

PROJECT DESCRIPTION:

THIS PROJECT (21-004004-COA) WAS ORIGINALLY REVIEWED AND APPROVED BY THE MPC IN 2021. BECAUSE OF FINANCIAL CONSTRAINTS THE OWNER HAS BEEN UNABLE TO FULLY IMPLEMENT THE PROJECT, ALTHOUGH SOME WORK WAS DONE TO THE EXISTING ADU. THE OWNER WISHES TO FINISH THE PROJECT AND IS SEEKING TO RENEW THEIR COA. RECENT PHOTOS OF THE ADU, SHOWING SOME RENOVATION WORK, ARE ATTACHED. THERE IS NO CHANGE TO THE MAIN HOUSE. BELOW IS THE ORIGINAL PROJECT DESCRIPTION FOR THE PROJECT.

THIS SUBMITTAL SEEKS THE APPROVAL FOR THE RENOVATION OF 629 WEST 37TH STREET, AND ITS ACCESSORY DWELLING UNIT, IN SAVANNAH'S CUYLER BROWNVILLE HISTORIC DISTRICT. THE 2-STORY DWELLING WAS CONSTRUCTED CA. 1919. THE DATE OF CONSTRUCTION FOR THE ACCESSORY DWELLING UNIT IS UNKNOWN, ALTHOUGH THERE APPEARS TO HAVE BEEN AN AUTO RELATED STRUCTURE IN ITS LOCATION VERY EARLY TO THE PROPERTY'S DEVELOPMENT. THE HISTORIC 2-STORY BUILDING AND ACCESSORY DWELLING UNIT WILL BE RENOVATED WHILE ADHERING TO THE SECRETARY OF INTERIOR'S STANDARDS IN ORDER TO RECEIVE TAX CREDITS.

INTERIOR

INTERIOR MODIFICATIONS INCLUDE UPDATING THE EXISTING BATHROOMS AND KITCHENS. SEVERAL NEW CLOSETS AND ADDITIONAL BATHROOMS WILL BE ADDED TO EACH FLOOR. EXISTING PLASTER, TRIM, AND DOORS WILL REMAIN AND BE REPAIRED 'IN KIND' WHERE NECESSARY.

EXTERIOR

EXTERIOR MODIFICATIONS ARE LIMITED TO REMOVING THE NON-HISTORIC DECORATIVE METAL COLUMNS, NON-HISTORIC ALUMINUM WINDOWS, AND NON-HISTORIC RAILING PICKETS. NEW WOOD T&G WINDOWS WILL BE INSTALLED IN THE EXISTING OPENINGS. A NEW WOOD PANELED DOOR WILL BE INSTALLED IN THE FRONT ENTRY, WHILE A NEW WOOD/GLASS DOOR WILL BE INSTALLED IN THE REAR ENTRY. THE EXISTING METAL ROOFS WILL BE RETAINED AND REPAIRED 'IN KIND' WHERE NECESSARY. A PARTIALLY CONSTRUCTED REAR PORCH WILL BE PROPERLY FINISHED TO INCLUDE 6" WOOD BOX COLUMNS WITH 2" SQUARE PICKET RAILING AND WOOD T&G DECKING. THERE WILL ALSO BE PAINTING AND REPAIRING OF DAMAGED WOOD SIDING AND TRIM WHERE NECESSARY ON THE EXTERIOR.

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629 WEST 37TH STREET
REHABILITATION

629 West 37th StreetCuyler-Brownville
Historic DistrictPIN#: 2-0073-07-004

HPC SET - JULY 7, 2021

PREVIOUSLY APPROVED



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THIS SUBMITTAL SEEKS THE APPROVAL FOR THE RENOVATION OF 629 WEST 37TH STREET, AND ITS ACCESSORY DWELLING UNIT, IN SAVANNAH'S CUYLER BROWNVILLE HISTORIC DISTRICT. THE 2-STORY DWELLING WAS CONSTRUCTED CA. 1919. THE DATE OF CONSTRUCTION FOR THE ACCESSORY DWELLING UNIT IS UNKNOWN, ALTHOUGH THERE APPEARS TO HAVE BEEN AN AUTO RELATED STRUCTURE IN ITS LOCATION VERY EARLY TO THE PROPERTY'S DEVELOPMENT. THE HISTORIC 2-STORY BUILDING AND ACCESSORY DWELLING UNIT WILL BE RENOVATED WHILE ADHERING TO THE SECRETARY OF INTERIOR'S STANDARDS IN ORDER TO RECEIVE TAX CREDITS.

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architecture
+preservation

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SAVANNAH, GA 31415

JOSHUA WARD, ARCHITECT OF RECORD, IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE AND THAT THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

COVER SHEET

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

G000

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NORTH ELEVATION - MAIN HOUSE



NORTH ELEVATION - MAIN HOUSE



EAST ELEVATION - MAIN HOUSE



EAST ELEVATION - MAIN HOUSE



SOUTH ELEVATION - MAIN HOUSE



SOUTH ELEVATION - MAIN HOUSE



WEST ELEVATION - MAIN HOUSE



NORTH ELEVATION - ACCESSORY DWELLING



WEST ELEVATION - ACCESSORY DWELLING



SOUTH ELEVATION - ACCESSORY DWELLING



EAST ELEVATION - ACCESSORY DWELLING



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EXISTING CONDITIONS

PROJECT NO. 2031.00

DATE 07.07.21

DRAWING NO.

G001



625 AND 627 WEST 37TH STREET



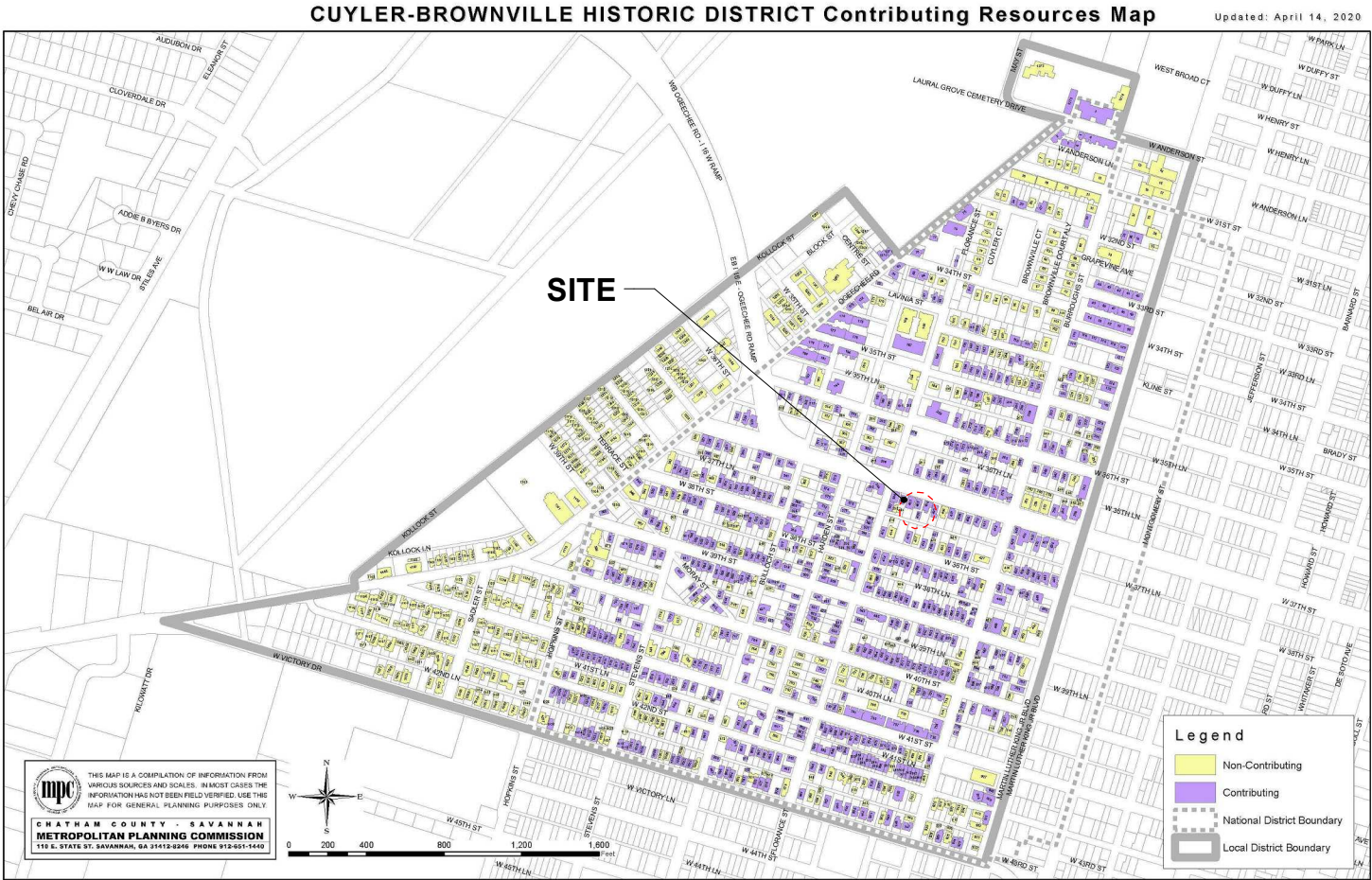
631-635 WEST 37TH STREET



620-624 WEST 37TH STREET



AERIAL



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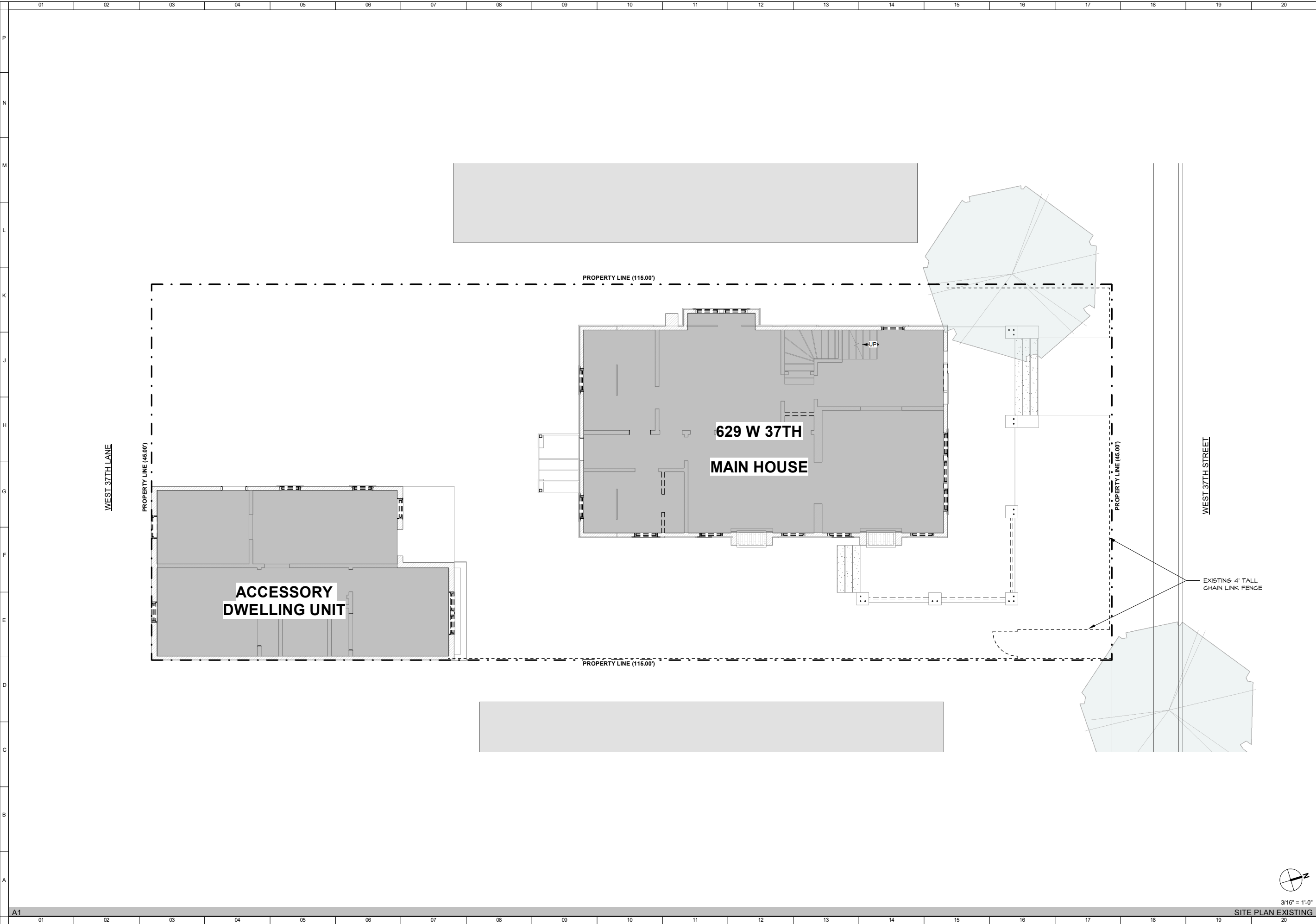
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CONTEXT

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

G002





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EXISTING SITE PLAN

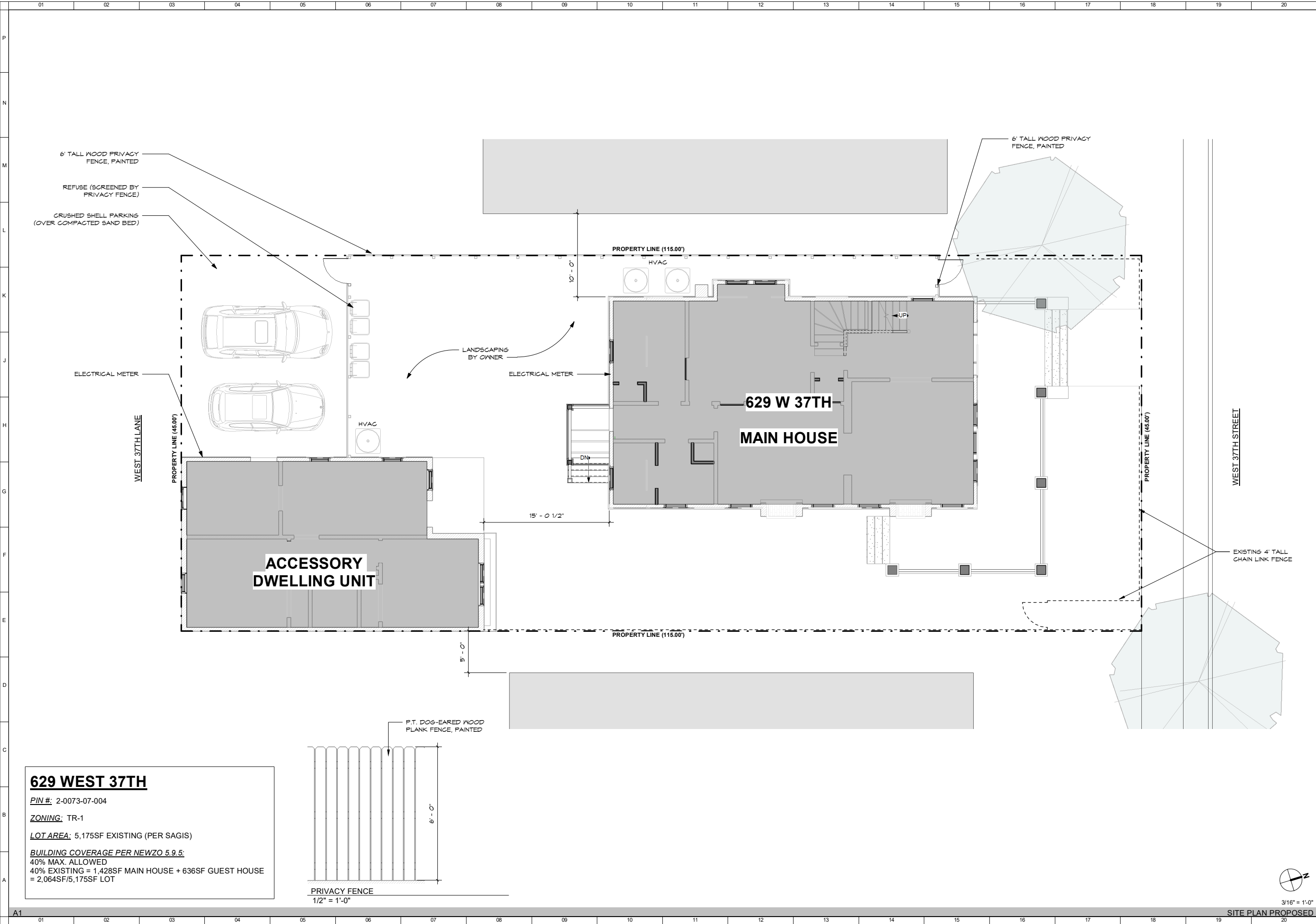
PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

G100

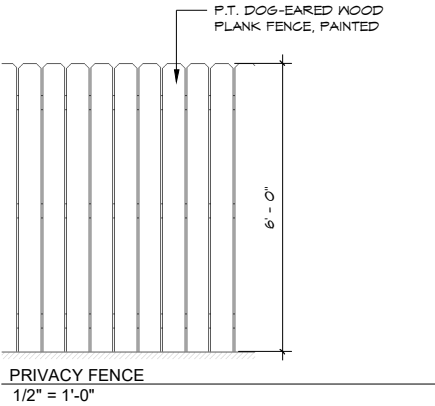


3/16" = 1'-0"

SITE PLAN EXISTING



629 WEST 37TH
PIN #: 2-0073-07-004
ZONING: TR-1
LOT AREA: 5,175SF EXISTING (PER SAGIS)
BUILDING COVERAGE PER NEWZO 5.9.5:
40% MAX. ALLOWED
40% EXISTING = 1,428SF MAIN HOUSE + 636SF GUEST HOUSE
= 2,064SF/5,175SF LOT



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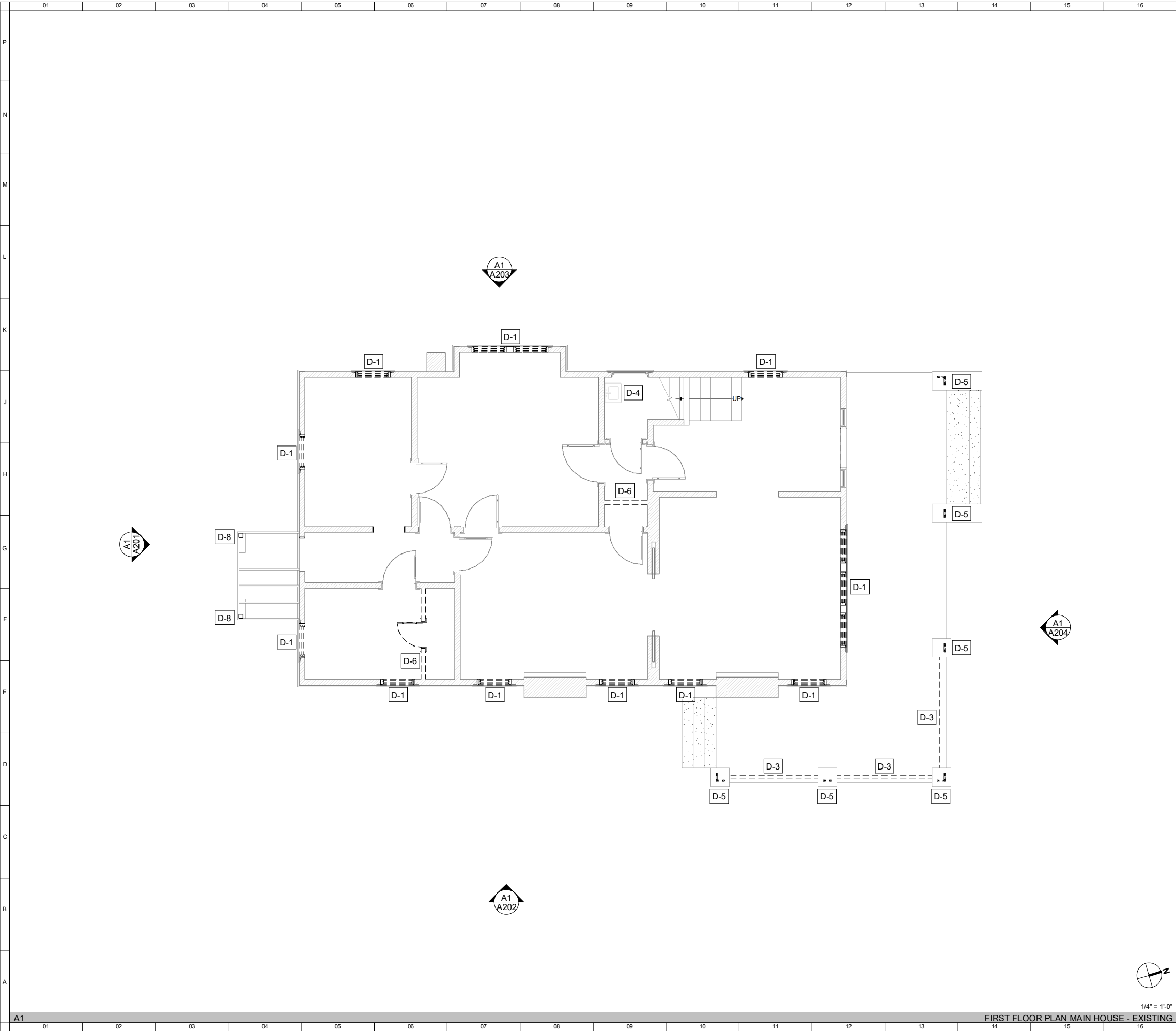
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PROPOSED SITE PLAN

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

G101

SITE PLAN PROPOSED



DEMO LEGEND	
	EXISTING PARTITION
	PARTITION / MATERIAL TO BE REMOVED
	MATERIAL TO BE REMOVED

GENERAL DEMOLITION NOTES

* ALL INFORMATION IN THESE DRAWINGS HAS BEEN PROVIDED BY ON SITE OBSERVATION. THE CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND WILL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS.

* ALL SHORING NECESSARY FOR TEMPORARY SUPPORT OF EXISTING WALLS DURING DEMOLITION SHALL BE PROVIDED AND DESIGNED BY THE CONTRACTOR.

* IT IS UNDERSTOOD THAT THE EXISTING BUILDING MAY CONTAIN ASBESTOS OR HAZARDOUS OR OTHER TOXIC MATERIAL. THE ARCHITECTS SERVICES DO NOT INCLUDE ANY SERVICES RELATED TO ASBESTOS OR HAZARDOUS OR OTHER TOXIC MATERIAL. IN THE EVENT ANY PARTY ENCOUNTERS SUSPECTED ASBESTOS OR HAZARDOUS OR OTHER TOXIC MATERIAL AT THE JOB SITE, OR SHOULD IT BECOME KNOWN IN ANY WAY THAT SUCH MATERIALS MAY BE PRESENT AT THE JOB SITE OR ANY ADJACENT AREAS THAT MAY AFFECT THE PERFORMANCE OF THE WORK, THE OWNER AND THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY IN WRITING. THE ARCHITECT MAY, AT HIS OPTION AND WITHOUT LIABILITY FOR CONSEQUENTIAL OR ANY OTHER DAMAGES, SUSPEND SERVICES UNTIL THE OWNER RETAINS APPROPRIATE SPECIALIST CONSULTANTS OR CONTRACTORS TO IDENTIFY, ABATE AND/OR REMOVE ASBESTOS, HAZARDOUS OR TOXIC MATERIALS, AND WARRANT THE JOB SITE IN FULL COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS.

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DEMOLITION NOTES	
D-1	REMOVE NON-HISTORIC WINDOW
D-2	REMOVE NON-HISTORIC DOOR.
D-3	REMOVE NON-HISTORIC WOOD PICKETS, HISTORIC RAILING TO REMAIN
D-4	HISTORIC PLUMBING FIXTURES TO REMAIN
D-5	REMOVE NON-HISTORIC DECORATIVE METAL COLUMNS
D-6	REMOVE NON-HISTORIC CLOSET WALL
D-7	HISTORIC WALL GRILLE TO REMAIN
D-8	REMOVE NON-HISTORIC COLUMNS, PROVIDE ADEQUATE SHORING BEFORE INSTALLING NEW COLUMNS
D-9	REMOVE PORTION OF WALL FOR NEW OR EXPANDED OPENING
D-10	EXISTING ROOF MATERIAL TO REMAIN



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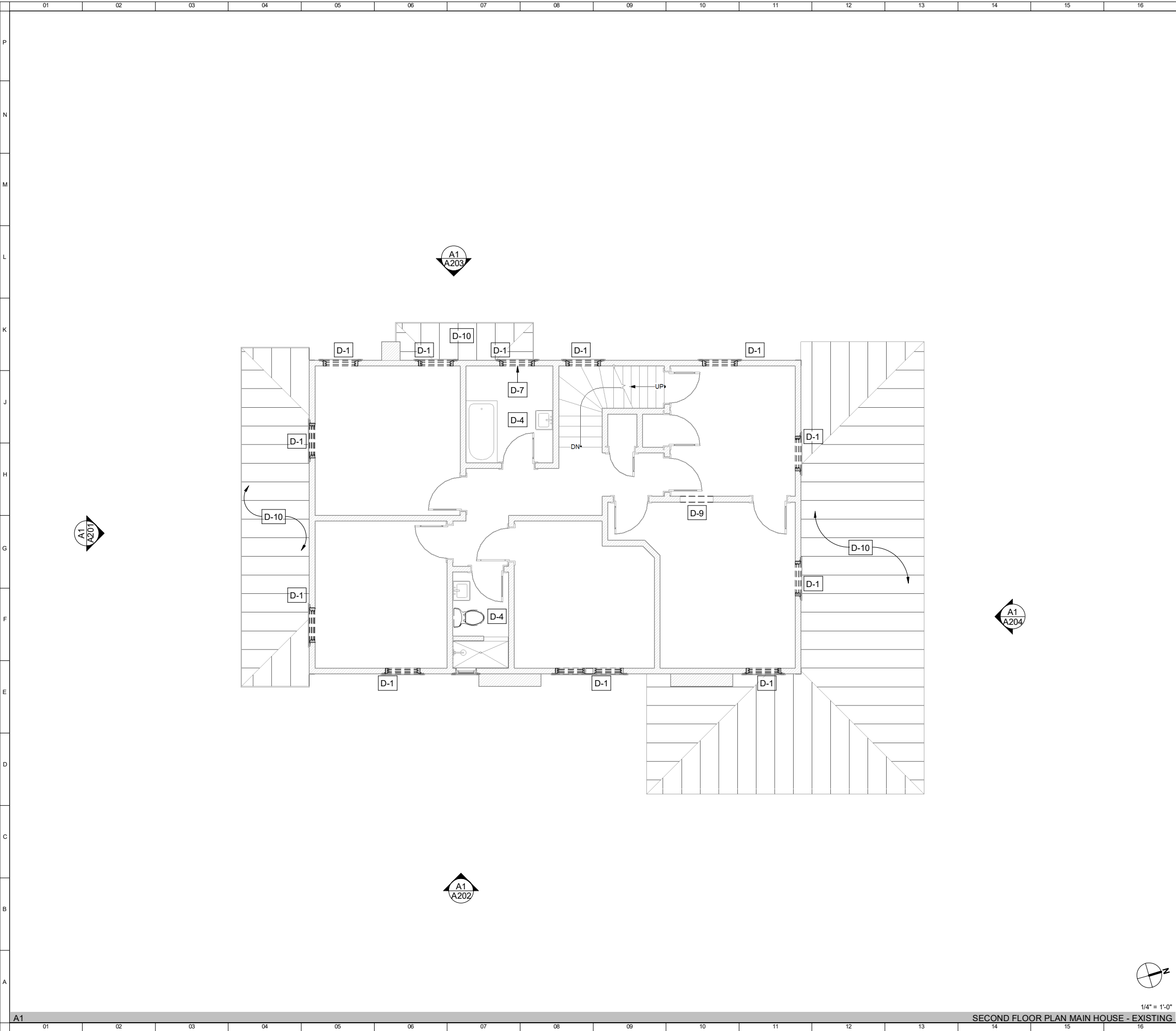
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FIRST FLOOR PLAN - EXISTING

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

D101



DEMO LEGEND	
	EXISTING PARTITION
	PARTITION / MATERIAL TO BE REMOVED
	MATERIAL TO BE REMOVED

GENERAL DEMOLITION NOTES

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D-5	REMOVE NON-HISTORIC DECORATIVE METAL COLUMNS
D-6	REMOVE NON-HISTORIC CLOSET WALL
D-7	HISTORIC WALL GRILLE TO REMAIN
D-8	REMOVE NON-HISTORIC COLUMNS. PROVIDE ADEQUATE SHORING BEFORE INSTALLING NEW COLUMNS
D-9	REMOVE PORTION OF WALL FOR NEW OR EXPANDED OPENING
D-10	EXISTING ROOF MATERIAL TO REMAIN



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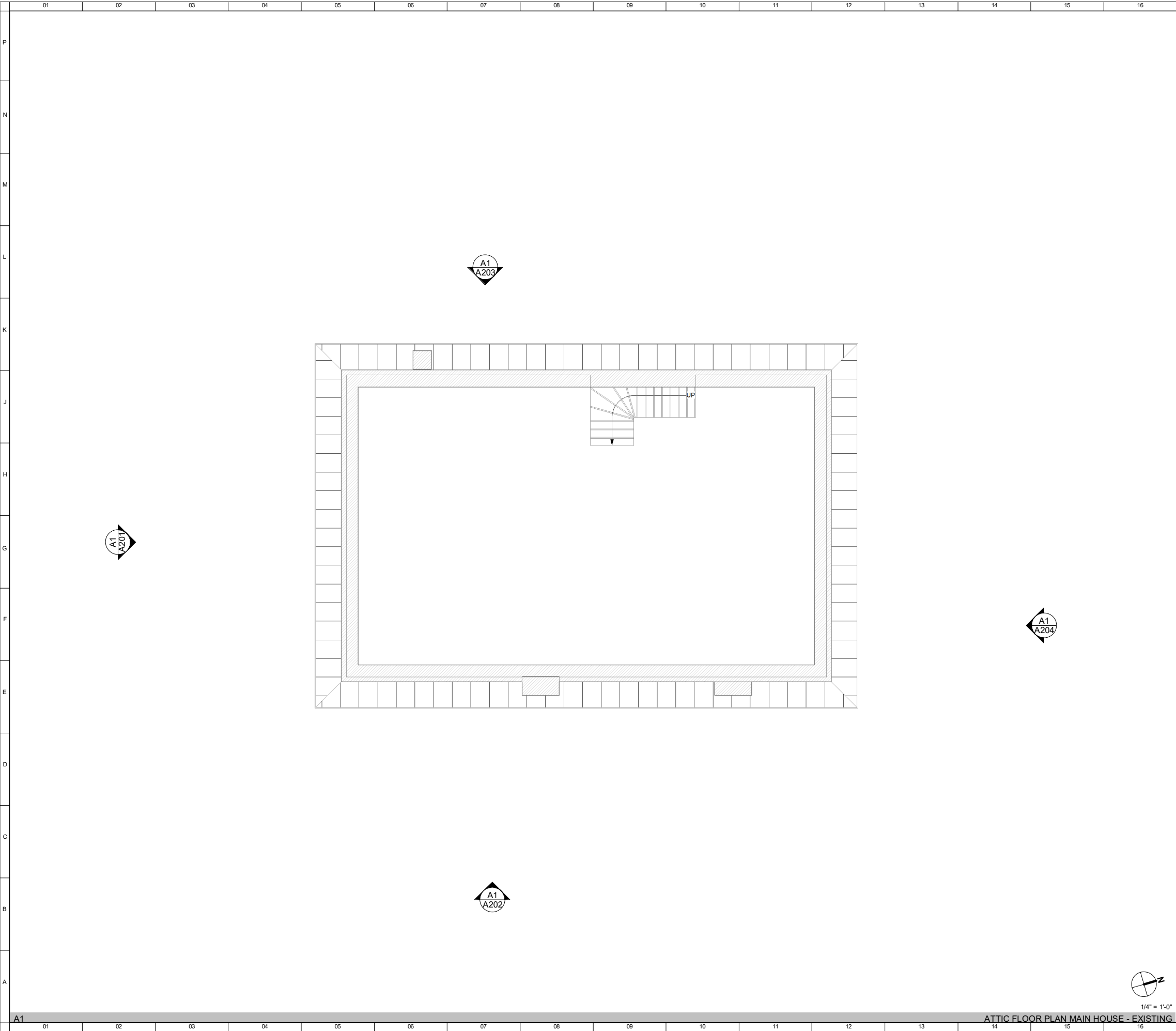
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SECOND FLOOR PLAN - EXISTING

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

D102



DEMO LEGEND

EXISTING PARTITION

PARTITION / MATERIAL TO BE REMOVED

MATERIAL TO BE REMOVED

GENERAL DEMOLITION NOTES

*

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- DEMOLITION NOTES
- D-1

REMOVE NON-HISTORIC WINDOW
- D-2

REMOVE NON-HISTORIC DOOR.
- D-3

REMOVE NON-HISTORIC WOOD PICKETS, HISTORIC RAILING TO REMAIN
- D-4

HISTORIC PLUMBING FIXTURES TO REMAIN
- D-5

REMOVE NON-HISTORIC DECORATIVE METAL COLUMNS
- D-6

REMOVE NON-HISTORIC CLOSET WALL
- D-7

HISTORIC WALL GRILLE TO REMAIN
- D-8

REMOVE NON-HISTORIC COLUMNS. PROVIDE ADEQUATE SHORING BEFORE INSTALLING NEW COLUMNS
- D-9

REMOVE PORTION OF WALL FOR NEW OR EXPANDED OPENING
- D-10

EXISTING ROOF MATERIAL TO REMAIN



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SAVANNAH, GA 31415

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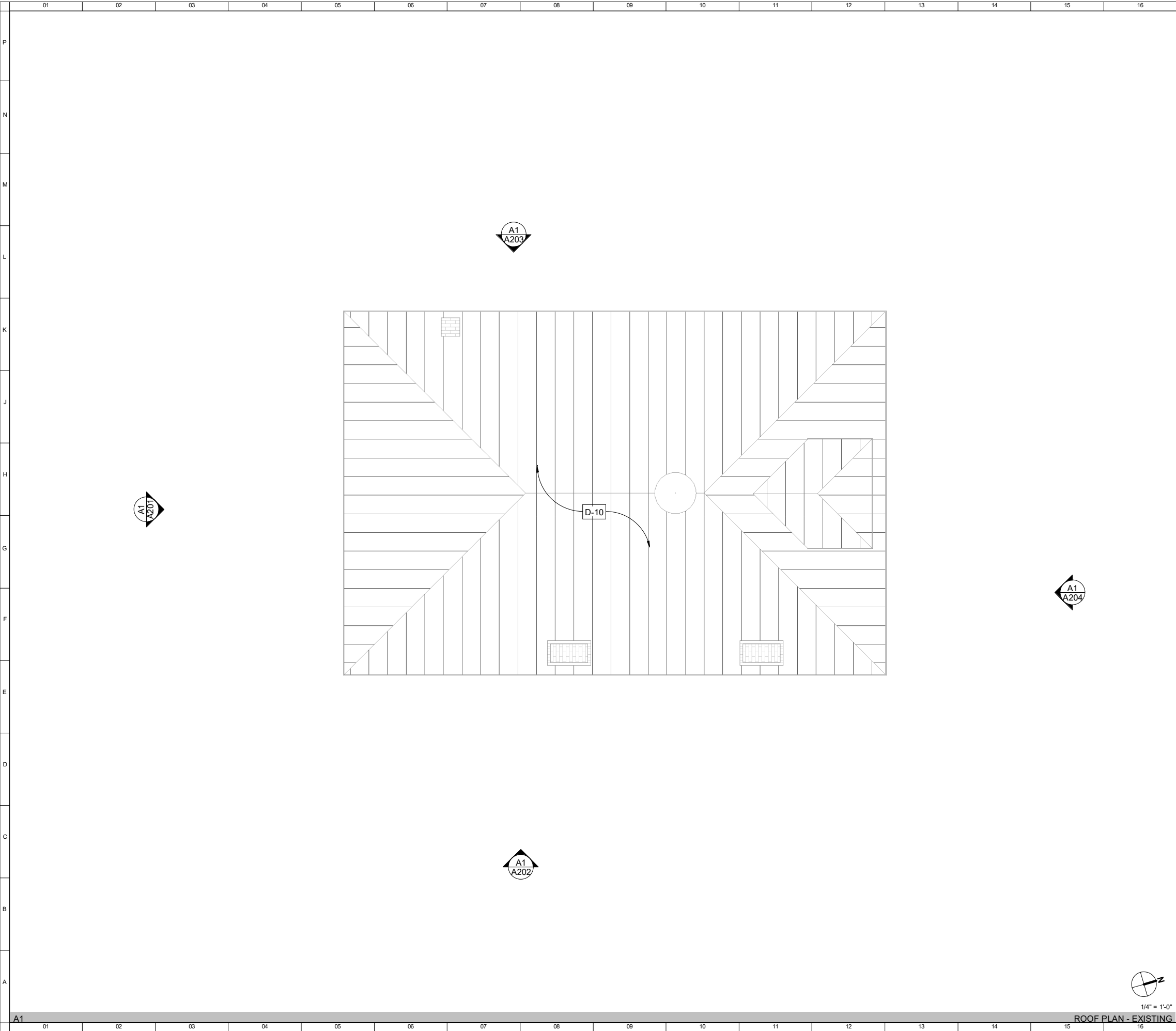
ATTIC FLOOR PLAN - EXISTING

PROJECT NO. 2031.00

DATE 07.07.21

DRAWING NO.

D103



DEMO LEGEND	
	EXISTING PARTITION
	PARTITION / MATERIAL TO BE REMOVED
	MATERIAL TO BE REMOVED

GENERAL DEMOLITION NOTES

- * ALL INFORMATION IN THESE DRAWINGS HAS BEEN PROVIDED BY ON SITE OBSERVATION. THE CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND WILL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS.
- * ALL SHORING NECESSARY FOR TEMPORARY SUPPORT OF EXISTING WALLS DURING DEMOLITION SHALL BE PROVIDED AND DESIGNED BY THE CONTRACTOR.
- * IT IS UNDERSTOOD THAT THE EXISTING BUILDING MAY CONTAIN ASBESTOS OR HAZARDOUS OR OTHER TOXIC MATERIAL. THE ARCHITECTS SERVICES DO NOT INCLUDE ANY SERVICES RELATED TO ASBESTOS OR HAZARDOUS OR OTHER TOXIC MATERIAL. IN THE EVENT ANY PARTY ENCOUNTERS SUSPECTED ASBESTOS OR HAZARDOUS OR OTHER TOXIC MATERIAL AT THE JOB SITE, OR SHOULD IT BECOME KNOWN IN ANY WAY THAT SUCH MATERIALS MAY BE PRESENT AT THE JOB SITE OR ANY ADJACENT AREAS THAT MAY AFFECT THE PERFORMANCE OF THE WORK, THE OWNER AND THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY IN WRITING. THE ARCHITECT MAY, AT HIS OPTION AND WITHOUT LIABILITY FOR CONSEQUENTIAL OR ANY OTHER DAMAGES, SUSPEND SERVICES UNTIL THE OWNER RETAINS APPROPRIATE SPECIALIST CONSULTANTS OR CONTRACTORS TO IDENTIFY, ABATE AND/OR REMOVE ASBESTOS, HAZARDOUS OR TOXIC MATERIALS, AND WARRANT THE JOB SITE IS IN FULL COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS.
- * CONSULT WITH ARCHITECT BEFORE THE DEMOLITION OF ANY HISTORIC FABRIC UNLESS NOTED ON THE DRAWINGS. THIS PERTAINS TO ALL STRUCTURE, HARDWARE, FINISHES, FIXTURES, AND EQUIPMENT.
- * CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ALL EXISTING CONSTRUCTION TO REMAIN THAT IS DAMAGED DURING DEMOLITION.
- * COORDINATE THE PATCHING AND REPAIRING OF ANY EXTERIOR PENETRATIONS WITH NEW CONSTRUCTION.
- * DISCONNECT ANY EXISTING ACTIVE UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. THE CONTRACTOR IS TO COORDINATE TEMPORARY UTILITIES WITH CITY, UTILITY COMPANIES, AND OWNER DURING THE COURSE OF CONSTRUCTION.
- * BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE CITY OF SAVANNAH.
- * ALL INTERIOR DIMENSIONS TO FACE OF STUD/STRUCTURE UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS OTHERWISE NOTED.
- * THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.
- * MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- * THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- * ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAVANNAH.

DEMOLITION NOTES

- | | |
|------|---|
| D-1 | REMOVE NON-HISTORIC WINDOW |
| D-2 | REMOVE NON-HISTORIC DOOR. |
| D-3 | REMOVE NON-HISTORIC WOOD PICKETS, HISTORIC RAILING TO REMAIN |
| D-4 | HISTORIC PLUMBING FIXTURES TO REMAIN |
| D-5 | REMOVE NON-HISTORIC DECORATIVE METAL COLUMNS |
| D-6 | REMOVE NON-HISTORIC CLOSET WALL |
| D-7 | HISTORIC WALL GRILLE TO REMAIN |
| D-8 | REMOVE NON-HISTORIC COLUMNS. PROVIDE ADEQUATE SHORING BEFORE INSTALLING NEW COLUMNS |
| D-9 | REMOVE PORTION OF WALL FOR NEW OR EXPANDED OPENING |
| D-10 | EXISTING ROOF MATERIAL TO REMAIN |



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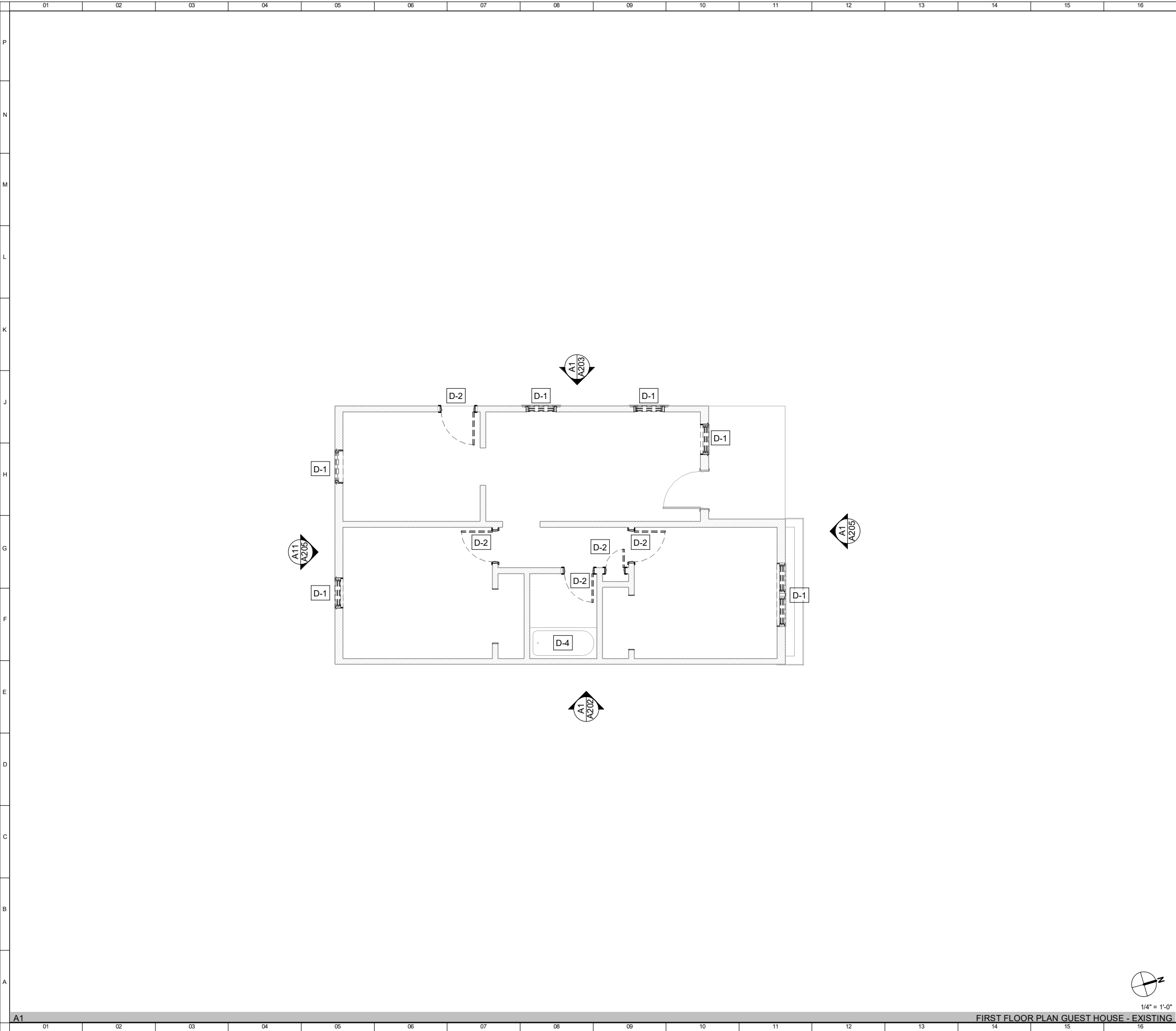
ROOF PLAN - EXISTING

PROJECT NO. 2031.00

DATE 07.07.21

DRAWING NO.

D104



DEMO LEGEND

EXISTING PARTITION

PARTITION / MATERIAL TO BE REMOVED

MATERIAL TO BE REMOVED

GENERAL DEMOLITION NOTES

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* CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ALL EXISTING CONSTRUCTION TO REMAIN THAT IS DAMAGED DURING DEMOLITION.

* COORDINATE THE PATCHING AND REPAIRING OF ANY EXTERIOR PENETRATIONS WITH NEW CONSTRUCTION.

* DISCONNECT ANY EXISTING ACTIVE UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. THE CONTRACTOR IS TO COORDINATE TEMPORARY UTILITIES WITH CITY, UTILITY COMPANIES, AND OWNER DURING THE COURSE OF CONSTRUCTION.

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- DEMOLITION NOTES
- D-1

REMOVE NON-HISTORIC WINDOW
- D-2

REMOVE NON-HISTORIC DOOR.
- D-3

REMOVE NON-HISTORIC WOOD PICKETS, HISTORIC RAILING TO REMAIN
- D-4

HISTORIC PLUMBING FIXTURES TO REMAIN
- D-5

REMOVE NON-HISTORIC DECORATIVE METAL COLUMNS
- D-6

REMOVE NON-HISTORIC CLOSET WALL
- D-7

HISTORIC WALL GRILLE TO REMAIN
- D-8

REMOVE NON-HISTORIC COLUMNS. PROVIDE ADEQUATE SHORING BEFORE INSTALLING NEW COLUMNS
- D-9

REMOVE PORTION OF WALL FOR NEW OR EXPANDED OPENING
- D-10

EXISTING ROOF MATERIAL TO REMAIN

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FIRST FLOOR PLAN
GUEST HOUSE -
EXISTING

PROJECT NO.

2031.00

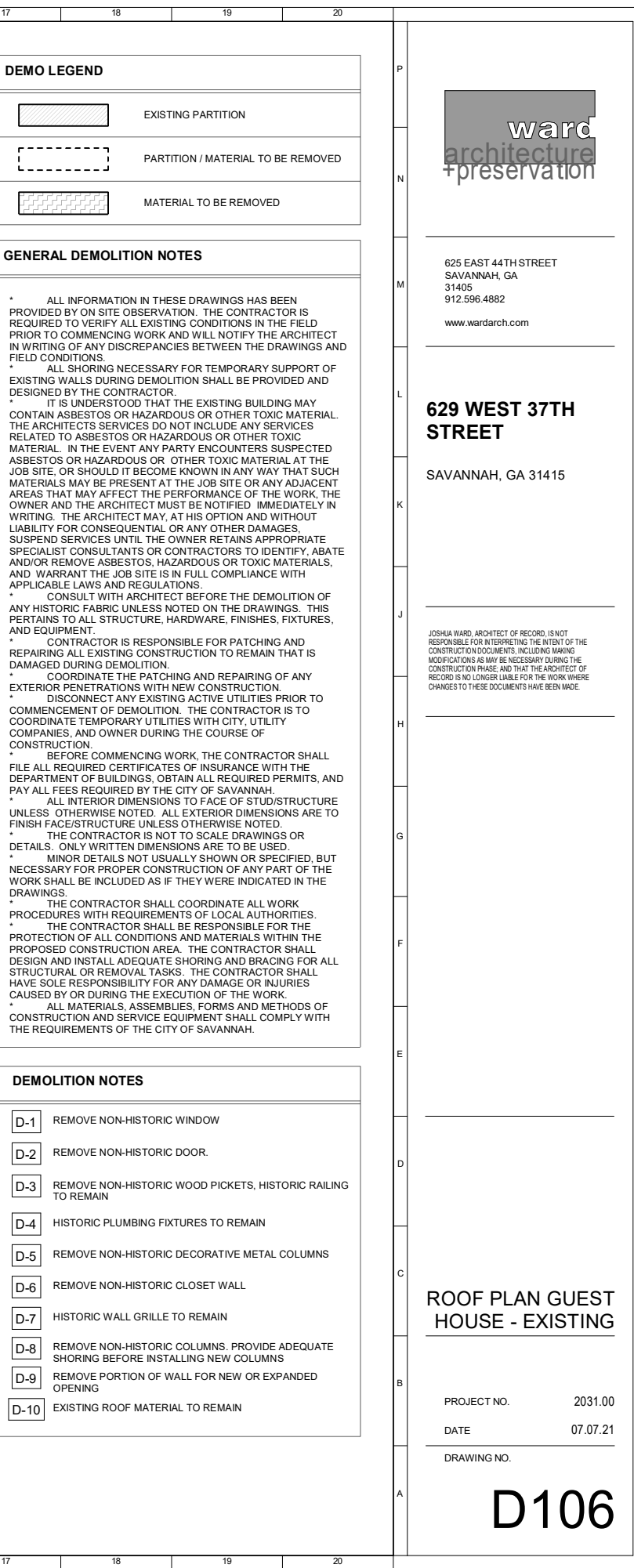
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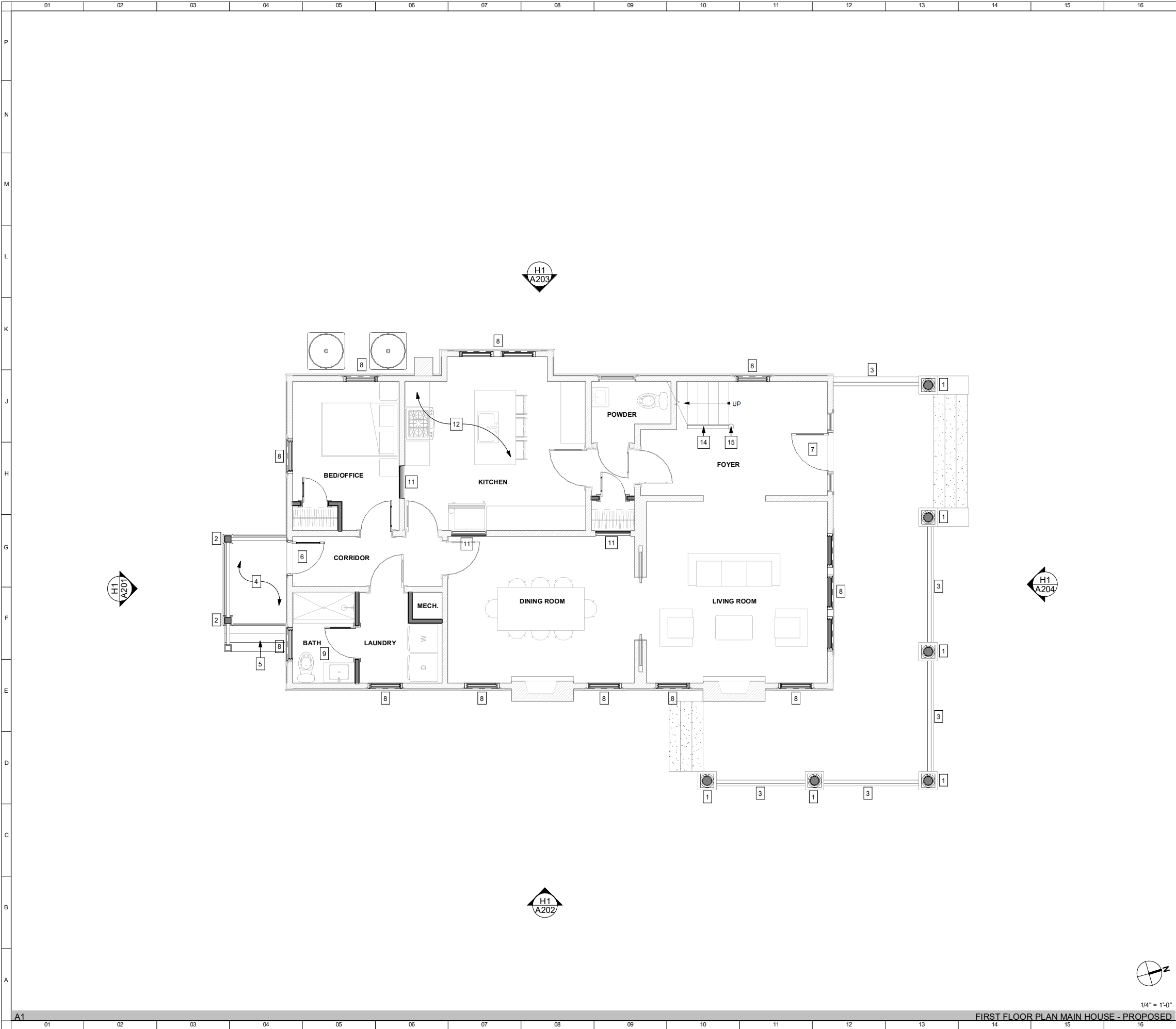
07.07.21

DRAWING NO.

D105

6/23/2021 11:07:41 PM





LEGEND	
	EXISTING PARTITION
	NEW PARTITION
	NEW FLOOR INFILL/PATCH

GENERAL NOTES

- * NO HIGH PRESSURE WASHING OR SAND BLASTING IS TO OCCUR ON ANY HISTORIC MATERIAL WITHOUT CONSULTING WITH ARCHITECT.
- * EXISTING MASONRY TO BE CLEANED AND REPOINTED WHERE NECESSARY.
- * ALL EXTERIOR WOOD, EXISTING OR NEW, TO BE PRIMED AND PAINTED. OWNER TO SELECT PAINT COLORS.
- * ALL PLUMBING FIXTURES, CABINETRY, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.
- * WHERE HISTORIC TRIM IS MISSING, INSTALL NEW WOOD TRIM, BASEBOARD, AND WINDOW/DOOR SURROUNDS TO MATCH EXISTING SIZE AND PROFILE 'IN KIND'. ALL REPLACEMENT TRIM TO MATCH EXISTING IN SIZE AND PROFILE 'IN KIND'. ALL NEW TRIM TO BE DIFFERENTIATED FROM ORIGINAL. SEE TRIM SCHEDULE.
- * ALL EXISTING PLASTER SURFACES TO BE REPAIRED WHERE NECESSARY. REFER TO PRESERVATION BRIEF #21 AND #23 FOR APPROPRIATE TREATMENT.
- * INSTALL NEW FINISH FLOOR AS SELECTED BY OWNER.
- * ALL EXISTING WOOD FLOORS TO BE REFINISHED AND STAINED. STAIN COLOR TO BE SELECTED BY OWNER.
- * ALL EXISTING HISTORIC WINDOWS TO BE SCRAPPED, SANDED, RE-PAINTED, AND RE-GLAZED WHERE NECESSARY. ALL WINDOWS TO BE OPERABLE. REFER TO PRESERVATION BRIEF #9 FOR APPROPRIATE TREATMENT.
- * ALL NEW WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS.
- * ALL INTERIOR REPLACEMENT DOORS TO BE 2-PANEL WOOD TO MATCH EXISTING 'IN KIND'. ALL NEW INTERIOR DOORS W/IN NEW OPENINGS TO BE 2-PANEL WOOD FLAT PANEL SQUARE STICKING TYPE. SEE DOOR SCHEDULE.
- * ALL NEW INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH.
- * ALL FIREPLACES AND CHIMNEYS TO BE INSPECTED AND MADE OPERABLE FOR GAS LOG INSERTS.
- * PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS NOT TIED TO STORM DRAINAGE.

- NOTES**
- 1 8" DIAM. DORIC STYLE COLUMN TO MATCH HISTORIC COLUMN
 - 2 6" SQUARE WOOD BOX COLUMN
 - 3 PORCH HANDRAIL @ 3'-0" MAX. (2" SQUARE PICKETS @ 5" O.C.) WHERE HISTORIC RAILING EXISTS, RETAIN AND INSTALL NEW WOOD PICKETS
 - 4 5/4 WOOD T&G DECKING
 - 5 PAINTED WOOD STAIR AND RAILING (7-3/4" MAX. RISER, 10" MIN. TREAD, 2'-10" HIGH RAILING MIN.)
 - 6 NEW WOOD/GLASS DOOR (7/8" MUNTIN MAX.)
 - 7 NEW WOOD paneled door
 - 8 NEW WOOD TDL 1/1 WINDOW. ALL WINDOWS TO BE OPERABLE
 - 9 INSTALL TILE FLOOR AS SELECTED BY OWNER
 - 10 INSTALL NEW WOOD T&G FLOORING OVER NEW SUB-FLOORING
 - 11 DOOR TO BE LOCKED IN CLOSED POSITION. INSTALL FURRED 1/2" GYP. ON OUTSIDE FACE
 - 12 KITCHEN CABINETRY AND APPLIANCES AS SELECTED BY OWNER
 - 13 EXISTING METAL ROOF TO BE PATCHED/REPAIRED 'IN KIND' WHERE NECESSARY
 - 14 INSTALL WOOD HANDRAIL (VINTAGE WOODWORKS "P3", OR APPROVED EQUAL). 2'-10" HIGH MAX.
 - 15 INSTALL 6" WOOD NEWEL POST (VINTAGE WOODWORKS "FULL DESIGNER" NEWEL POST, OR APPROVED EQUAL)
 - 16 ATTIC TO BE INSULATED AND USED FOR MECHANICAL EQUIPMENT AND DUCTWORK
 - 17 INSTALL NEW FRAMING AND SHEATHING ALONG EAST WALL. INSTALL NEW WOOD LAP SIDING TO MATCH EXISTING 'IN KIND'.



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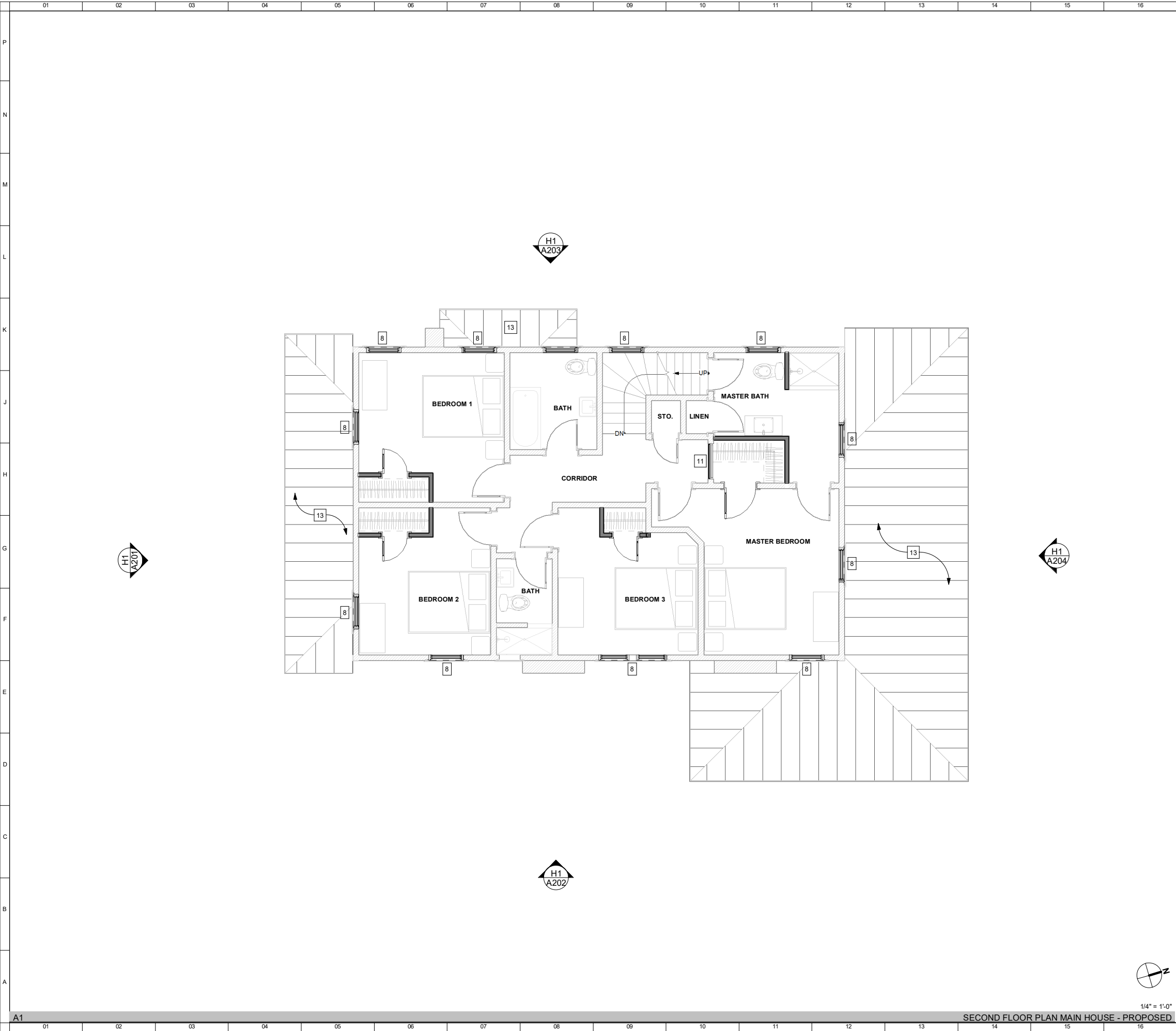
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FIRST FLOOR PLAN

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

A101



LEGEND	
	EXISTING PARTITION
	NEW PARTITION
	NEW FLOOR INFILL/PATCH

GENERAL NOTES

- * NO HIGH PRESSURE WASHING OR SAND BLASTING IS TO OCCUR ON ANY HISTORIC MATERIAL WITHOUT CONSULTING WITH ARCHITECT.
- * EXISTING MASONRY TO BE CLEANED AND REPOINTED WHERE NECESSARY.
- * ALL EXTERIOR WOOD, EXISTING OR NEW, TO BE PRIMED AND PAINTED. OWNER TO SELECT PAINT COLORS.
- * ALL PLUMBING FIXTURES, CABINETRY, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.
- * WHERE HISTORIC TRIM IS MISSING, INSTALL NEW WOOD TRIM, BASEBOARD, AND WINDOW/DOOR SURROUNDS TO MATCH EXISTING SIZE AND PROFILE 'IN KIND'. ALL REPLACEMENT TRIM TO MATCH EXISTING IN SIZE AND PROFILE 'IN KIND'. ALL NEW TRIM TO BE DIFFERENTIATED FROM ORIGINAL. SEE TRIM SCHEDULE.
- * ALL EXISTING PLASTER SURFACES TO BE REPAIRED WHERE NECESSARY. REFER TO PRESERVATION BRIEF #21 AND #23 FOR APPROPRIATE TREATMENT.
- * INSTALL NEW FINISH FLOOR AS SELECTED BY OWNER. ALL EXISTING WOOD FLOORS TO BE REFINISHED AND STAINED. STAIN COLOR TO BE SELECTED BY OWNER.
- * ALL EXISTING HISTORIC WINDOWS TO BE SCRAPPED, SANDED, RE-PAINTED, AND RE-GLAZED WHERE NECESSARY. ALL WINDOWS TO BE OPERABLE. REFER TO PRESERVATION BRIEF #9 FOR APPROPRIATE TREATMENT.
- * ALL NEW WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS.
- * ALL INTERIOR REPLACEMENT DOORS TO BE 2-PANEL WOOD TO MATCH EXISTING 'IN KIND'. ALL NEW INTERIOR DOORS W/IN NEW OPENINGS TO BE 2-PANEL WOOD FLAT PANEL SQUARE STICKING TYPE. SEE DOOR SCHEDULE.
- * ALL NEW INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH.
- * ALL FIREPLACES AND CHIMNEYS TO BE INSPECTED AND MADE OPERABLE FOR GAS LOG INSERTS.
- * PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS NOT TIED TO STORM DRAINAGE.

- NOTES**
- 8" DIAM. DORIC STYLE COLUMN TO MATCH HISTORIC COLUMN
 - 6" SQUARE WOOD BOX COLUMN
 - PORCH HANDRAIL @ 3'-0" MAX. (2" SQUARE PICKETS @ 5" O.C.) WHERE HISTORIC RAILING EXISTS, RETAIN AND INSTALL NEW WOOD PICKETS
 - 5/4 WOOD T&G DECKING
 - PAINTED WOOD STAIR AND RAILING (7-3/4" MAX. RISER, 10" MIN. TREAD, 2'-10" HIGH RAILING MIN.)
 - NEW WOOD/GLASS DOOR (7/8" MUNTIN MAX.)
 - NEW WOOD PANELED DOOR
 - NEW WOOD TDL 1/1 WINDOW. ALL WINDOWS TO BE OPERABLE
 - INSTALL TILE FLOOR AS SELECTED BY OWNER
 - INSTALL NEW WOOD T&G FLOORING OVER NEW SUB-FLOORING
 - DOOR TO BE LOCKED IN CLOSED POSITION. INSTALL FURRED 1/2" GYP. ON OUTSIDE FACE
 - KITCHEN CABINETRY AND APPLIANCES AS SELECTED BY OWNER
 - EXISTING METAL ROOF TO BE PATCHED/REPAIRED 'IN KIND' WHERE NECESSARY
 - INSTALL WOOD HANDRAIL (VINTAGE WOODWORKS "P3", OR APPROVED EQUAL). 2'-10" HIGH MAX.
 - INSTALL 6" WOOD NEWEL POST (VINTAGE WOODWORKS "FULL DESIGNER" NEWEL POST, OR APPROVED EQUAL)
 - ATTIC TO BE INSULATED AND USED FOR MECHANICAL EQUIPMENT AND DUCTWORK
 - INSTALL NEW FRAMING AND SHEATHING ALONG EAST WALL. INSTALL NEW WOOD LAP SIDING TO MATCH EXISTING 'IN KIND'.



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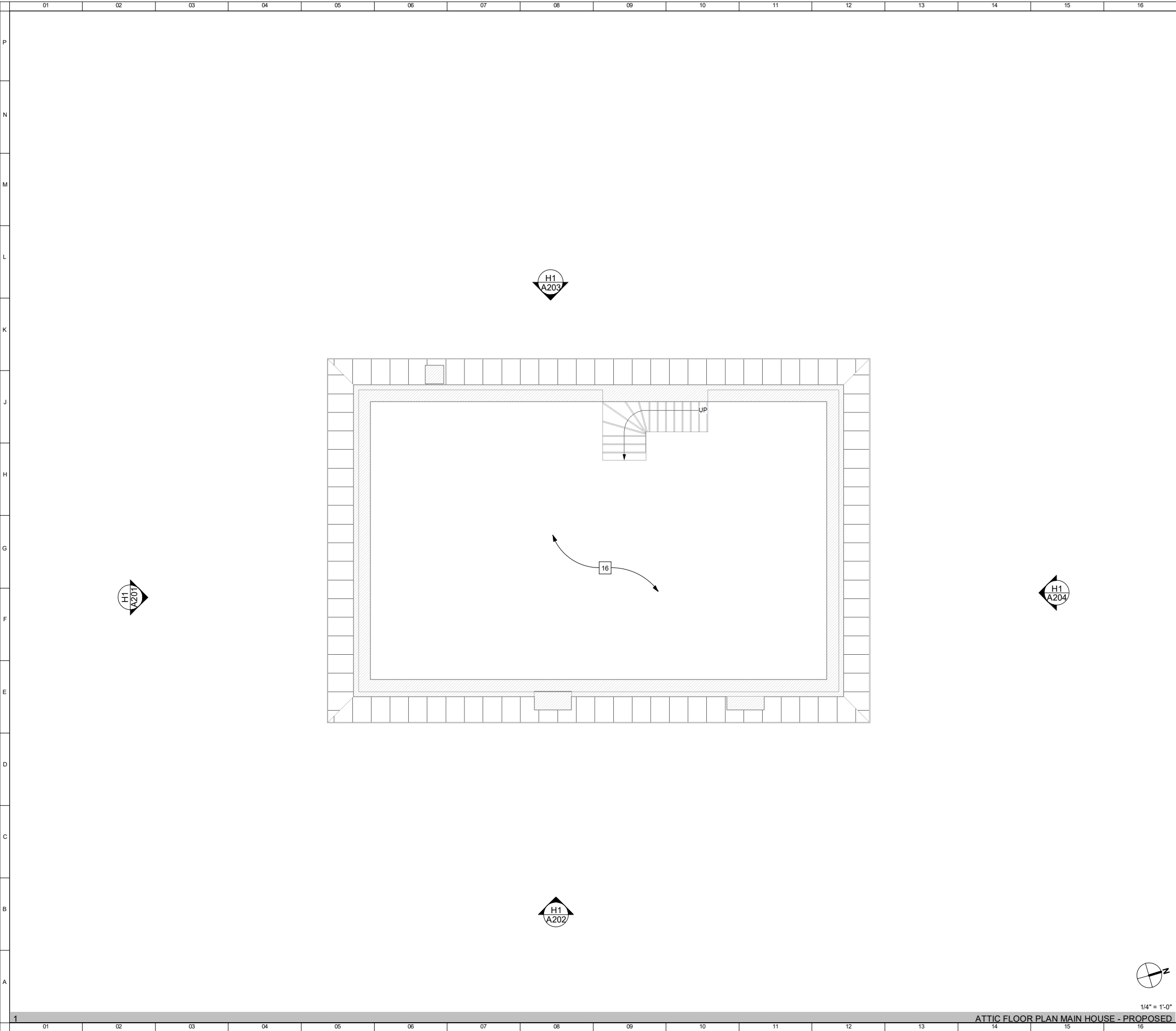
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SECOND FLOOR PLAN

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

A102



LEGEND	
	EXISTING PARTITION
	NEW PARTITION
	NEW FLOOR INFILL/PATCH

GENERAL NOTES

- * NO HIGH PRESSURE WASHING OR SAND BLASTING IS TO OCCUR ON ANY HISTORIC MATERIAL WITHOUT CONSULTING WITH ARCHITECT.
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- * ALL FIREPLACES AND CHIMNEYS TO BE INSPECTED AND MADE OPERABLE FOR GAS LOG INSERTS.
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- NOTES**
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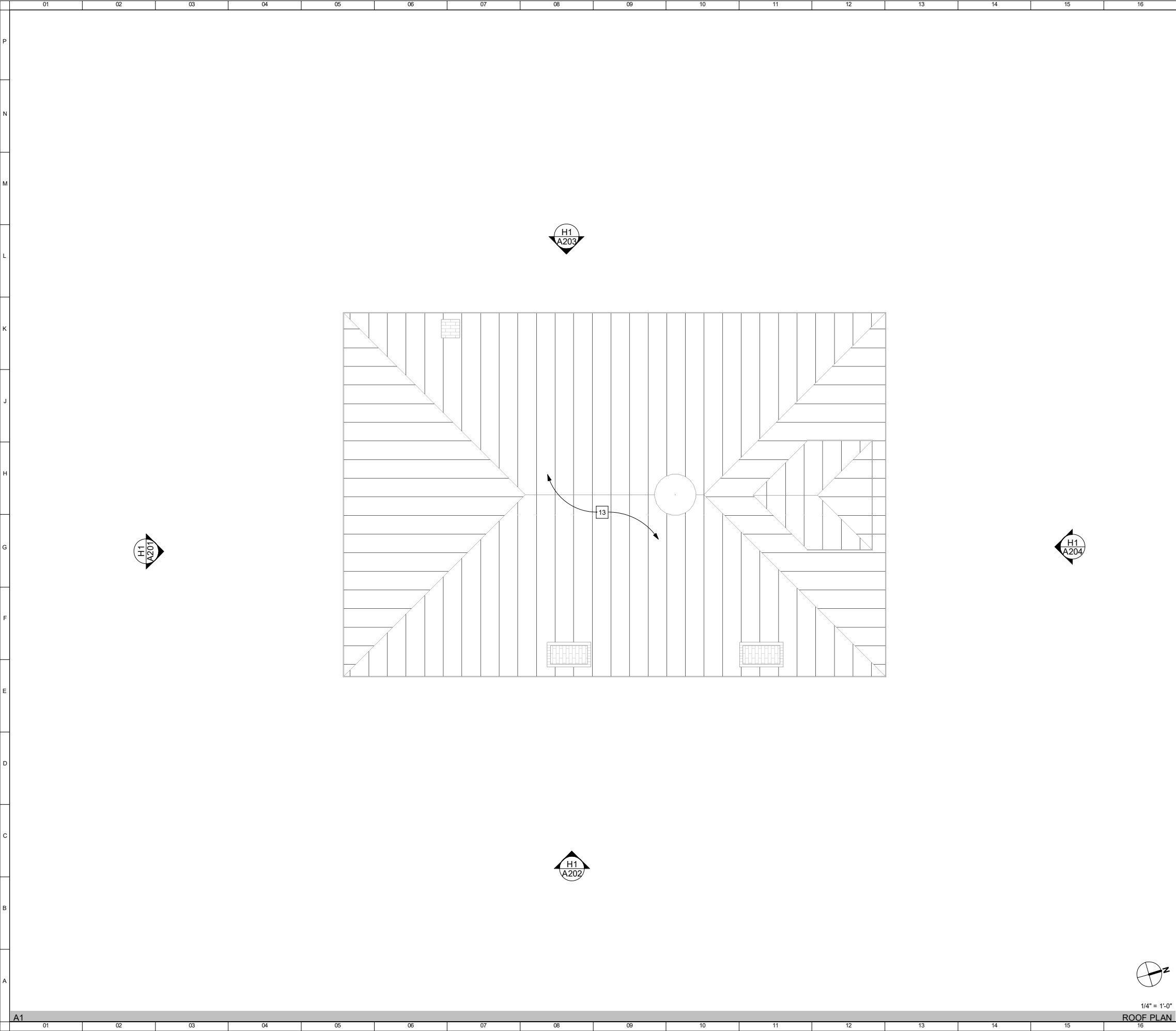
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ATTIC FLOOR PLAN

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

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LEGEND	
	EXISTING PARTITION
	NEW PARTITION
	NEW FLOOR INFILL/PATCH

GENERAL NOTES

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- * ALL EXTERIOR WOOD, EXISTING OR NEW, TO BE PRIMED AND PAINTED. OWNER TO SELECT PAINT COLORS.
- * ALL PLUMBING FIXTURES, CABINETRY, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.
- * WHERE HISTORIC TRIM IS MISSING, INSTALL NEW WOOD TRIM, BASEBOARD, AND WINDOW/DOOR SURROUNDS TO MATCH EXISTING SIZE AND PROFILE 'IN KIND'. ALL REPLACEMENT TRIM TO MATCH EXISTING IN SIZE AND PROFILE 'IN KIND'. ALL NEW TRIM TO BE DIFFERENTIATED FROM ORIGINAL. SEE TRIM SCHEDULE.
- * ALL EXISTING PLASTER SURFACES TO BE REPAIRED WHERE NECESSARY. REFER TO PRESERVATION BRIEF #21 AND #23 FOR APPROPRIATE TREATMENT.
- * INSTALL NEW FINISH FLOOR AS SELECTED BY OWNER.
- * ALL EXISTING WOOD FLOORS TO BE REFINISHED AND STAINED. STAIN COLOR TO BE SELECTED BY OWNER.
- * ALL EXISTING HISTORIC WINDOWS TO BE SCRAPPED, SANDED, RE-PAINTED, AND RE-GLAZED WHERE NECESSARY. ALL WINDOWS TO BE OPERABLE. REFER TO PRESERVATION BRIEF #9 FOR APPROPRIATE TREATMENT.
- * ALL NEW WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS.
- * ALL INTERIOR REPLACEMENT DOORS TO BE 2-PANEL WOOD TO MATCH EXISTING 'IN KIND'. ALL NEW INTERIOR DOORS W/IN NEW OPENINGS TO BE 2-PANEL WOOD FLAT PANEL SQUARE STICKING TYPE. SEE DOOR SCHEDULE.
- * ALL NEW INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH.
- * ALL FIREPLACES AND CHIMNEYS TO BE INSPECTED AND MADE OPERABLE FOR GAS LOG INSERTS.
- * PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS NOT TIED TO STORM DRAINAGE.

- NOTES**
- 1 8" DIAM. DORIC STYLE COLUMN TO MATCH HISTORIC COLUMN
 - 2 6" SQUARE WOOD BOX COLUMN
 - 3 PORCH HANDRAIL @ 3'-0" MAX. (2" SQUARE PICKETS @ 5" O.C.) WHERE HISTORIC RAILING EXISTS, RETAIN AND INSTALL NEW WOOD PICKETS
 - 4 5/4 WOOD T&G DECKING
 - 5 PAINTED WOOD STAIR AND RAILING (7-3/4" MAX. RISER, 10" MIN. TREAD, 2'-10" HIGH RAILING MIN.)
 - 6 NEW WOOD/GLASS DOOR (7/8" MUNTIN MAX.)
 - 7 NEW WOOD paneled DOOR
 - 8 NEW WOOD TDL 1/1 WINDOW. ALL WINDOWS TO BE OPERABLE
 - 9 INSTALL TILE FLOOR AS SELECTED BY OWNER
 - 10 INSTALL NEW WOOD T&G FLOORING OVER NEW SUB-FLOORING
 - 11 DOOR TO BE LOCKED IN CLOSED POSITION. INSTALL FURRED 1/2" GYP. ON OUTSIDE FACE
 - 12 KITCHEN CABINETRY AND APPLIANCES AS SELECTED BY OWNER
 - 13 EXISTING METAL ROOF TO BE PATCHED/REPAIRED 'IN KIND' WHERE NECESSARY
 - 14 INSTALL WOOD HANDRAIL (VINTAGE WOODWORKS "P3", OR APPROVED EQUAL). 2'-10" HIGH MAX.
 - 15 INSTALL 6" WOOD NEWEL POST (VINTAGE WOODWORKS "FULL DESIGNER" NEWEL POST, OR APPROVED EQUAL)
 - 16 ATTIC TO BE INSULATED AND USED FOR MECHANICAL EQUIPMENT AND DUCTWORK
 - 17 INSTALL NEW FRAMING AND SHEATHING ALONG EAST WALL. INSTALL NEW WOOD LAP SIDING TO MATCH EXISTING 'IN KIND'.



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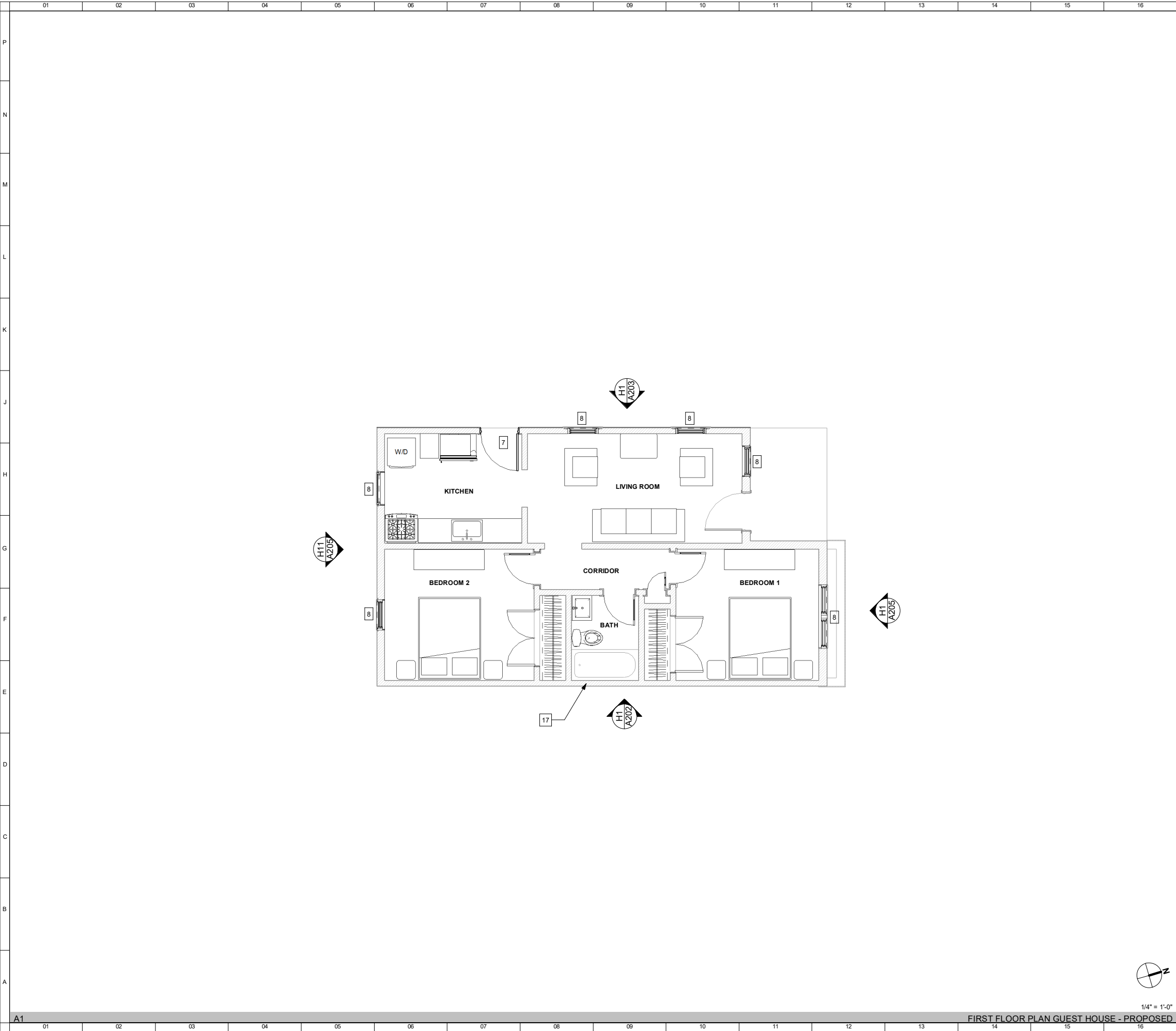
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ROOF PLAN

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

A104



LEGEND	
	EXISTING PARTITION
	NEW PARTITION
	NEW FLOOR INFILL/PATCH

GENERAL NOTES

- * NO HIGH PRESSURE WASHING OR SAND BLASTING IS TO OCCUR ON ANY HISTORIC MATERIAL WITHOUT CONSULTING WITH ARCHITECT.
- * EXISTING MASONRY TO BE CLEANED AND REPOINTED WHERE NECESSARY.
- * ALL EXTERIOR WOOD, EXISTING OR NEW, TO BE PRIMED AND PAINTED. OWNER TO SELECT PAINT COLORS.
- * ALL PLUMBING FIXTURES, CABINERY, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.
- * WHERE HISTORIC TRIM IS MISSING, INSTALL NEW WOOD TRIM, BASEBOARD, AND WINDOW/DOOR SURROUNDS TO MATCH EXISTING SIZE AND PROFILE 'IN KIND'. ALL REPLACEMENT TRIM TO MATCH EXISTING IN SIZE AND PROFILE 'IN KIND'. ALL NEW TRIM TO BE DIFFERENTIATED FROM ORIGINAL. SEE TRIM SCHEDULE.
- * ALL EXISTING PLASTER SURFACES TO BE REPAIRED WHERE NECESSARY. REFER TO PRESERVATION BRIEF #21 AND #23 FOR APPROPRIATE TREATMENT.
- * INSTALL NEW FINISH FLOOR AS SELECTED BY OWNER.
- * ALL EXISTING WOOD FLOORS TO BE REFINISHED AND STAINED. STAIN COLOR TO BE SELECTED BY OWNER.
- * ALL EXISTING HISTORIC WINDOWS TO BE SCRAPED, SANDED, RE-PAINTED, AND RE-GLAZED WHERE NECESSARY. ALL WINDOWS TO BE OPERABLE. REFER TO PRESERVATION BRIEF #9 FOR APPROPRIATE TREATMENT.
- * ALL NEW WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS.
- * ALL INTERIOR REPLACEMENT DOORS TO BE 2-PANEL WOOD TO MATCH EXISTING 'IN KIND'. ALL NEW INTERIOR DOORS W/IN NEW OPENINGS TO BE 2-PANEL WOOD FLAT PANEL SQUARE STICKING TYPE. SEE DOOR SCHEDULE.
- * ALL NEW INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH.
- * ALL FIREPLACES AND CHIMNEYS TO BE INSPECTED AND MADE OPERABLE FOR GAS LOG INSERTS.
- * PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS NOT TIED TO STORM DRAINAGE.

- NOTES**
- 8" DIAM. DORIC STYLE COLUMN TO MATCH HISTORIC COLUMN
 - 6" SQUARE WOOD BOX COLUMN
 - PORCH HANDRAIL @ 3'-0" MAX. (2" SQUARE PICKETS @ 5" O.C.) WHERE HISTORIC RAILING EXISTS, RETAIN AND INSTALL NEW WOOD PICKETS
 - 5/4 WOOD T&G DECKING
 - PAINTED WOOD STAIR AND RAILING (7'-3/4" MAX. RISER, 10" MIN. TREAD, 2'-10" HIGH RAILING MIN.)
 - NEW WOOD/GLASS DOOR (7/8" MUNTIN MAX.)
 - NEW WOOD paneled DOOR
 - NEW WOOD TDL 1/1 WINDOW. ALL WINDOWS TO BE OPERABLE
 - INSTALL TILE FLOOR AS SELECTED BY OWNER
 - INSTALL NEW WOOD T&G FLOORING OVER NEW SUB-FLOORING
 - DOOR TO BE LOCKED IN CLOSED POSITION. INSTALL FURRED 1/2" GYP. ON OUTSIDE FACE
 - KITCHEN CABINERY AND APPLIANCES AS SELECTED BY OWNER
 - EXISTING METAL ROOF TO BE PATCHED/REPAIRED 'IN KIND' WHERE NECESSARY
 - INSTALL WOOD HANDRAIL (VINTAGE WOODWORKS "P3", OR APPROVED EQUAL). 2'-10" HIGH MAX.
 - INSTALL 6" WOOD NEWEL POST (VINTAGE WOODWORKS "FULL DESIGNER" NEWEL POST, OR APPROVED EQUAL)
 - ATTIC TO BE INSULATED AND USED FOR MECHANICAL EQUIPMENT AND DUCTWORK
 - INSTALL NEW FRAMING AND SHEATHING ALONG EAST WALL. INSTALL NEW WOOD LAP SIDING TO MATCH EXISTING 'IN KIND'.



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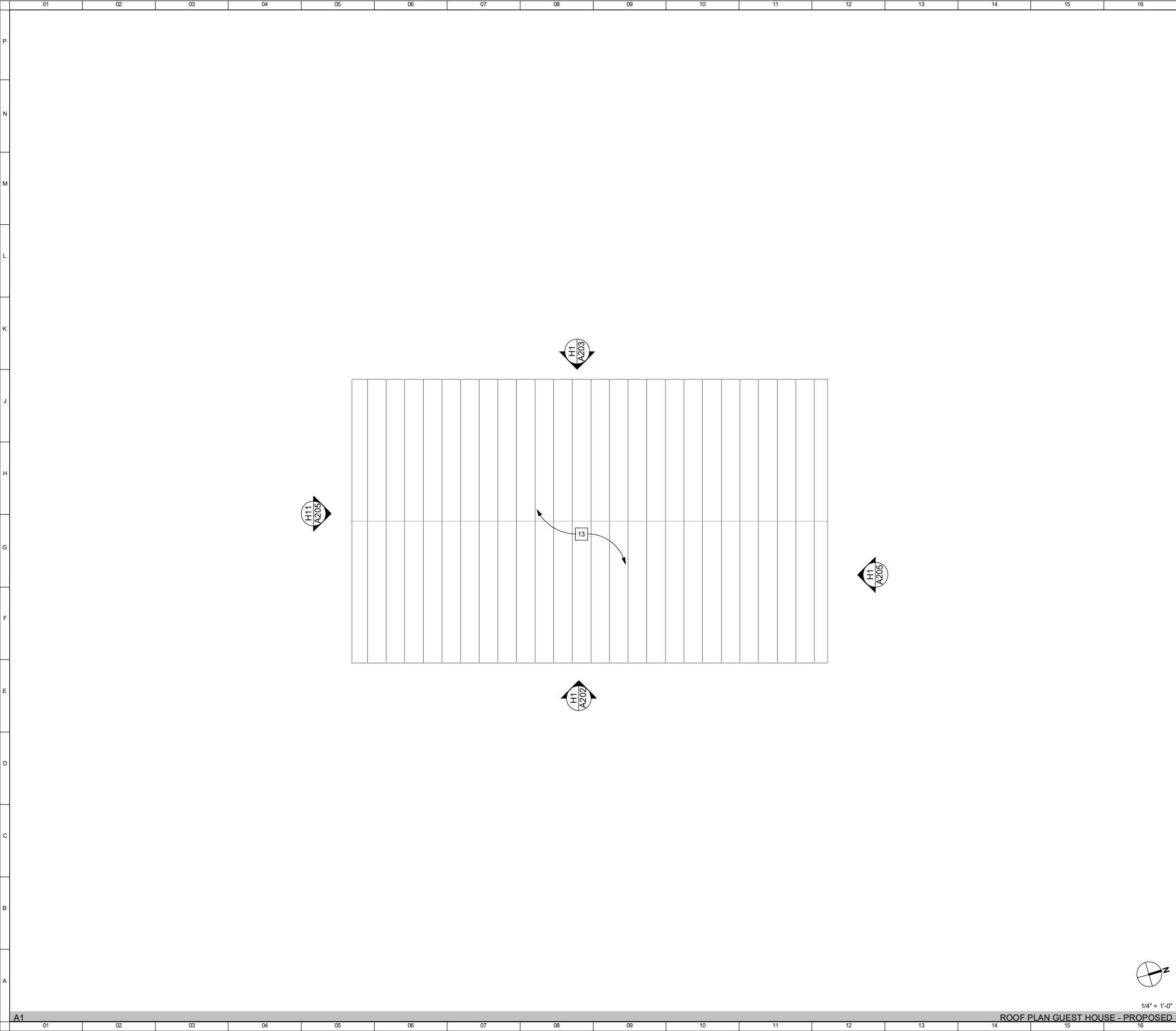
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FIRST FLOOR PLAN - GUEST HOUSE

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

A105



LEGEND

EXISTING PARTITION

NEW PARTITION

NEW FLOOR INFILL/PATCH

GENERAL NOTES

NO HIGH PRESSURE WASHING OR SAND BLASTING IS TO OCCUR ON ANY HISTORIC MATERIAL WITHOUT CONSULTING WITH ARCHITECT.

EXISTING MASONRY TO BE CLEANED AND REPOINTED WHERE NECESSARY.

ALL EXTERIOR WOOD, EXISTING OR NEW, TO BE PRIMED AND PAINTED. OWNER TO SELECT PAINT COLORS.

ALL PLUMBING FIXTURES, CABINETRY, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.

WHERE HISTORIC TRIM IS MISSING, INSTALL NEW WOOD TRIM, BASEBOARD, AND WINDOW/DOOR SURROUNDS TO MATCH EXISTING SIZE AND PROFILE 'IN KIND'. ALL REPLACEMENT TRIM TO MATCH EXISTING IN SIZE AND PROFILE 'IN KIND'. ALL NEW TRIM TO BE DIFFERENTIATED FROM ORIGINAL. SEE TRIM SCHEDULE.

ALL EXISTING PLASTER SURFACES TO BE REPAIRED WHERE NECESSARY. REFER TO PRESERVATION BRIEF #21 AND # 23 FOR APPROPRIATE TREATMENT.

INSTALL NEW FINISH FLOOR AS SELECTED BY OWNER.

ALL EXISTING WOOD FLOORS TO BE REFINISHED AND STAINED. STAIN COLOR TO BE SELECTED BY OWNER.

ALL EXISTING HISTORIC WINDOWS TO BE SCRAPPED, SANDED, RE-PAINTED, AND RE-GLAZED WHERE NECESSARY. ALL WINDOWS TO BE OPERABLE. REFER TO PRESERVATION BRIEF #9 FOR APPROPRIATE TREATMENT.

ALL NEW WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS.

ALL INTERIOR REPLACEMENT DOORS TO BE 2-PANEL WOOD TO MATCH EXISTING 'IN KIND'. ALL NEW INTERIOR DOORS W/IN NEW OPENINGS TO BE 2-PANEL WOOD FLAT PANEL SQUARE STICKING TYPE. SEE DOOR SCHEDULE.

ALL NEW INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH.

ALL FIREPLACES AND CHIMNEYS TO BE INSPECTED AND MADE OPERABLE FOR GAS LOG INSERTS.

PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS NOT TIED TO STORM DRAINAGE.

NOTES

1

8" DIAM. DORIC STYLE COLUMN TO MATCH HISTORIC COLUMN

2

6" SQUARE WOOD BOX COLUMN

3

PORCH HANDRAIL @ 3'-0" MAX. (2" SQUARE PICKETS @ 5" O.C.) WHERE HISTORIC RAILING EXISTS, RETAIN AND INSTALL NEW WOOD PICKETS

4

5/4 WOOD T&G DECKING

5

PAINTED WOOD STAIR AND RAILING (7-3/4" MAX. RISER, 10" MIN. TREAD, 2'-10" HIGH RAILING MIN.)

6

NEW WOOD/GLASS DOOR (7/8" MUNTIN MAX.)

7

NEW WOOD PANELED DOOR

8

NEW WOOD TDL 1/1 WINDOW. ALL WINDOWS TO BE OPERABLE

9

INSTALL TILE FLOOR AS SELECTED BY OWNER

10

INSTALL NEW WOOD T&G FLOORING OVER NEW SUB-FLOORING

11

DOOR TO BE LOCKED IN CLOSED POSITION. INSTALL FURRED 1/2" GYP. ON OUTSIDE FACE

12

KITCHEN CABINETRY AND APPLIANCES AS SELECTED BY OWNER

13

EXISTING METAL ROOF TO BE PATCHED/REPAIRED 'IN KIND' WHERE NECESSARY

14

INSTALL WOOD HANDRAIL (VINTAGE WOODWORKS "P3", OR APPROVED EQUAL). 2'-10" HIGH MAX.

15

INSTALL 6" WOOD NEWEL POST (VINTAGE WOODWORKS "FULL DESIGNER" NEWEL POST, OR APPROVED EQUAL)

16

ATTIC TO BE INSULATED AND USED FOR MECHANICAL EQUIPMENT AND DUCTWORK

17

INSTALL NEW FRAMING AND SHEATHING ALONG EAST WALL. INSTALL NEW WOOD LAP SIDING TO MATCH EXISTING 'IN KIND'.

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ROOF PLAN - GUEST HOUSE

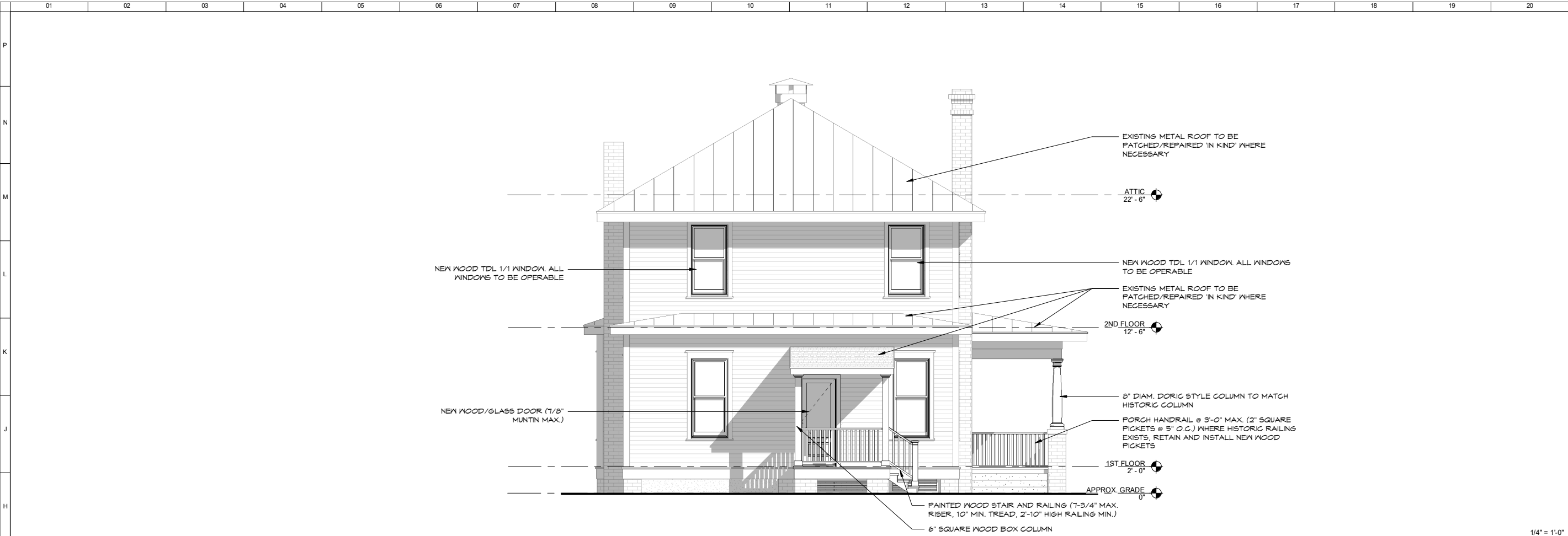
PROJECT NO.2031.00

DATE07.07.21

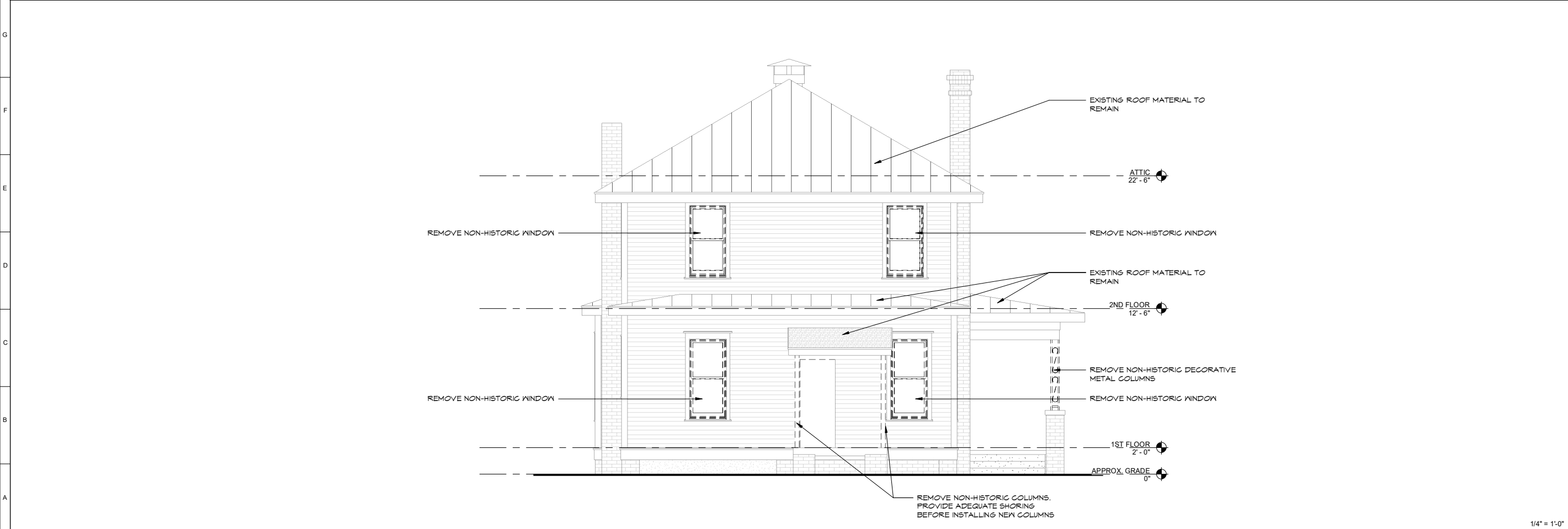
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A106

6/23/2021 11:07:28 PM



SOUTH ELEVATION



SOUTH ELEVATION - EXISTING



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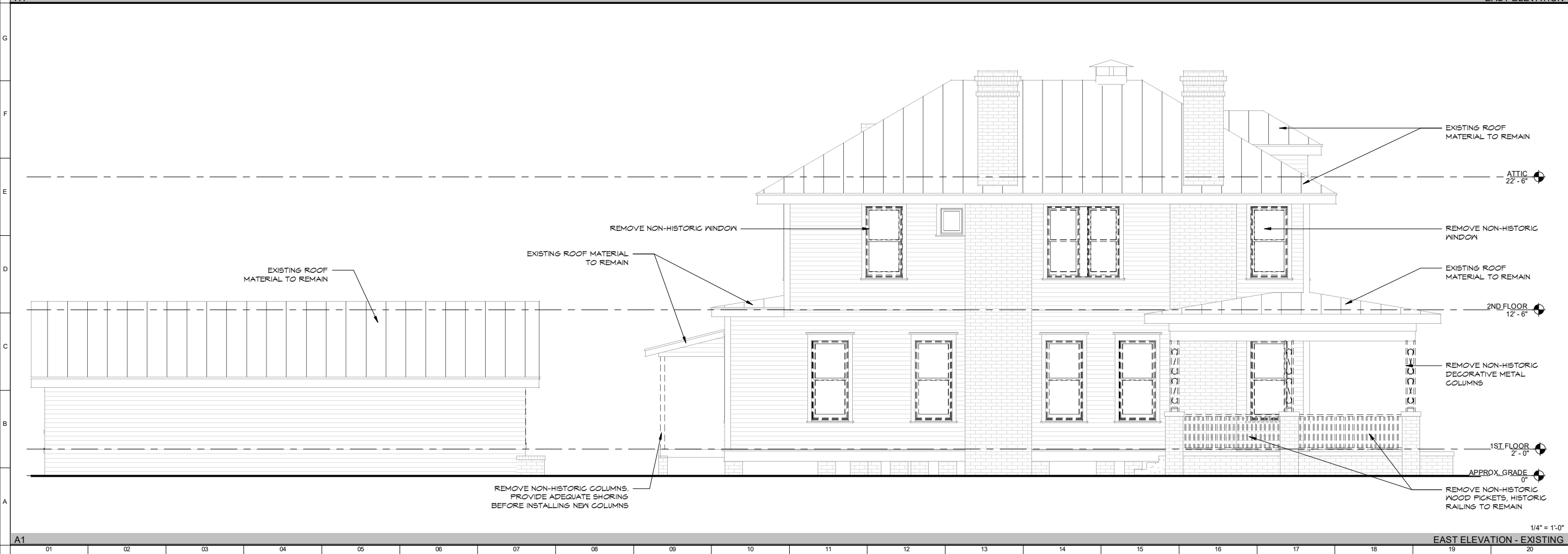
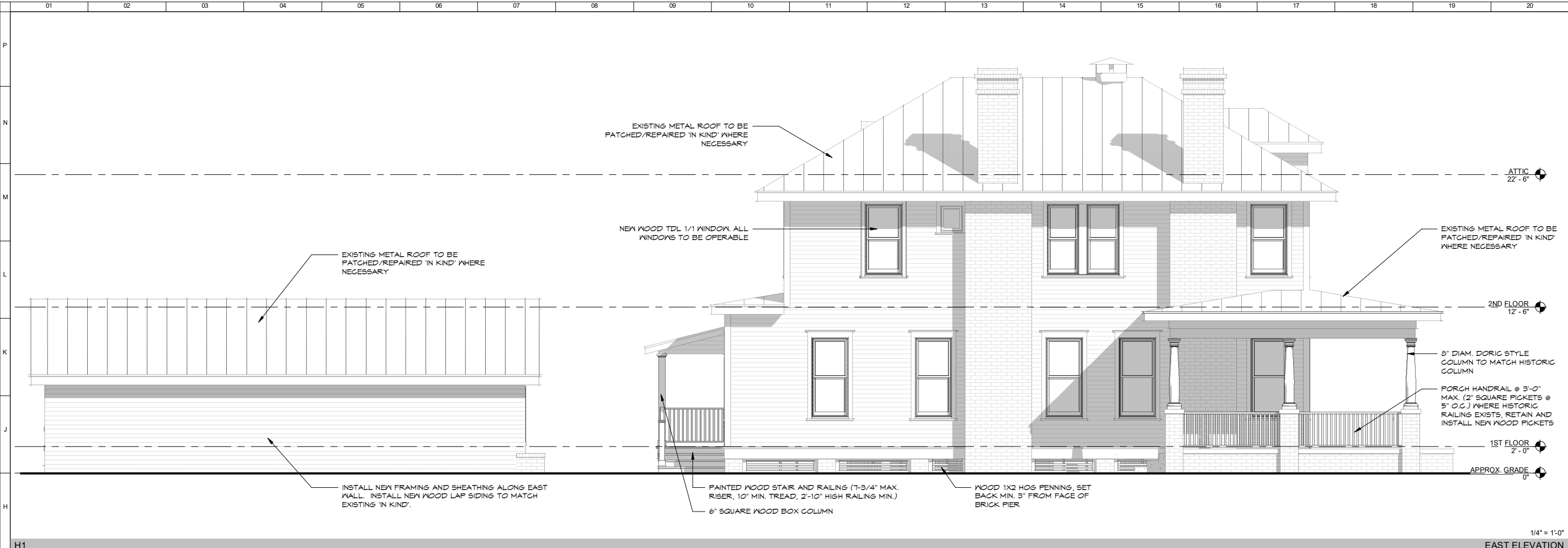
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SOUTH ELEVATION

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

A201



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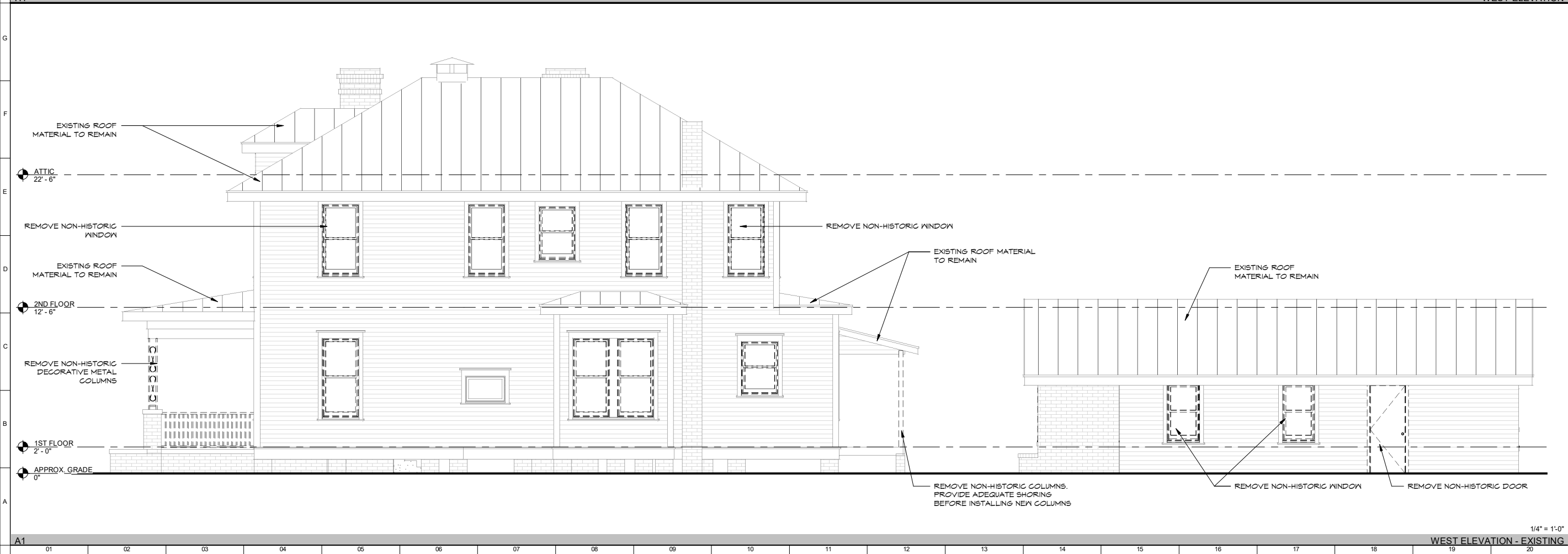
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EAST ELEVATION

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

A202



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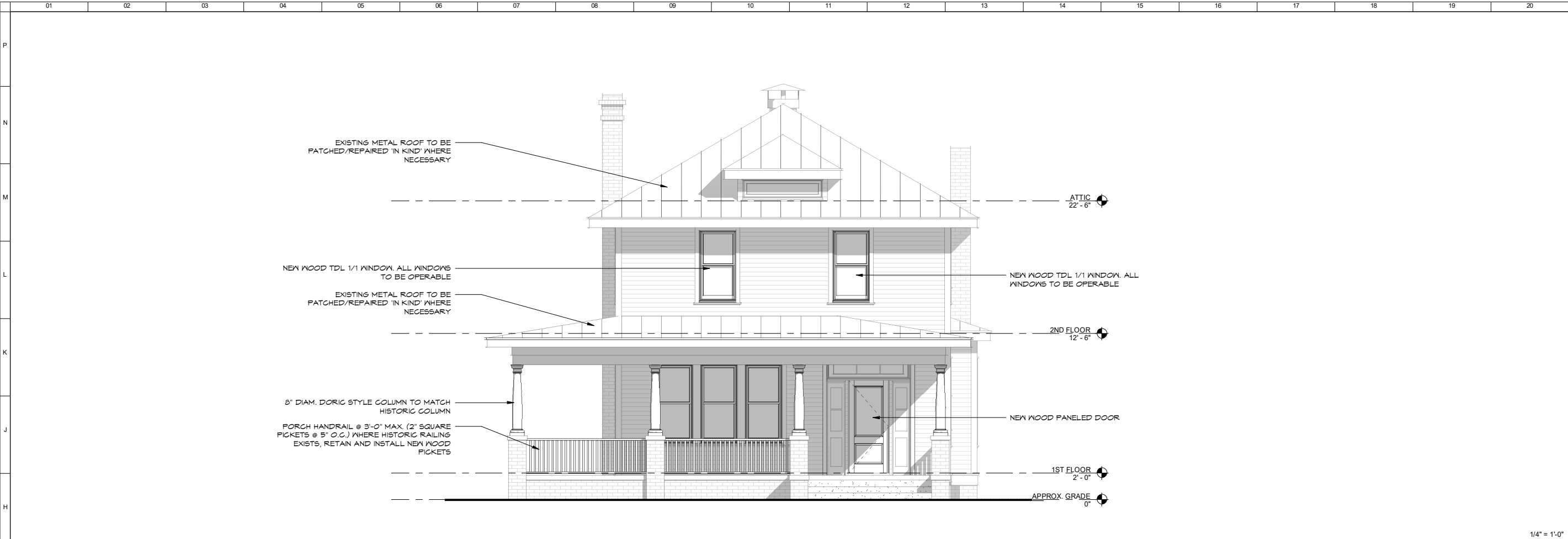
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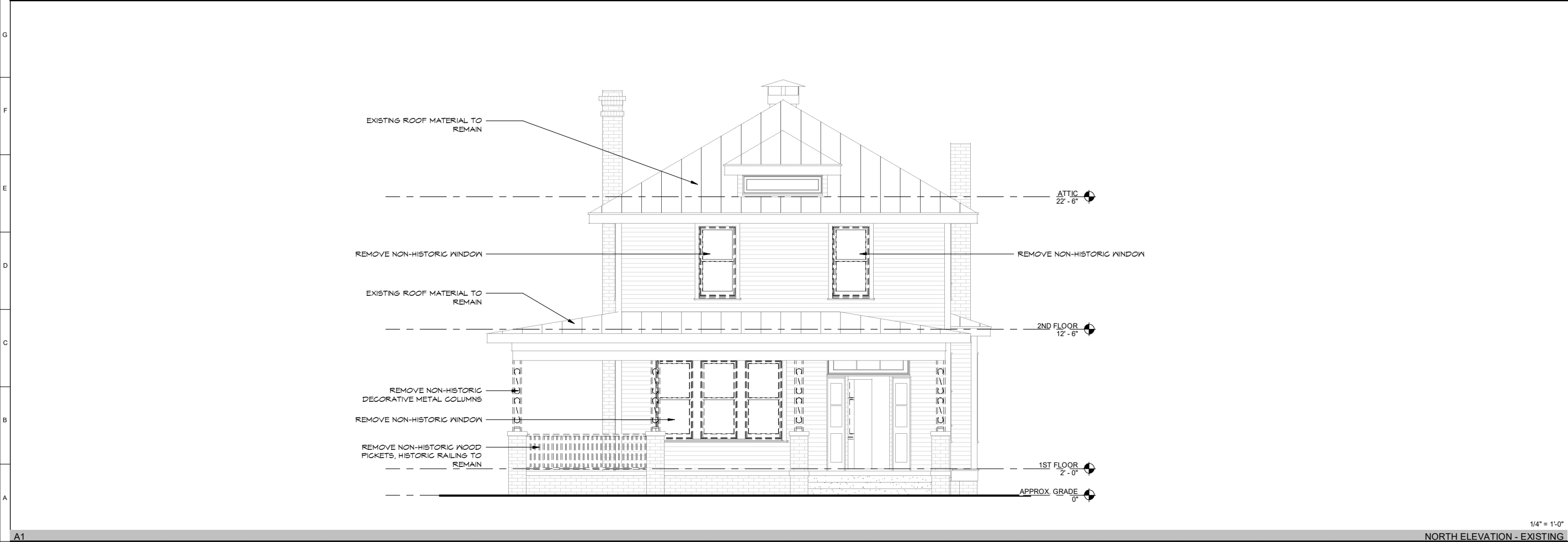
WEST ELEVATION

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

A203



1/4" = 1'-0"
NORTH ELEVATION



1/4" = 1'-0"
NORTH ELEVATION - EXISTING



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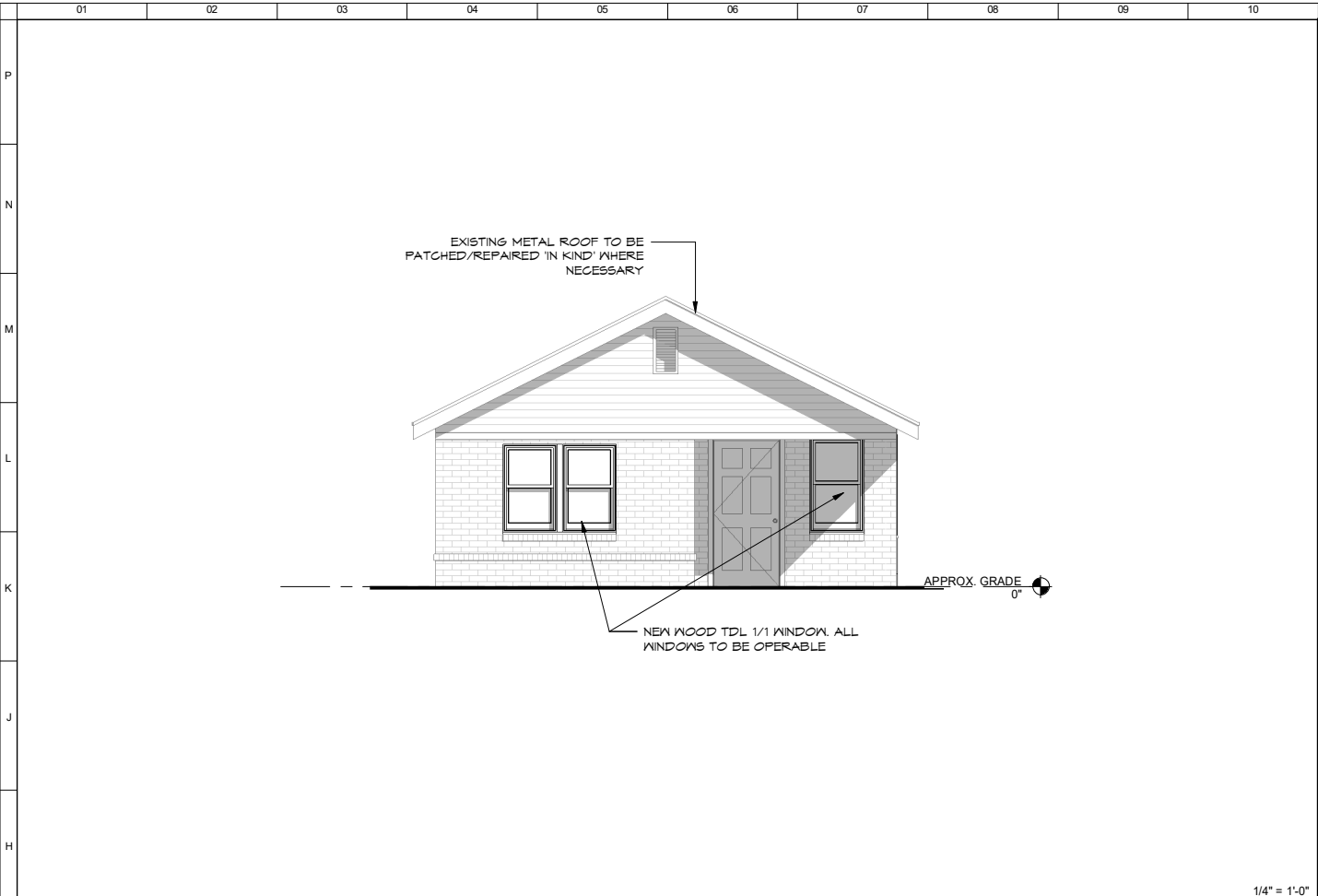
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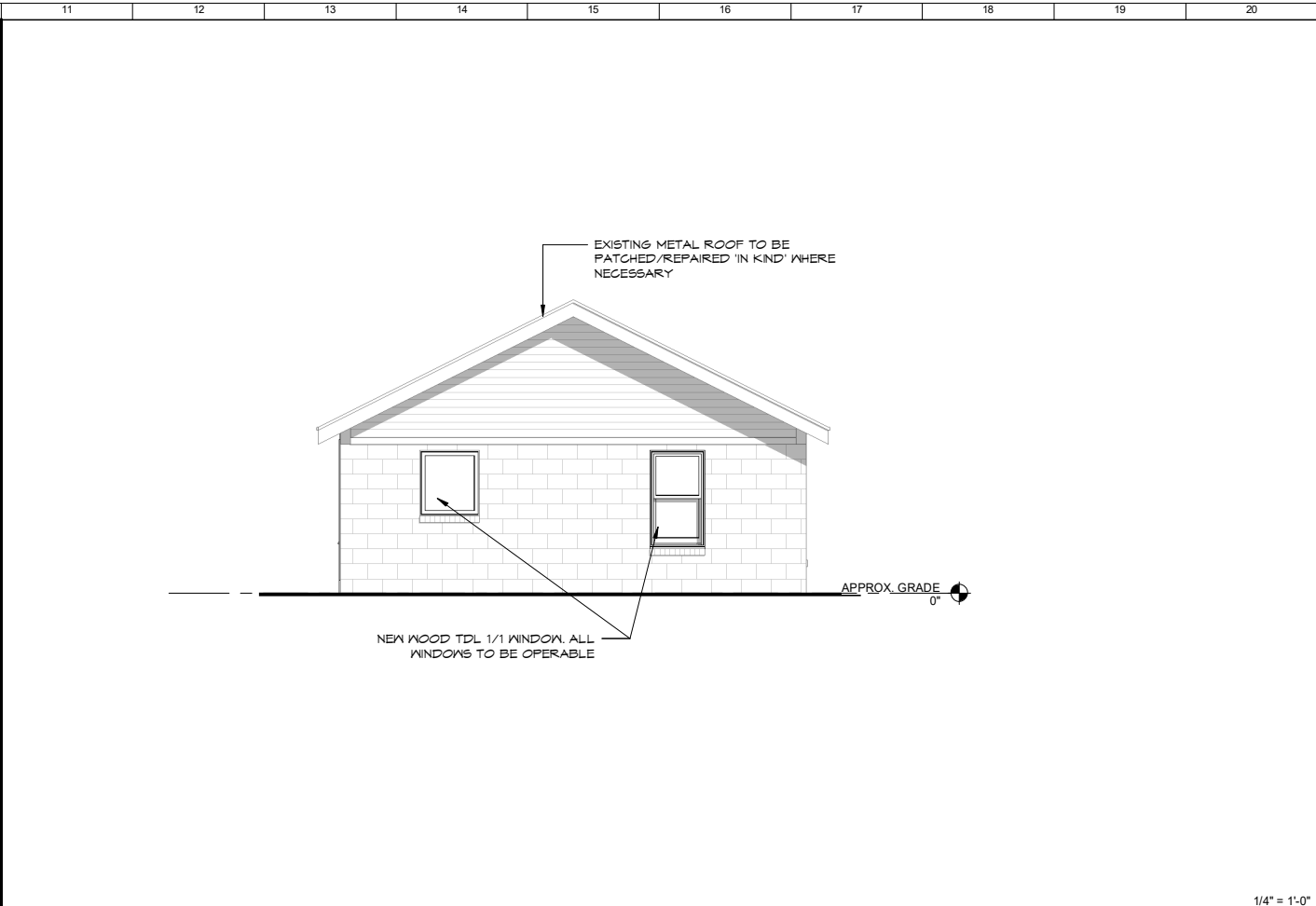
NORTH ELEVATION

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

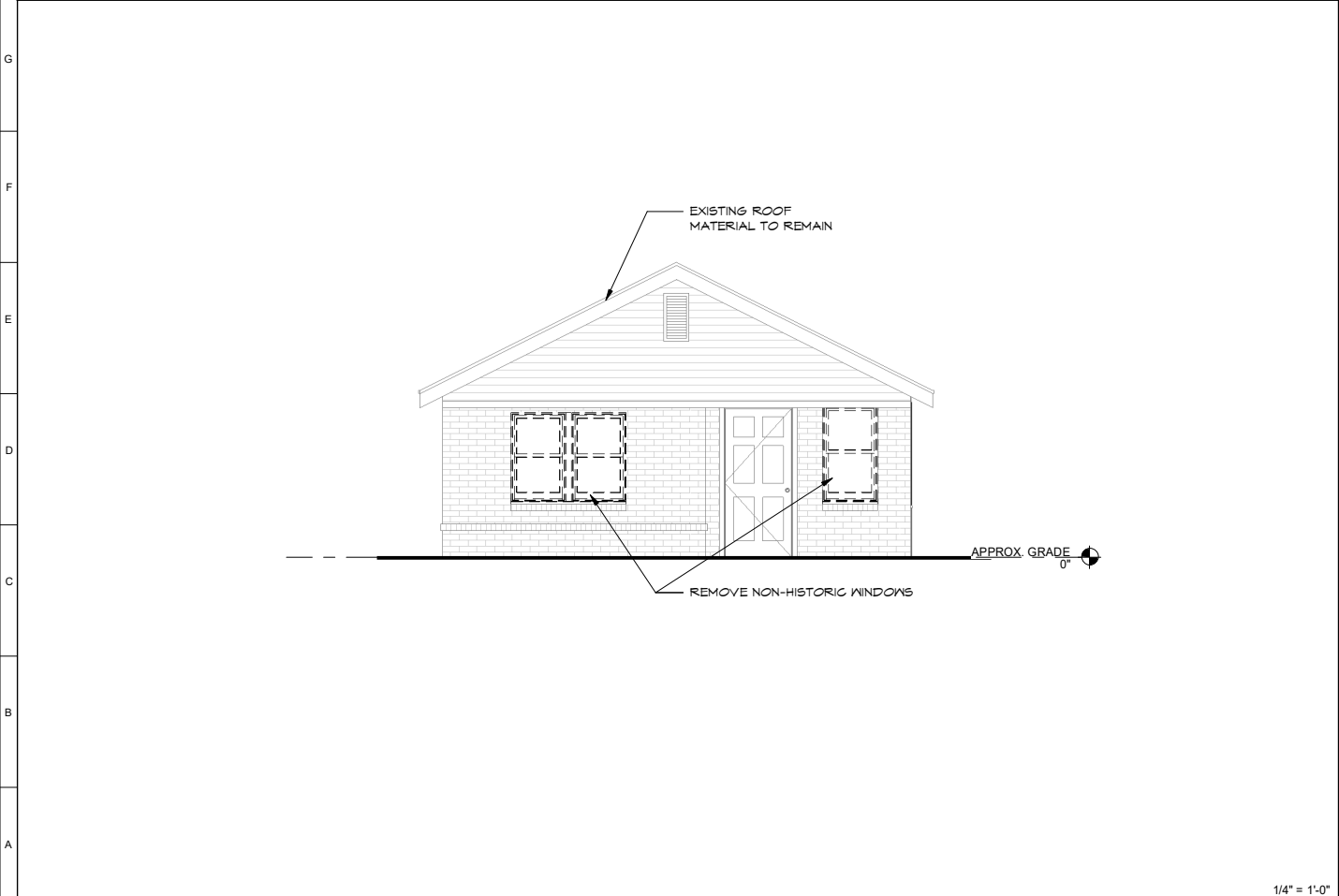
A204



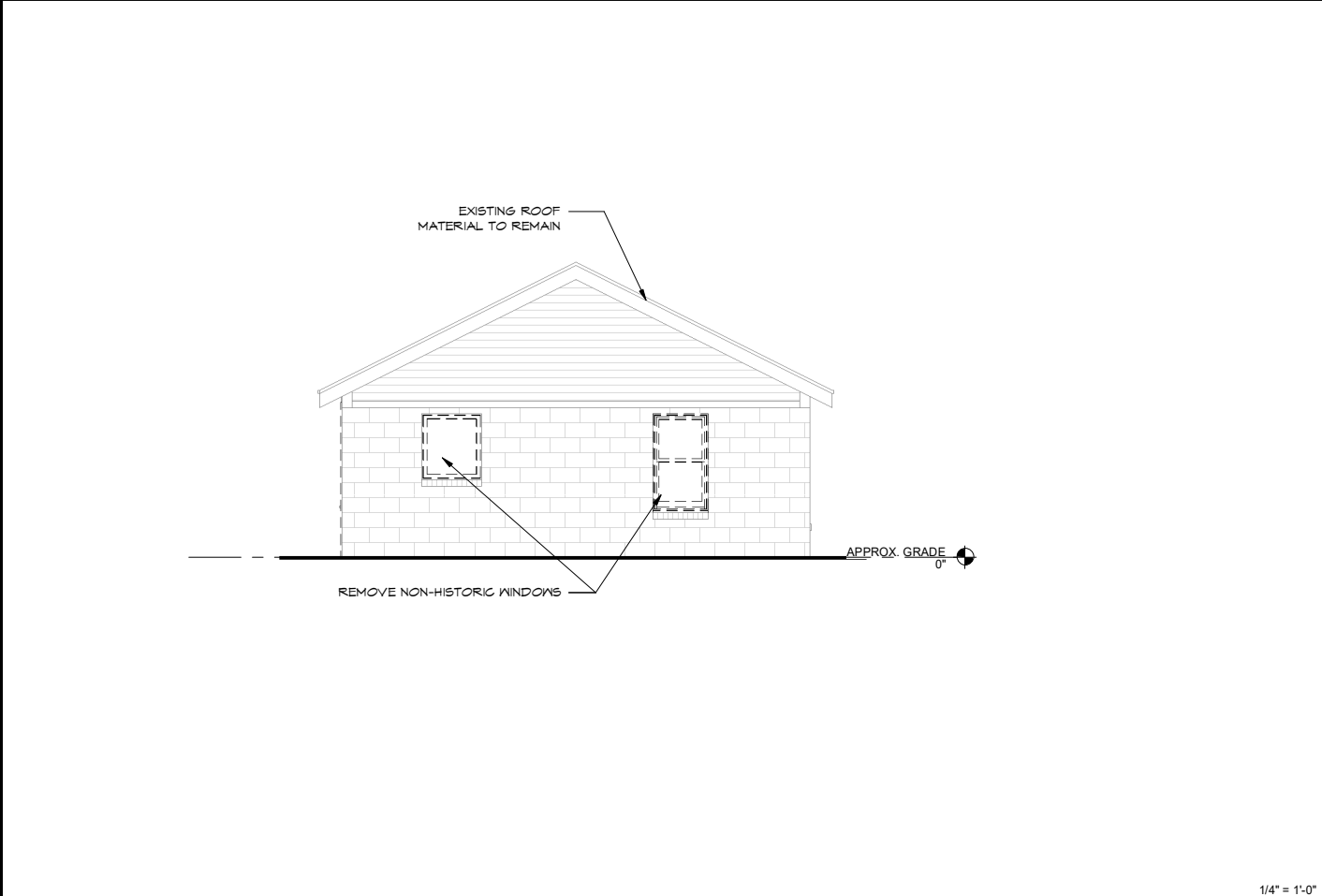
1/4" = 1'-0" NORTH ELEVATION GUEST HOUSE



1/4" = 1'-0" SOUTH ELEVATION GUEST HOUSE



1/4" = 1'-0" NORTH ELEVATION - EXISTING GUEST HOUSE



1/4" = 1'-0" SOUTH ELEVATION - EXISTING GUEST HOUSE



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NORTH AND SOUTH
ELEVATIONS GUEST
HOUSE

PROJECT NO. 2031.00
DATE 07.07.21
DRAWING NO.

A205

	01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20
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	01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20



SOUTH ELEVATION - MAIN HOUSE



WEST ELEVATION - MAIN HOUSE



NORTH ELEVATION - ACCESSORY DWELLING



SOUTH ELEVATION - ACCESSORY DWELLING



WEST ELEVATION - ACCESSORY DWELLING



EAST ELEVATION - ACCESSORY DWELLING



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EXISTING
CONDITIONS
(UPDATED)

PROJECT NO. 2031.00

DATE 06.19.26

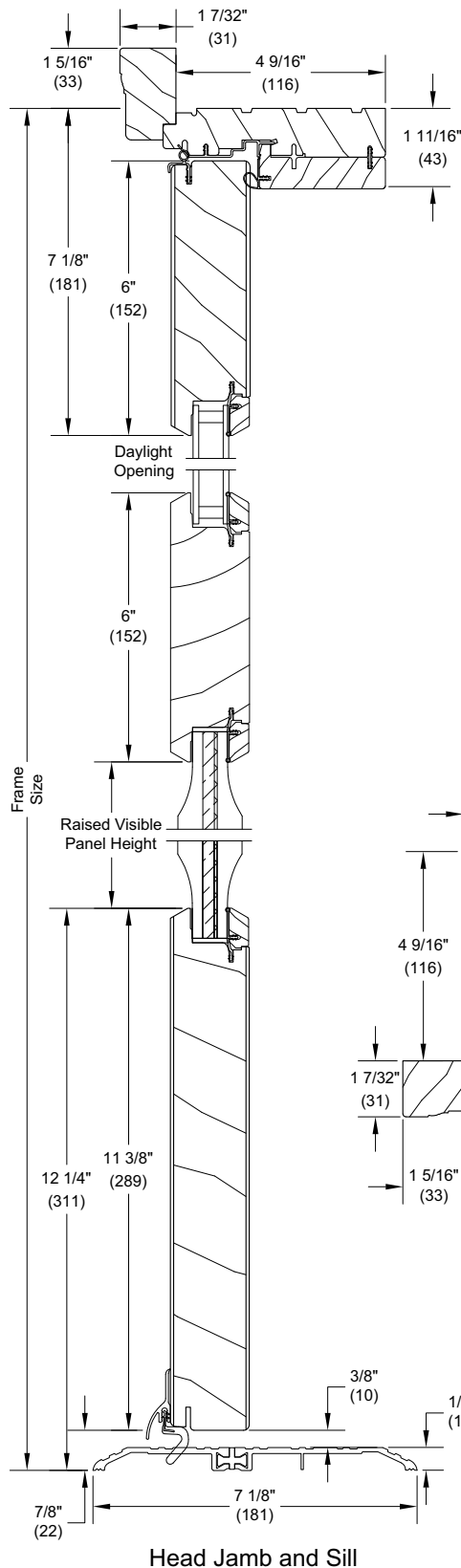
DRAWING NO.

G001*

Wood Commercial Door

1 3/4" Commercial Section Details: Raised Panel Placement

Scale: 3" = 1' 0"

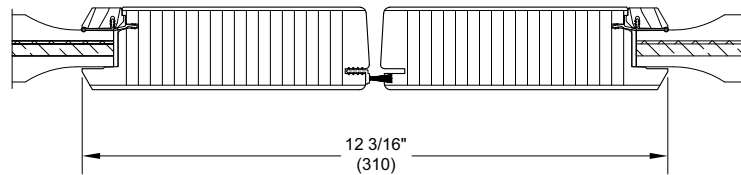


Raised Panel - Standard Configuration / Low Placement

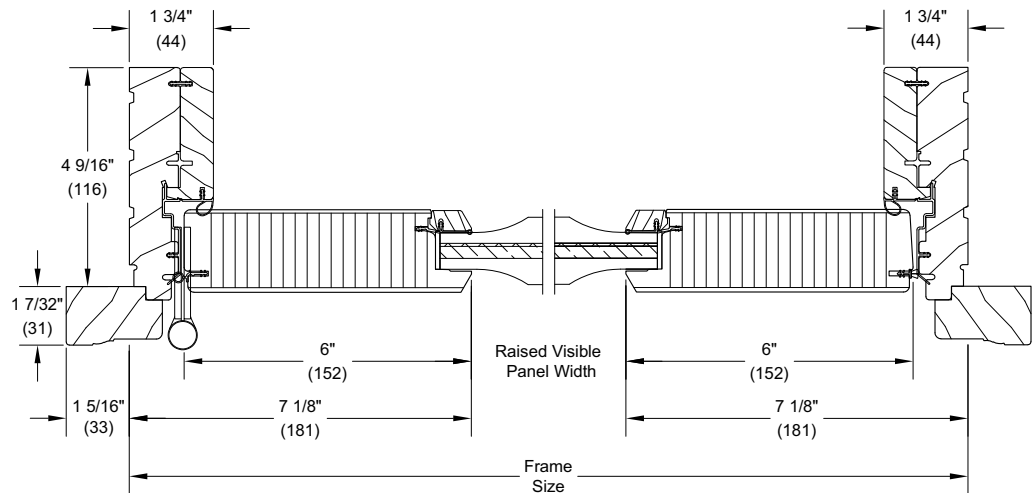
6" intermediate rail placed 26" (660) O.C. from bottom of the door sill with 10 13/16" (275) visible panel height.

Raised Panel - Standard Configuration / High Placement

6" intermediate rail placed 40 5/16" (1024) O.C. from bottom of the door sill with 25 1/8" (638) visible panel height.

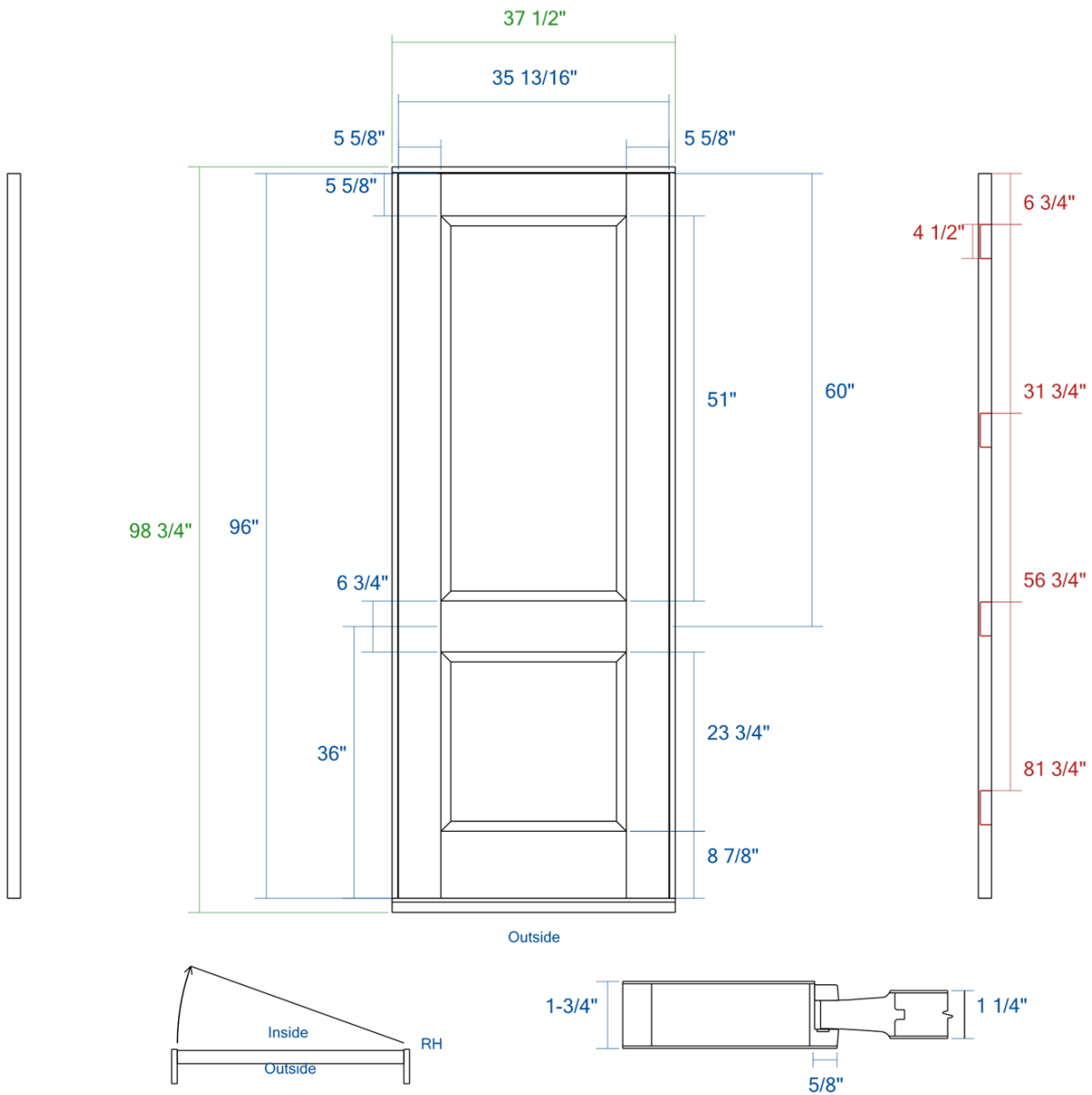


XX - Meeting Stiles



X - LHR - Jamb

Entry Door Details



Door Style	Sticking	Panel	Material	Glass / Insert	Product Type
TS2020	SS	A	Mahogany		Entry System