO MATCH THE SURFACE OF THE WALL/ROOF THAT THEY ARE MOUNTED TO.
6. ALL STUCCO TO BE AS SMOOTH FINISH



24x48" TILE FACADE
4' TILE BASE
6" TILE BORDERS
3"x3" TILED MOSAIC
STOREFRONT SURROUND

6" VERTICAL SIDING

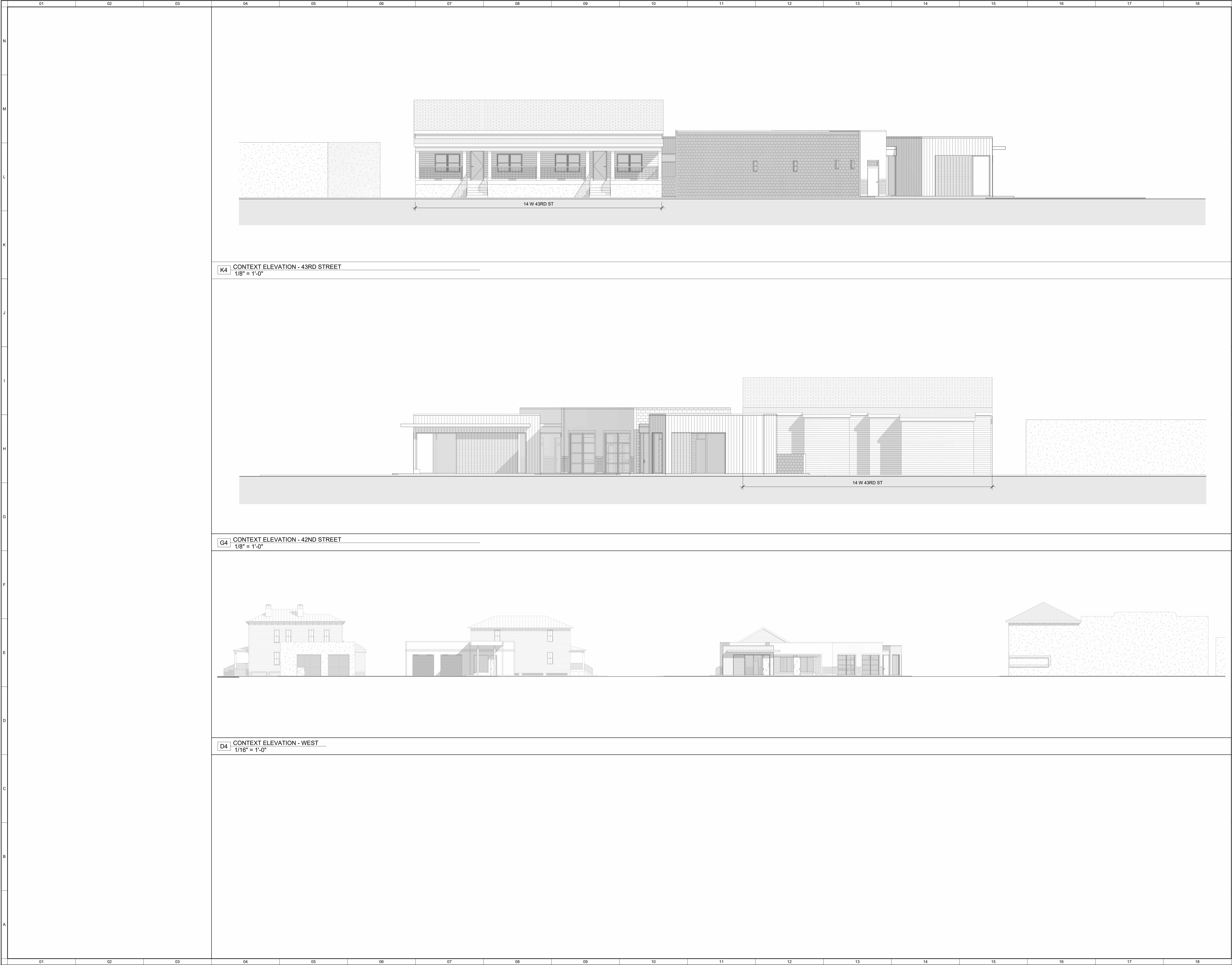
STACK BOND BRICK

ACCENTS

BRONZE METAL TRIM AROUND MATERIAL CHANGES



A-201



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CONTEXT ELEVATIONS

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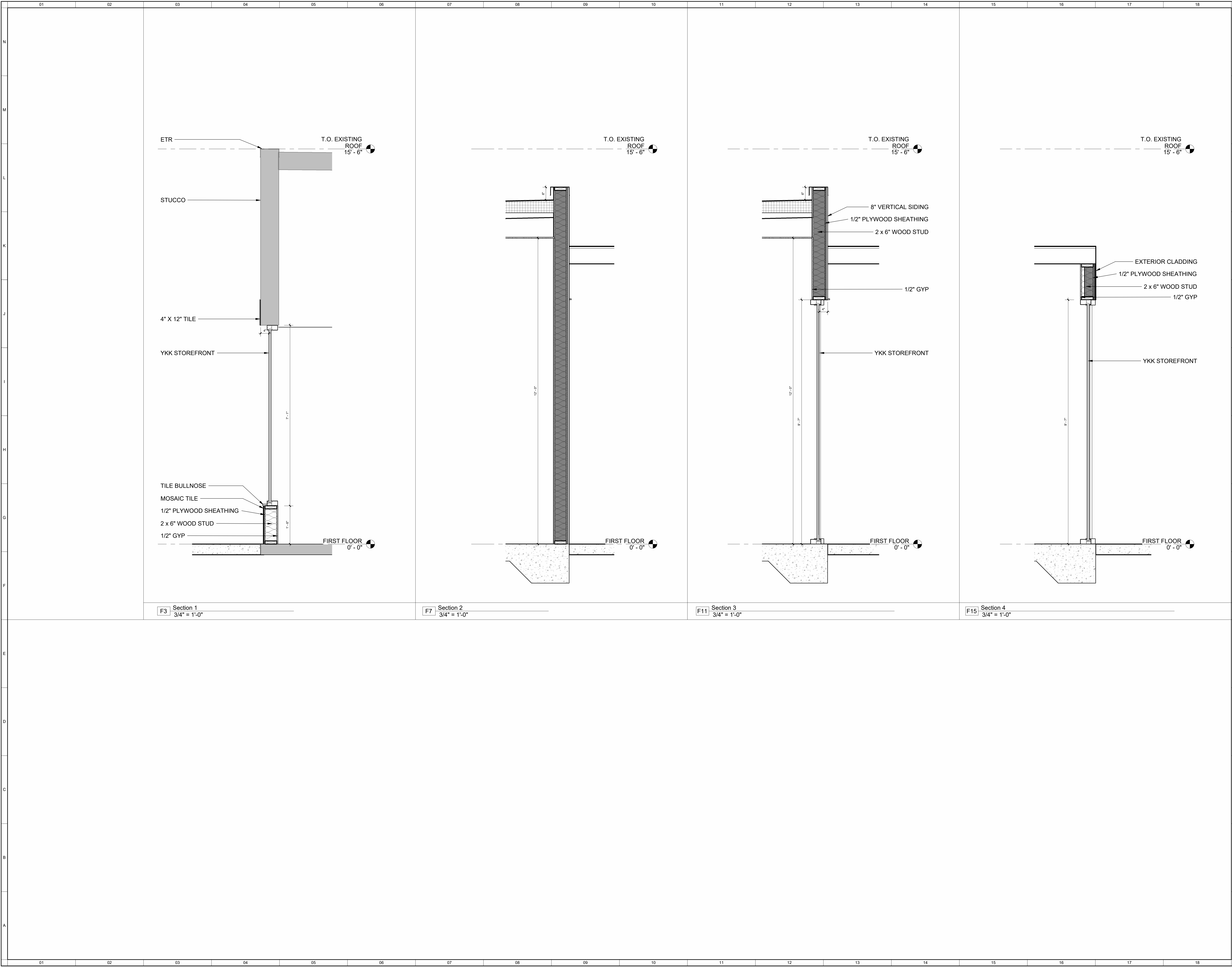
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WALL SECTIONS

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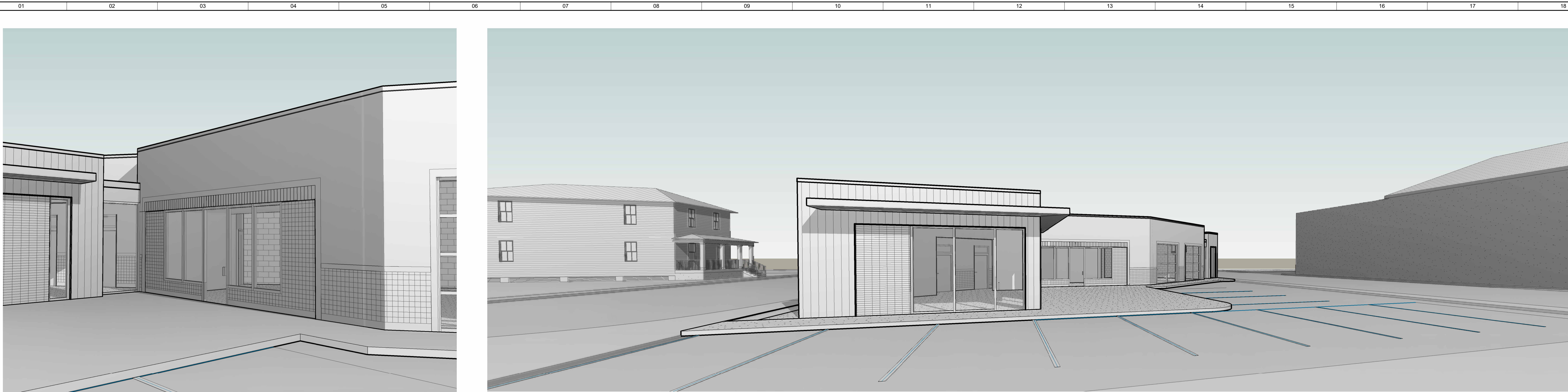
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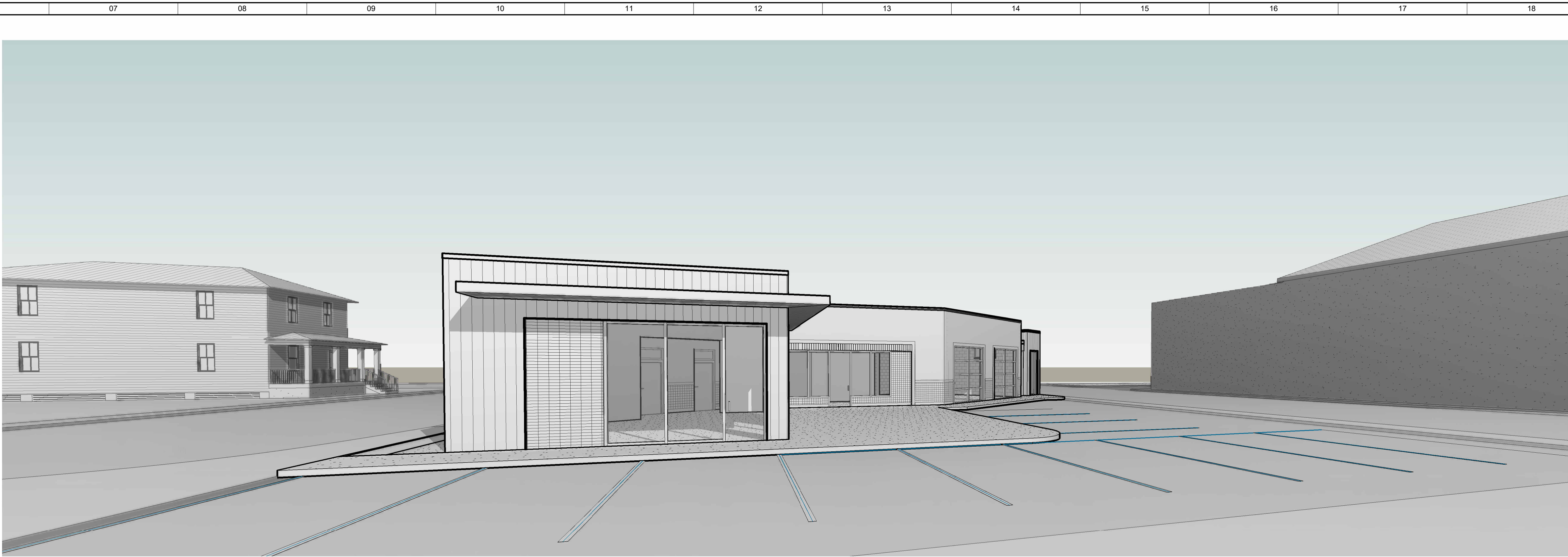
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A-350



FACADE AND ADDITION CONNECTION



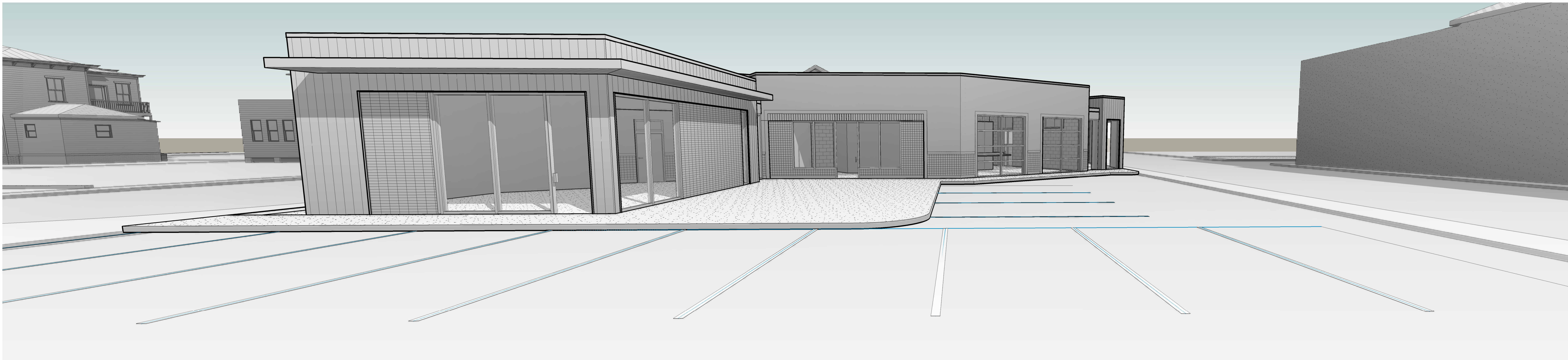
BULL ST LOOKING NORTH WEST



FACADE AND ADDITION CONNECTION



BULL ST LOOKING SOUTH WEST



BULL ST LOOKING WEST

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3D VIEWS WITH ADDITION

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25T/35T/50T

Narrow, Medium and Wide Stile, Thermally Broken Entrance Systems

Our thermally broken entrance systems offer an abundance of design options. MegaTherm® 6/6 nylon polyamide glass fiber reinforced bars are inside the doors for improved thermal performance over our standard doors. They fit seamlessly within our storefront suite of products, making them a versatile option for clients interested in LEED® certification. Custom entrances are available with options glazing, midrails, and will accommodate most non-standard hardware.

LEED is a registered trademark of the U.S. Green Building Council

- 2-1/2" Narrow, 3-1/2" Medium & 5" Wide Stiles
- Single and Paired door options
- 2" door leaf thickness
- Thermally broken with our MegaTherm® 6/6 nylon polyamide glass fiber reinforced bars
- 10" bottom rail and varied midrail sizes
- Corners are mechanically joined and welded
- Various glazing options available including: 1", 1-1/4", 1-5/16" and 1-3/8"

* Contact our YKK AP engineering center, as an evaluation is required for glass thicker than 1"

Door Leaf:

Glazing	Glass Setting	Installation
Inside/Outside	Center Set	Single or Pair

Thermal Values:

	25T	35T	50T
U-Factor:	Values as low as 0.43/0.45/0.48 **		
CRF:	Minimum 59 frame and 67 glass		

**Based on NFRC 100. Lower values may be achieved through further simulation.

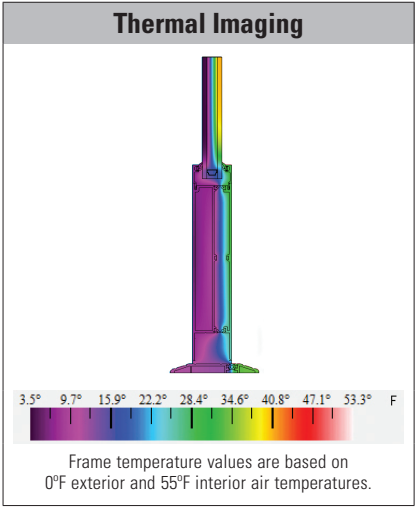


25T/35T/50T SPECS		
System Stiles	2-1/2" - Narrow, 3-1/2" - Medium, and 5" - Wide	
Door Config	Outside Glazed / Center Set	
Tested Glass	1" IGU with Low-E (C.O.G. U-Factor: 0.29)	
Test	Results	Standards
Air Infiltration	Single: 0.50 CFM/FT ² (1.10 m ³ /h·m ²) Pair: 1.00 CFM/FT ² (1.10 m ³ /h·m ²) @ 6.24 PSF (299 Pa)	ASTM E 283
Structural Uniform Load	25T Door Single: 35 PSF Pair: 35 PSF 35T Door Single: 50 PSF Pair: 40 PSF 50T Door Single: 50 PSF Pair: 40 PSF	ASTM E 330
Structural Performance	Standard: Singles: 3' x 7' Pairs: 6' x 7' Offset Pivot, Butt/ Continuous Hinge, MS Lock, Rim and CVR Exit Device	
	Custom: Singles: 4' x 8' Pairs: 8' x 8' Standard and Custom Hardware	

Thermal Performance									
Entrance	U-Factor - BTU/hr·ft ² ·°F						CRF		
25T Narrow Stile	0.53	0.52	0.51	0.50	0.49	0.48	59	67	
35T Medium Stile	0.55	0.54	0.53	0.52	0.51	0.50	59	68	
50T Wide Stile	0.56	0.56	0.55	0.54	0.53	0.52	61	67	
Center of Glass	0.30	0.28	0.26	0.24	0.22	0.20	Frame	Glass	
NFRC 100							AAMA 1503		

Finish Options	
Type	Standard
Factory Anodized	AAMA 612
Organic Paints	AAMA 2604 AAMA 2605

Midrail Sizes
1-1/4", 3", 3-15/16", 4-31/32", 6-1/2", 8" and 10"
Glass Sizes
15/16", 1", 1-1/16", 1-1/8", 1-3/16", 1-1/4", 1-5/16 and 1-3/8"
Contact our YKK AP engineering center, as an evaluation is required for glass thicker than 1"

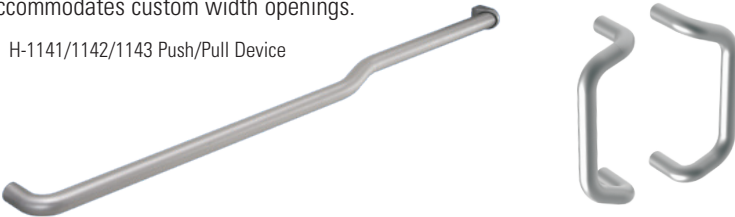


Standard Entrance Hardware

Smart Series Push/Pull Devices

The one inch diameter push/pull provides flexibility and occupant safety. The pull handle is open to permit access to the lock cylinder, but is slightly angled to provide a uniquely modern look. The push bar starts at the locking stile, but then has an ergonomic "S-Bend" toward the locking stile to bring the bar closer to the door where it is captured by an end cap. This innovative push bar also accommodates custom width openings.

H-1141/1142/1143 Push/Pull Device



H-1341/1541/1542 Pull Handles



Exit/Panic Devices

The modern and economical standard touch bar exit devices are ideally suited for all applications that require emergency egress. The devices are ANSI Grade 1, carry the UL label and are approved for Life Safety. Both the rim and concealed devices feature single point dogging and are available with electric actuation.

P-54453 Rim Panic Device



P-52497 CVR Panic Device

You can view all of our standard entrance hardware options by selecting the entrance hardware data sheets on our product guide at www.ykkap.com



Additional information including CAD details, CSI specs, test reports and installation instructions are found on the Product Guide by clicking this link or visiting www.ykkap.com/commercial/productguide



www.ykkap.com



Oakmont Bakery - Oakmont, PA

YES 45 TU

Thermally Broken and Center Set Storefront System

The **YES 45 TU** is a thermally broken, center set storefront system for insulating glass. The system is thermally broken by means of a poured and de-bridged pocket that employs an internal process, ThermaBond Plus®, to greatly improve adhesion and resolves the problem of adhesion and resulting dry shrinkage associated with typical poured and de-bridged systems.

- Outside and Inside Glazing options
- XT filler options to achieve even better thermal performance
- High Performance Sill Flashing
 - ◆ No blind seals
 - ◆ Tall back leg for enhanced water resistance
 - ◆ Patented 3-point attachment of end dam
- Stick built assembly with concealed fasteners by Screw Spline or Shear Block
- Integrates with our YKK AP Entrances and Sun Control Systems

Configuration:

Glazing	Glass Setting	Installation
Outside or Inside	Center Set	Screw Spline or Shear Block

Thermal Values:

U-Factor:	Values as low as 0.32*
CRF:	Minimum 57 frame and 62 glass

*Based on AAMA 507. Lower values may be achieved through further simulation.

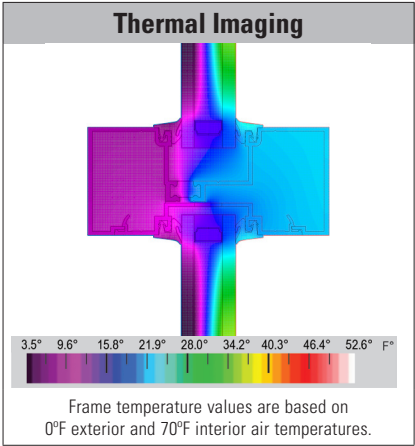


YES 45 TU SPECS		
Base Depth	4-1/2"	
Sightline	2"	
Config	Outside & Inside Glazed / Center Set	
Tested Glass	1" IGU with Low-E (C.O.G. U-Factor: 0.29)	
Test	Results	Standards
Air Infiltration	0.06 CFM/FT ² (1.10 m ³ /h·m ²) @ 6.24 PSF (299 Pa)	ASTM E 283
Water Infiltration	Static: 12 PSF (575 Pa)	ASTM E 331 AAMA 501
Acoustical (1" IGU)	Standard STC: 32 Standard OITC: 26	ASTM E 90 ASTM E 1425
	Laminated STC: 36 Laminated OITC: 30	
Seismic	Tested with 6" Displacement	AAMA 501.4 AAMA 501.6

Thermal Performance								
Mullion Depth (1" IGU)		U-Factor - BTU/hr·ft²·°F					CRF	
2" x 4-1/2"	0.43	0.42	0.40	0.39	0.37	0.35	57	62
2" x 4-1/2" (XT Filler)	0.40	0.38	0.36	0.35	0.33	0.32	Not Tested	
Center of Glass	0.30	0.28	0.26	0.24	0.22	0.20	Frame	Glass
AAMA 507 & NFRC 100							AAMA 1503	

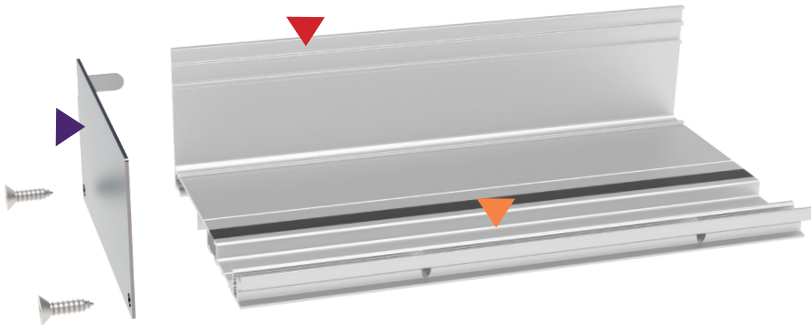
Finish Options	
Type	Standard
Factory Anodized	AAMA 612
Organic Paints	AAMA 2604 AAMA 2605

Various System Options
10" High Sill Covers, XT Fillers, Extended Face Covers, Expansion Mullions, 90° Inside and Outside Corners, 135° Outside Corner



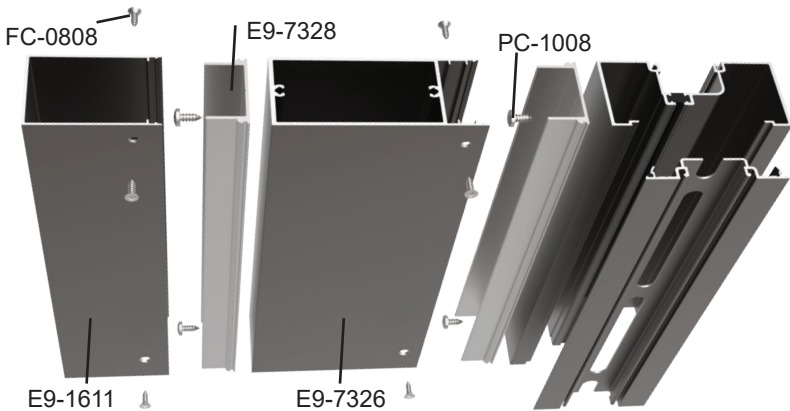
Sill Flashing Design

- 2" back leg on sill flashing – enhanced water resistance in the field and in water testing
- Three point attachment of end dam, with a foldable tab and two screws into flashing splines
- No sill anchoring required if end reaction is less than 500 lbs
- No secondary penetration of sill and flashing when properly sealed



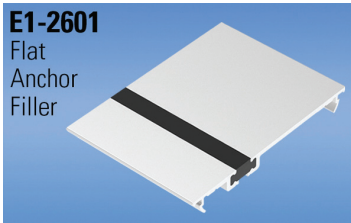
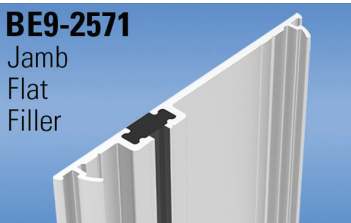
Extended Face Covers

Depending on your project specs, an option to add extended face covers may be available. E9-1611 is a 3" extended cover and E9-7326 is a 5" cover. You can also compound them while using two cover bases to get a combined 8" total cover. Contact your local rep or engineering center for more information.



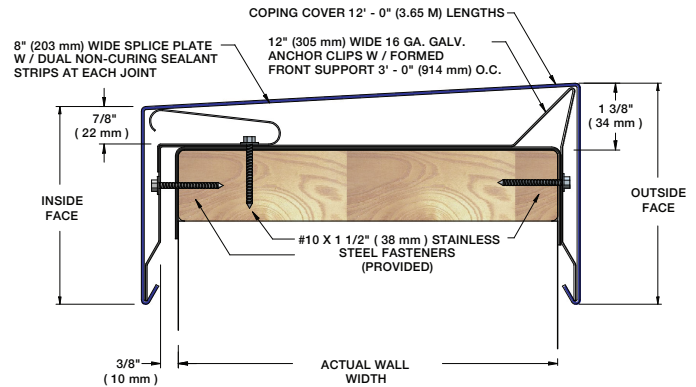
XT Filler Options

Need a push in thermal performance, but no budget for an entire thermal system upgrade to the YES 45 XT? Upgrade the fillers on the verticals, jambs and heads to XT fillers, which have a pour and de-bridged setup can help you reach energy goals.



Additional information including CAD details, CSI specs, test reports and installation instructions are found on the Product Guide by clicking this link or visiting www.ykkap.com/commercial/productguide

PAC-TITE GOLD COPING



PRODUCT FEATURES

- ▶ Elimination of field-crimping for certain products
- ▶ Wide variety of colors and finishes
- ▶ Compliant with most relevant building codes
- ▶ Superior, efficient design for ease of installation
- ▶ Custom fabricated to the specific job requirements to ensure superior fit
- ▶ Extensively tested for reliable, long-term performance
- ▶ Convenient 12' lengths
- ▶ Reusable and recyclable material
- ▶ Custom and radius capabilities available

MATERIALS

- ▶ 24 gauge steel
- ▶ .040 aluminum
- ▶ .050 aluminum
- ▶ .063 aluminum
- ▶ Mill Finish Aluminum (.050 & .063 aluminum)
- ▶ Clear and Colored Anodized (.050 & .063 aluminum)

TESTING

- ▶ ANSI/SPRI/FM 4435/ES-1 Standard to comply with the International Building Code
- ▶ Factory Mutual approved for wind uplift protection

WARRANTY

A Lifetime 215 mph warranty is available. It covers replacement or repair of any portion of the roof edge system that has failed due to a defect in the supplied materials. The warranty covers the roof edge for the lifetime of the roof on which it was originally installed.

Hardie® Artisan Siding with Lock Joint System

SUBMITTAL FORM

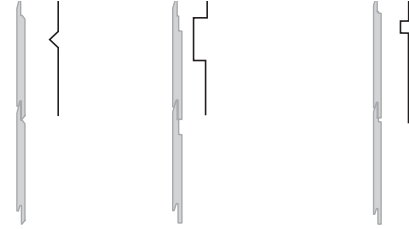
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Submitted to:

Project Name:

Submitted by:

Date:


☐ HZ10® Product Zone

☐ HZ5® Product Zone

 Joint Style: ☐ V- Groove ☐ Square Channel ☐ Shiplap

SPECIFICATION SHEET

05

DIVISION: 07 00 00 THERMAL AND MOISTURE PROTECTION

SECTION: 07 46 46 FIBER CEMENT SIDING

Manufacturer

James Hardie Building Products Inc.

The products are manufactured at the following locations, with quality control inspections by Intertek:

- Reno, Nevada
- Prattville, Alabama

Compliance with the following codes

- 2024, 2021, 2015, 2012, 2009 and 2006 International Building Code® (IBC)
- 2024, 2021, 2015, 2012, 2009 and 2006 International Residential Code® (IRC)

Features

- Noncombustible
- Dimensionally Stable
- Resistant to damage caused by pests
- Weather Resistant-Engineered for Climate®
- Impact resistant

Use

Hardie® Artisan Siding with Lock Joint System is used as exterior wall covering. The product complies with IBC Section 1403.9 and IRC Section R703.10. The product may be used on exterior walls of buildings of Type I, II, III and IV construction (IBC).

Description

Hardie® Artisan Siding with Lock Joint System is a single-faced, cellulose fiber-reinforced cement (fiber-cement) product. Hardie® Artisan Siding complies with ASTM C1186, as Grade II, Type A; has a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E84; and is classified as noncombustible when tested in accordance with ASTM E136.

Available Sizes

Product	Width (inches)	Exposure (inches)	Length (feet)	Thickness (inches)
V-Groove	8-¼	7	12	5/8
Shiplap	10-¼	9	12	5/8
Square Channel	10-¼	9	12	5/8

Panel Texture & Finish

Hardie® Artisan Siding with Lock Joint System comes in a smooth finish.

Finish comes primed for field paint.

Engineered for Climate®

Hardie® Artisan Siding with Lock Joint System is engineered for performance to specific weather conditions by climate zones as identified by the following map.



Performance Properties

General Property		Test Method	Unit or Characteristic	Requirement	Result
PHYSICAL ATTRIBUTES	Dimensional Tolerances	ASTM C1185	Length	± 0.5% or ± 1/4 in	Pass
			Width	± 0.5% or ± 1/4 in	
			Thickness	± 0.05 in	
			Squareness	Δ in diagonals ≤ 1/32 in/ft of sheet length. Opposite sheet sides shall not vary in length by more than 1/32 in/ft	
			Edge Straightness	≤ 1/32 in/ft of length	
	Density, lb/ft³	ASTM C1185		As reported	<75
	Water Tightness	ASTM C1185	Visual Observations	No drop formation	Pass
DURABILITY	Flexural Strength	ASTM C1185	Wet conditioned, psi	>1015 psi	Pass
			Equilibrium conditioned, psi	>1450 psi	
	Warm Water Resistance, Observations	ASTM C1185	Visual Observations	No visible cracks or structural alteration	Pass
	Heat/Rain Resistance	ASTM C1185	Visual Observations	No visible cracks or structural alteration	Pass
	Freeze/Thaw Resistance	ASTM C1185	Visual Observations	No visible cracks or structural alteration	Pass
			Freeze/Thaw, % strength retention	≥ 80%	
	UV Accelerated Weathering Test	ASTM G23	Visual Observations	No cracking, checking, or crazing	Pass
FIRE CHARACTERISTICS	Surface Burning Characteristics	ASTM E84	Flame Spread Index (FSI)		0
			Smoke Developed Index (SDI)		≤ 5
			Fuel Contributed		0
			NFPA Class		A
			Uniform Building Code Class	As reported	1
			International Building Code® class		A
	Non-combustibility	ASTM E136	Non-combustible	Pass/fail	Pass
	Fire Resistance Rated Construction	ASTM E119	Fire Resistance Rating	1-hour	Note 1

Installation

Install Hardie® Artisan Siding with Lock Joint System in accordance with:

- Hardie® Artisan Siding with Lock Joint System Installation Instructions
- Hardie® Artisan Siding with Lock Joint System Technical Data Sheet
- Requirements of authorities having jurisdiction

Warranty

Hardie® Artisan Siding with Lock Joint System: 30-year, Non-Prorated, Limited Warranty

Sustainable Design Contribution

- Regionally sourced content- varies by project location
- Avoidance of certain chemicals or Red List Materials Compliant

Detailed product information for LEED projects, or other state or regional sustainability programs is available through James Hardie Technical Services.

Storage and Handling

Store flat and keep dry and covered prior to installation.

Technical Services

Contact James Hardie Technical Services online at JamesHardie.com, or by phone at (800) 426-4051

IMPORTANT: Failure to install and finish this product in accordance with applicable building codes and James Hardie written application instructions may affect system performance, violate local building codes, void the product-only warranty and lead to personal injury. **DESIGN ADVICE:** Any information or assistance provided by James Hardie in relation to specific projects must be approved by the relevant specialists engaged for the project eg. builder, architect or engineer. James Hardie will not be responsible in connection with any such information or assistance.