



CITY OF SAVANNAH

HISTORIC PRESERVATION COMMISSION

REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Petitioner: Ethos Preservation, Kim Campbell

MPC File No.: 26-002121-COA (Amendment)

Address: 415 East 35th Street

PIN: 20064 23004

Zoning: TN-2

Staff Reviewer: Jodie Brown, AICP

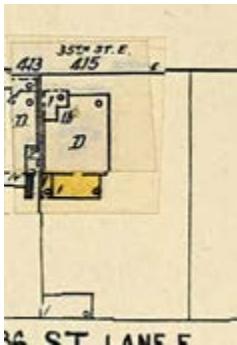
Date: July 22, 2026

NATURE OF REQUEST:

The applicant is requesting an amendment to the previously approved project heard at the June 2026 meeting. This amendment will address the north (front) façade and the construction of a rear deck and a fence.

CONTEXT/SURROUNDING AREA:

Constructed circa 1930, the subject property is located mid-block between Price and Habersham Streets in the Barry Ward. The house is on a slightly sloping lot to the rear. The house features a gable roof sheathed with wood lap siding. The upper story has symmetrically placed double hung 6/1 windows. The first floor is accessed via concrete stairs that are parallel to the front of the house. The railing for the stairs and the balcony/porch is a simple metal picket. The balcony/porch is supported by three metal poles that run from the ground below to the shed roof. The shed roof covers the main entrance and one window. The lower floor is 2/3 visible and has a single entrance at the front façade. The lower floor has intermittently space painted brick piers infilled with wood lap siding.



The subject building is listed as a non-contributing resource within the Thomas Square-Streetcar National Register Historic District and the local Streetcar Historic District.

FINDINGS:

The following standards from §7.11 - Streetcar Historic District Ordinance apply:

Secretary of the Interior's Standards and Guidelines for Rehabilitation. Material changes to contributing resources and resources that are eligible for listing as contributing shall be

evaluated by use of the current edition of the Secretary of the Interior's Standards and Guidelines for Rehabilitation as published by the U.S. Department of the Interior. In considering proposals for alterations to contributing resources, the documented original design of the resource may be considered.

Secretary of the Interior's Standards 2– Historic Character. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The property is listed as a non-contributor the district. The proposed work is visually consistent with the surrounding contributing properties and will not negatively impact the historic district overall. The proposed work is consistent with Standard 2.

Visual Compatibility Criteria. *To maintain the special character of the Streetcar Historic District as identified in the architectural survey and visual analysis, new construction and any material change in appearance shall be consistent with the standards, criteria and guidelines developed for the district. The applicable criteria below shall be used to assess new construction and material changes. These criteria shall not be the basis for appeal to any board, commission or administrator described in this Ordinance, or to the Mayor and Aldermen.*

Materials. *The relationship of materials and textures of the proposed building or structure shall be visually compatible with the contributing buildings and structures to which it is visually related.*

The proposed project will include the following materials:

- Windows-Jeld-wen Sitrine Series Wood Clad windows
- Front Doors-Jeld-wen Authentic Wood Exterior Door, 6206 Glass Panel and door panels, painted
- Rear Doors-Jeld-wen Sitrine Series Wood Clad French doors with 10-lites
- Fence-6' Wood dog eared
- Columns-Painted wood Tuscan-style
- Balusters-simple painted square wood balusters

The proposed materials are consistent with this criterion.

Streetcar Historic District Design Standards.

New Construction, Additions, and Alterations. The intent of these standards is to ensure appropriate new construction, additions, and alterations within the Streetcar Historic District. They are not intended to promote copies of the architectural designs of the past, but to encourage contemporary designs that protect and complement existing contributing resources. They are further intended to protect the historic integrity of the contributing resource.

The following design standards shall apply to new construction, additions, alterations to contributing and non-contributing resources, and site alterations, unless otherwise specified. Though certain building materials are prescribed below, the Historic Preservation Commission may approve alternative materials that are not listed as prohibited upon a showing by the applicant that the material or product is visually compatible with historic building materials and has performed satisfactorily in the local climate.

Windows, New construction, alterations to non-contributing resources, and additions.

Materials, Windows, New construction, alterations to non-contributing resources, and additions.

Window casings and sashes shall be made of PVC, metal, wood or clad wood material.

The proposed windows will be aluminum clad. The proposed work is consistent with the historic district design standards.

Window glass shall be transparent with no dark tints or reflective effects (except for stained glass windows). This provision does not preclude the use of Low Emissivity or laminated glass.

The proposed work is consistent with the historic district design standards.

Solid vinyl windows are prohibited.

The applicant is not proposing any prohibited materials. The proposed work is consistent with the historic district design standards.

Configuration, Windows, New construction, alterations to non-contributing resources, and additions.

Windows shall be taller than they are wide, except for accent windows, which may be round or other shapes.

The proposed work is consistent with the historic district design standards.

Windows shall be single-hung, double-hung, triple hung, awning, or casement, except for accent windows which may also be fixed or hopper.

The proposed work is consistent with the historic district design standards.

Simulated divided light windows shall be permitted provided that the muntin is 7/8 inches or less, the muntin profile shall simulate traditional putty glazing, the lower sash rail shall be wider than the meeting and top rails, and there shall be a spacer bar in between double panes of glass. Between-the-glass, snap-in or applied muntins shall not be permitted.

The proposed window series and manufacturer has been previously approved. The proposed work is consistent with the historic district design standards.

Framing members shall be covered with appropriate trim; trim shall feature a header, surrounds, and pronounced sill where appropriate.

The proposed work is consistent with the historic district design standards.

Window sashes shall be inset a minimum of three (3) inches from the façade of a building, except for wood frame buildings.

The existing construction is a wood frame building and this section is not applicable.

Doors/Entrances, New construction, alterations to non-contributing resources and additions.

Doors/Entrances, Materials, New construction, alterations to non-contributing resources and additions.

Doors shall be made of glass, wood, clad wood or steel (without wood grain simulation).

The proposed doors are wood at the front façade and wood clad at the rear. The proposed work is consistent with the historic district design standards.

Doors shall not have a decorative diamond inset or half-moon inset.

The proposed doors do not have a decorative diamond inset. The proposed work is consistent with the historic district design standards.

Doors/Entrances, Configuration, New construction, alterations to non-contributing resources and additions.

Entrances shall face the primary street on which the building is located (normally the street from which it takes its address).

The proposed work is consistent with the historic district design standards.

There shall be a primary entrance along the primary street at intervals no greater than 60 feet.

The proposed work is consistent with the historic district design standards.

Porches, Stoops, Balconies and Decks, New construction, alterations to non-contributing resources and additions. *Front porches or covered or uncovered stoops shall be required on all entrances for new ground floor residential construction.*

The proposed work is consistent with the historic district design standards.

Materials, Porches, Stoops, Balconies and Decks, New construction, alterations to non-contributing resources and additions.

On porches and stoops, piers and base walls shall be of the same material as the foundation wall facing the street.

The building is existing and there is no raised stoop at the ground floor entrance. This section is not applicable.

Porch elements shall be constructed of brick, painted or stained wood, wood composite, precast stone, marble, sandstone, or slate.

The proposed 1st floor entrance will be reconstructed with wood. The proposed work is consistent with the historic district design standards.

Prohibited material: Vinyl.

The applicant will not be using any vinyl material. The proposed work is consistent with the historic district design standards.

Configuration, Porches, Stoops, Balconies and Decks, New construction, alterations to non-contributing resources and additions.

On single-family detached, single-family attached and two-family attached dwellings, a front porch a minimum of six (6) feet in depth shall be required over a minimum of 50% of the front façade.

The house is existing and while the front porch is being reconstructed, the space for the porch is limited due to its proximity to the property line. The depth of the porch will be 5'1". The length of the porch would be 12'2" which appears to be shy of the 50% required. The overall width of the house has not been provided. If the porch is not 50% of the width, the porch should be redesigned to meet this requirement.

Wood portico posts shall have cap and base molding.

The proposed work is consistent with the historic district design standards.

Balusters shall be placed between upper and lower rails, and the distances between balusters shall not exceed four (4) inches on center. The height of the railing shall not exceed 36 inches for single- and two-family dwelling units.

The proposed work is consistent with the historic district design standards.

Front porches shall not be enclosed.

The proposed work is consistent with the historic district design standards.

Uncovered decks shall be at the rear of the building or screened from view from the public right-of-way.

The proposed work is consistent with the historic district design standards.

Fencing and Walls. *The intent of these standards is to ensure that walls and fences define outdoor spaces appropriately, separate private and public realms and add architectural interest to a building's façade. In addition to compliance with the requirements set forth in Sec. 9.6, Fences and Walls, fences and walls shall also comply with the following standards:*

Fencing and Walls, Permitted Materials. *Wood, iron, brick, true stucco over concrete block, smooth fiber cement, and extruded aluminum.*

The applicant is proposing to install a 6' wood fence along the rear that will connect with the neighboring brick wall on the west and with the existing chain link fence on the east. The proposed work is consistent with the historic district design standards.

Chain link may be permitted in the rear yard but not along any street. Plastic or metal slats use in chain link shall not be permitted.

The applicant will not be using any chain link fencing. The proposed work is consistent with the historic district design standards.

Fencing and Walls, Prohibited Materials. *Vinyl, PVC, and corrugated metal.*

The applicant is not using any prohibited materials.

Fencing and Walls, Configuration.

Fences or walls no more than eight (8) feet in height may be installed within the side or rear yards behind the front façade of the building.

The fence will be limited to 6'. The proposed work is consistent with the historic district design standards.

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A minimum of five (5) feet must be provided between a fence and a building where they are parallel.

The fence will be 5'10" from the previously approved garage. The proposed work is consistent with the historic district design standards.

STAFF RECOMMENDATION:

APPROVE the request to rehabilitate the existing building, reconstruct the first-floor front porch, construct a rear yard fence and a deck for the property at 415 East 35th Street **WITH THE FOLLOWING CONDITION** to be reviewed and approved by staff prior to starting the project, because the work is otherwise visually compatible and meets the Standards.

1. Enlarge the front porch at the 1st floor to be 50% of the width of the house.

MW: CC: JB

Note: This recommendation could change subject to new information provided at the Historic Preservation Commission meetings. Final decisions will be made by the Historic Preservation Commission at the public hearing based on information provided at the meeting, as well as information submitted for the staff recommendation.