

PROJECT DESCRIPTION:

This submittal seeks approval for the rehabilitation of 641-645 West 39th Street in the Cuyler-Brownville Historic District. The tri-plex was originally built in 1916. The building is currently vacant and in need of maintenance/repair.

Foundation

The brick foundation will be repointed as necessary with a compatible soft mortar. The cmu foundation of the front two stoops will receive a finish coat of smooth true stucco.

Siding and Trim

The wood siding and trim will be repaired 'in kind' as necessary. All siding and trim will be repainted.

Doors and Windows

Very little remains of the historic doors and windows other than several interior 4-panel doors. All non-historic doors and windows will be removed. The front entries will have wood 4-panel doors. The rear entries will have wood/glass doors (4 lite w/ a lower panel). All non-historic windows will be replaced with new custom-built single pane TDL wood double hung windows. Through our research it was determined that the building originally had subtle Craftsman detailing, which informed the decision to use a 4/1 lite pattern for a majority of the windows. Along the rear, where the original porch was infilled, there will be 2/2 windows to indicate that these openings are not original to the house.

Brackets and Gable Vents

Currently no brackets exist along the eaves of the building. Our research found that there were 3 brackets at each end of the side gable roof. Just below the center bracket there was a sizable louvered gable vent. All of these architectural features (brackets and gable vents) will be replicated by referencing several earlier photographs.

Roof

The deteriorated asphalt shingle roof will be replaced with a new architectural asphalt shingle roof over ice & water shield. Any missing or deteriorated roof sheathing will be replaced.

Stoops

The front stoops' non-historic railing will be replaced with new wood railing having historic detailing. New metal handrails will be installed along the center of the stairs. The two rear non-historic stoops will be removed. Along the rear each unit will have new wood stoops/stairs with wood railing matching that on the front stoops.

Site

The rear yard will be enclosed with a new 6' tall wood fence, which will shield the mechanical equipment and refuse from the public right-of-way.

641-645 WEST 39TH STREET -REHABILITATION

Culyer-Brownville Historic District

HPC DRAWING SET



PROJECT TEAM:

CLIENT:
NEHEMIAH FACTOR
MICHAEL WILSON
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ARCHITECT:
WARD ARCHITECTURE + PRESERVATION
JOSH WARD
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HPC DRAWINGS

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D102	SECOND FLOOR PLAN - EXISTING
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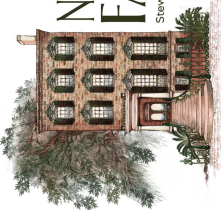
A001	DOOR AND WINDOW SCHEDULE
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JOSHUA WARD, ARCHITECT OF RECORD, IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE, AND THAT THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

641-645 WEST
39TH STREET

SAVANNAH, GA 31415

NEHEMIAH
FACTOR
Stewardship. Preservation. Purpose.



COVER SHEET

PROJECT NO. 2613.00

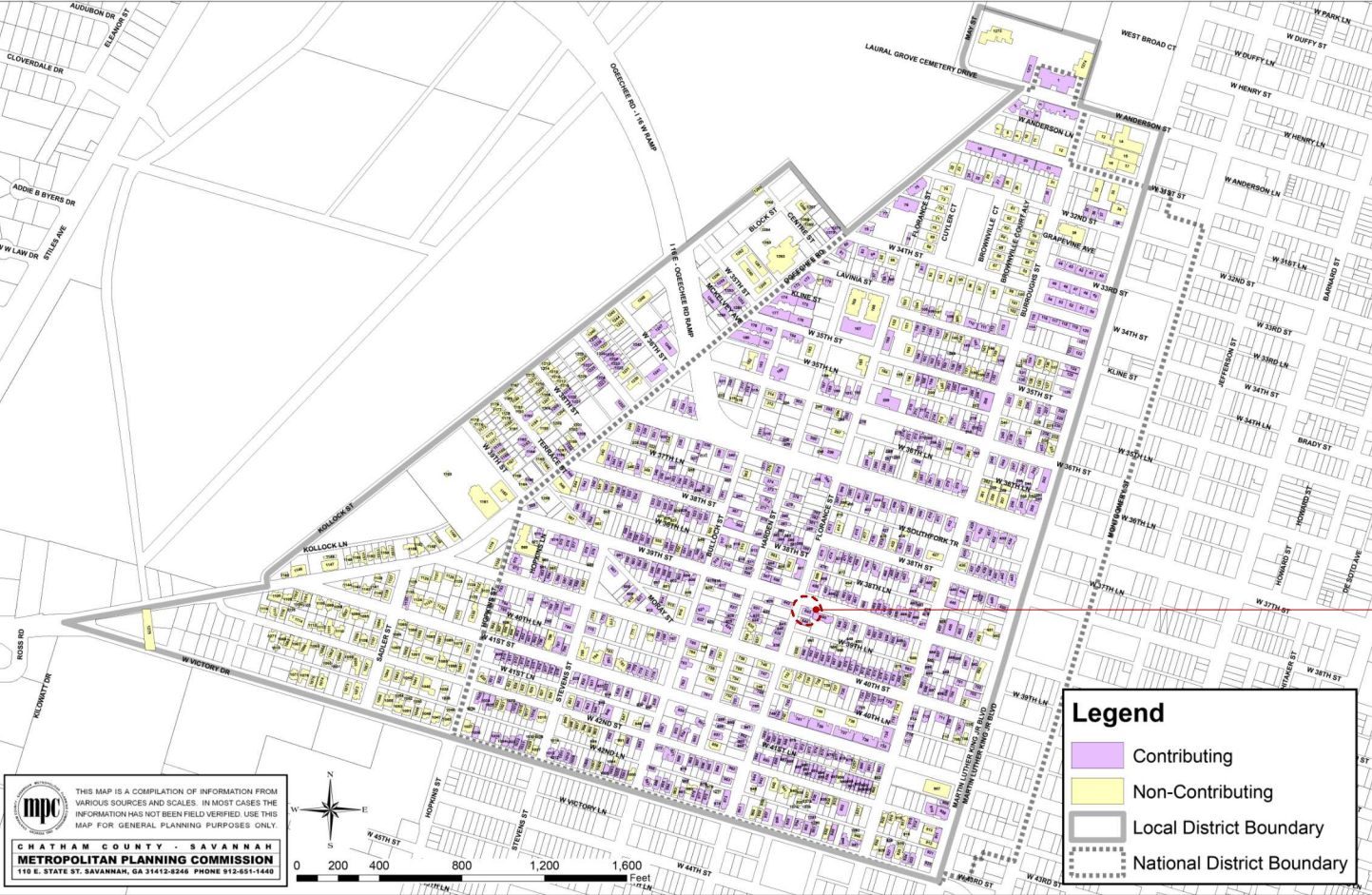
DATE 06.24.26

SHEET NO.

G000

CUYLER BROWNVILLE HISTORIC DISTRICT Contributing Resources Map

Updated: September 1, 2021



SITE



625 EAST 44TH STREET
SAVANNAH, GA 31405
912.596.4882

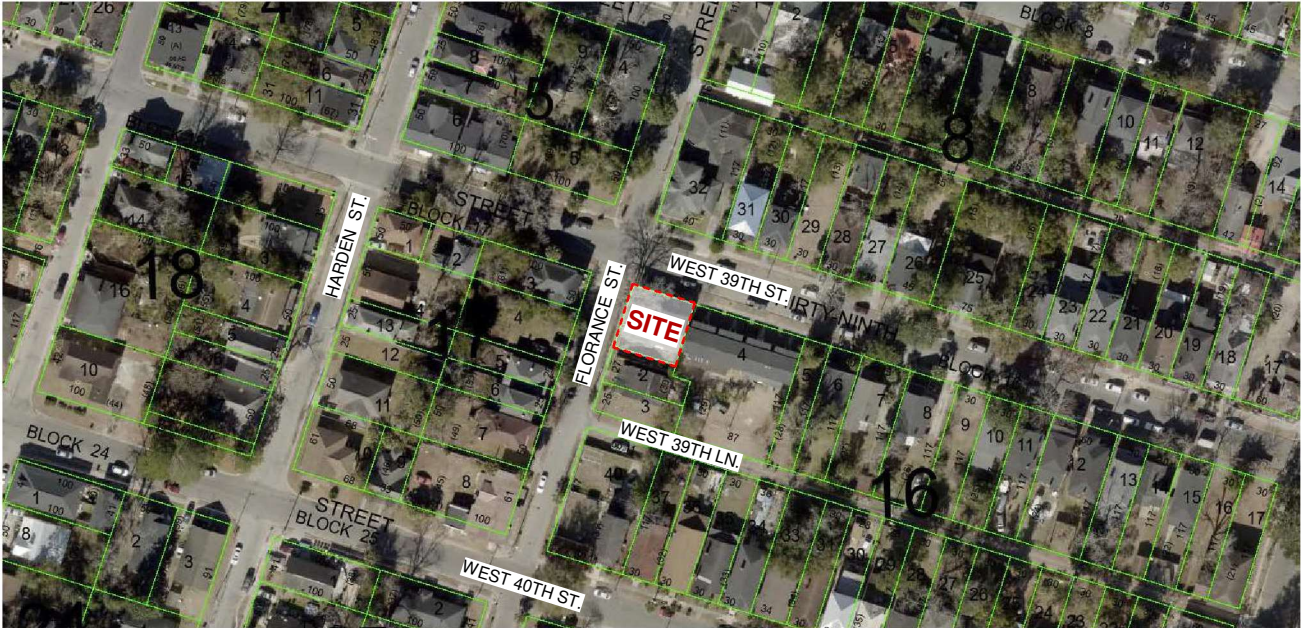
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HPC DRAWINGS

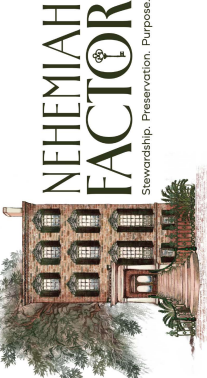
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641-645 WEST
39TH STREET

SAVANNAH, GA 31415



- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE:
2024 INTERNATIONAL RESIDENTIAL CODE
2024 INTERNATIONAL EXISTING BUILDING CODE
2024 INTERNATIONAL MECHANICAL CODE
2024 INTERNATIONAL PLUMBING CODE
2023 NATIONAL ELECTRICAL CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2024 INTERNATIONAL FIRE CODE
FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS AND THE BEST TRADE PRACTICES.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE CITY OF SAVANNAH.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALLS/PARTITIONS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED, OR CONSULT THE ARCHITECT FOR CLARIFICATION.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- EACH CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER CONTRACTORS (PLUMBING, ELECTRICAL, MECHANICAL, FIRE PROTECTION).
- EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE OTHER CONTRACTORS AND SUPPLIERS.
- EACH CONTRACTOR SHALL DO CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB IN EACH PRIME CONTRACT.
- PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAVANNAH AND THE 2024 INTERNATIONAL BUILDING CODE.
- DUCTS, PIPES AND CONDUITS PASSING THROUGH RATED CONSTRUCTION SHALL HAVE SPACES NOT EXCEEDING 1/2 INCH PACKED WITH MINERAL WOOL AND CLOSED OFF WITH CLOSE FITTING METAL ESCUTCHEONS. AGGREGATE AREA OF SUCH OPENINGS SHALL NOT EXCEED 25 SQUARE INCHES IN ANY 100 SQ. FT. OF WALL OR FLOOR AREA UNLESS PROTECTED BY RATED SELF-CLOSING DEVICES.
- CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC., SHALL BE FIRESTOPPED (EXCEPT WHERE CONCEALED SPACE IS SPRINKLERED) NON-COMBUSTIBLE MATERIAL THAT CAN BE SHAPED, FITTED AND PERMANENTLY SECURED IN POSITION. FIRE SEAL SHALL MATCH RATING OF WALL.
- CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN SUCH PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS.
- PENETRATION OF OPENINGS IN WALLS, PARTITIONS OR FLOORS, FOR PIPE SLEEVES, FIRE EXTINGUISHERS, TOILET ACCESSORIES, ELECTRIC DEVICES, ETC., SHALL BE PLACED, SEALED, LINED OR OTHERWISE ISOLATED TO MAINTAIN THE REQUIRED S.T.C. RATING.



GENERAL
INFORMATION

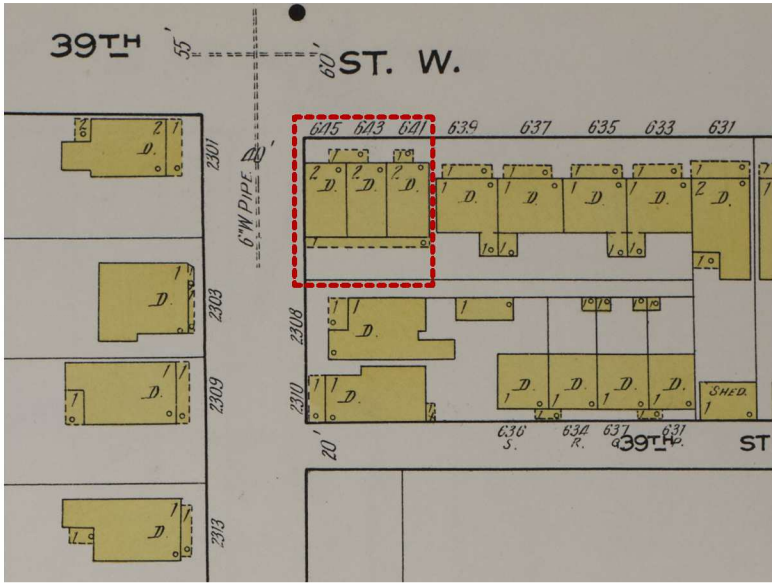
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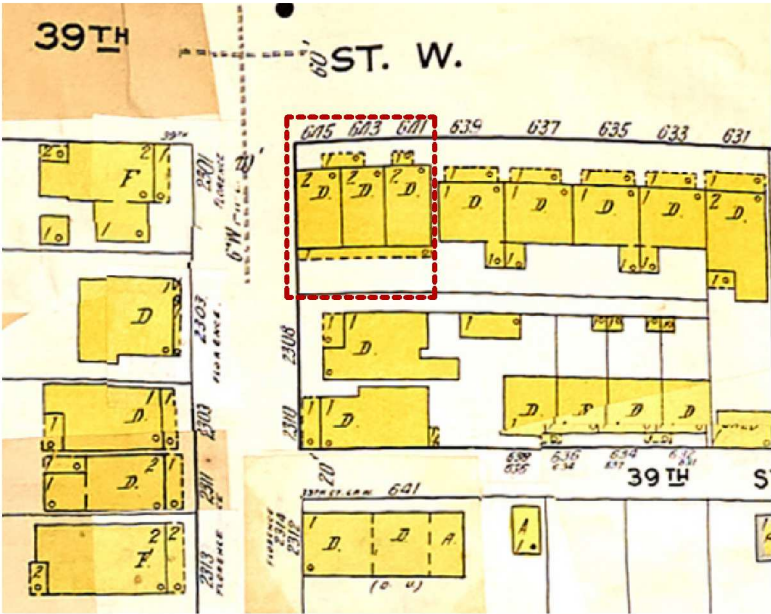
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G001

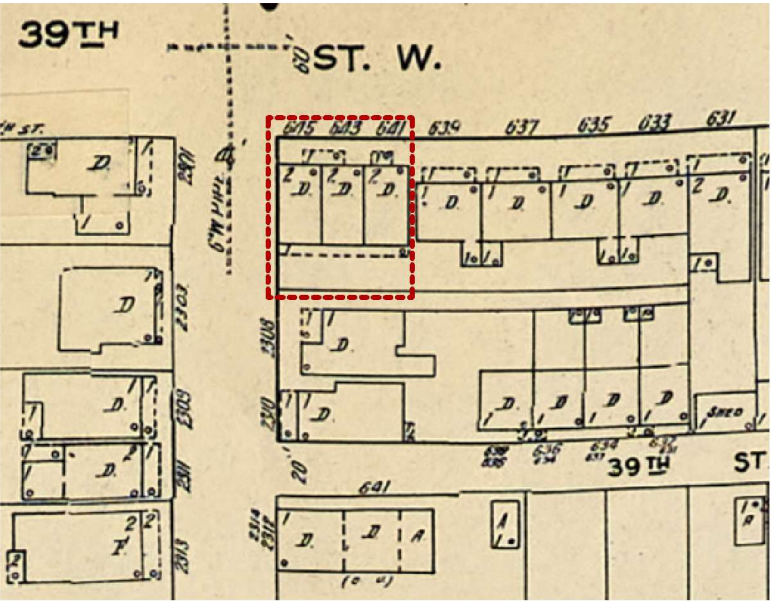
1916



1916-1953



1955-1966

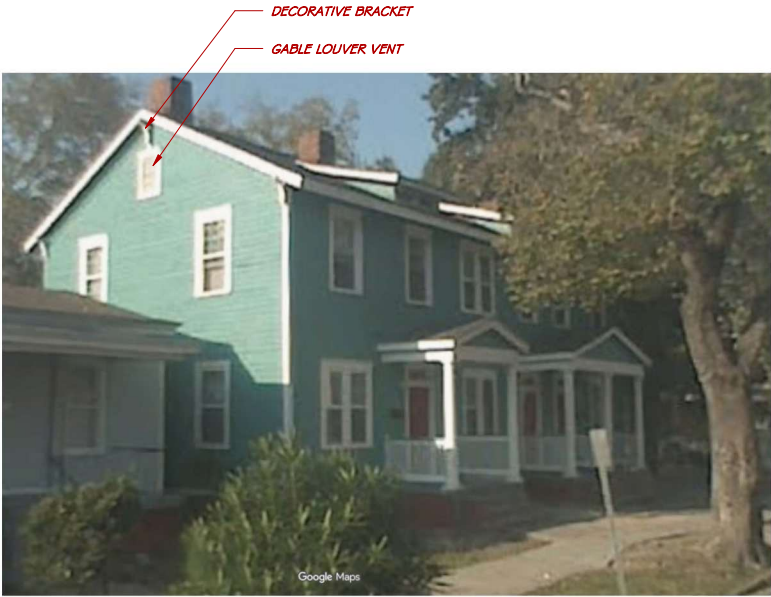


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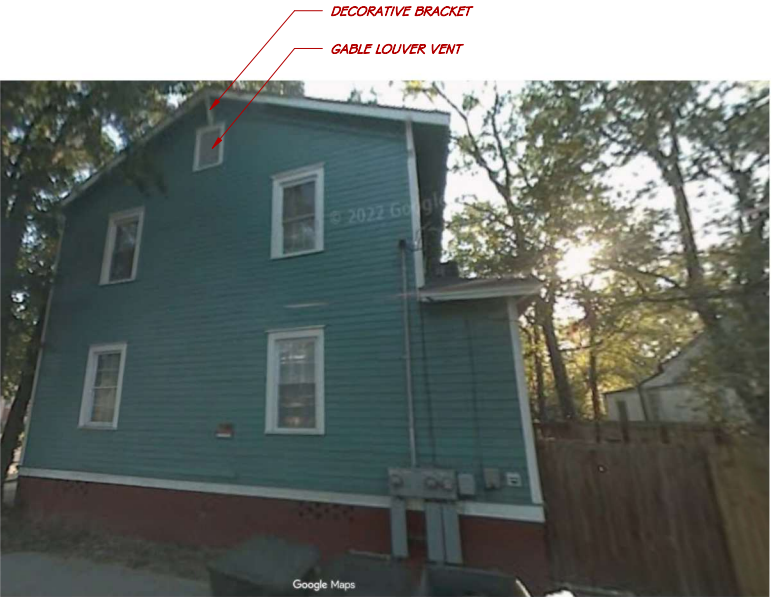


CUYLER-BROWNVILLE HISTORIC DISTRICT
SAVANNAH, CHATHAM COUNTY, GA.
PHOTO 29 of 45

2007 (GOOGLE MAPS)



2007 (GOOGLE MAPS)

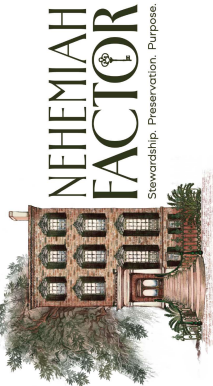


HPC DRAWINGS

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641-645 WEST
39TH STREET

SAVANNAH, GA 31415



SITE HISTORY

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SHEET NO.

G002

NORTH ELEVATION



NORTH ELEVATION STOOPS



NORTH ELEVATION STOOPS



SOUTH ELEVATION



SOUTH ELEVATION FIRE DAMAGE



SOUTH ELEVATION DETAIL



WEST ELEVATION



WEST ELEVATION DETAIL



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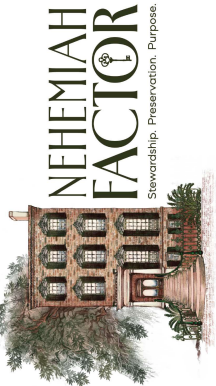
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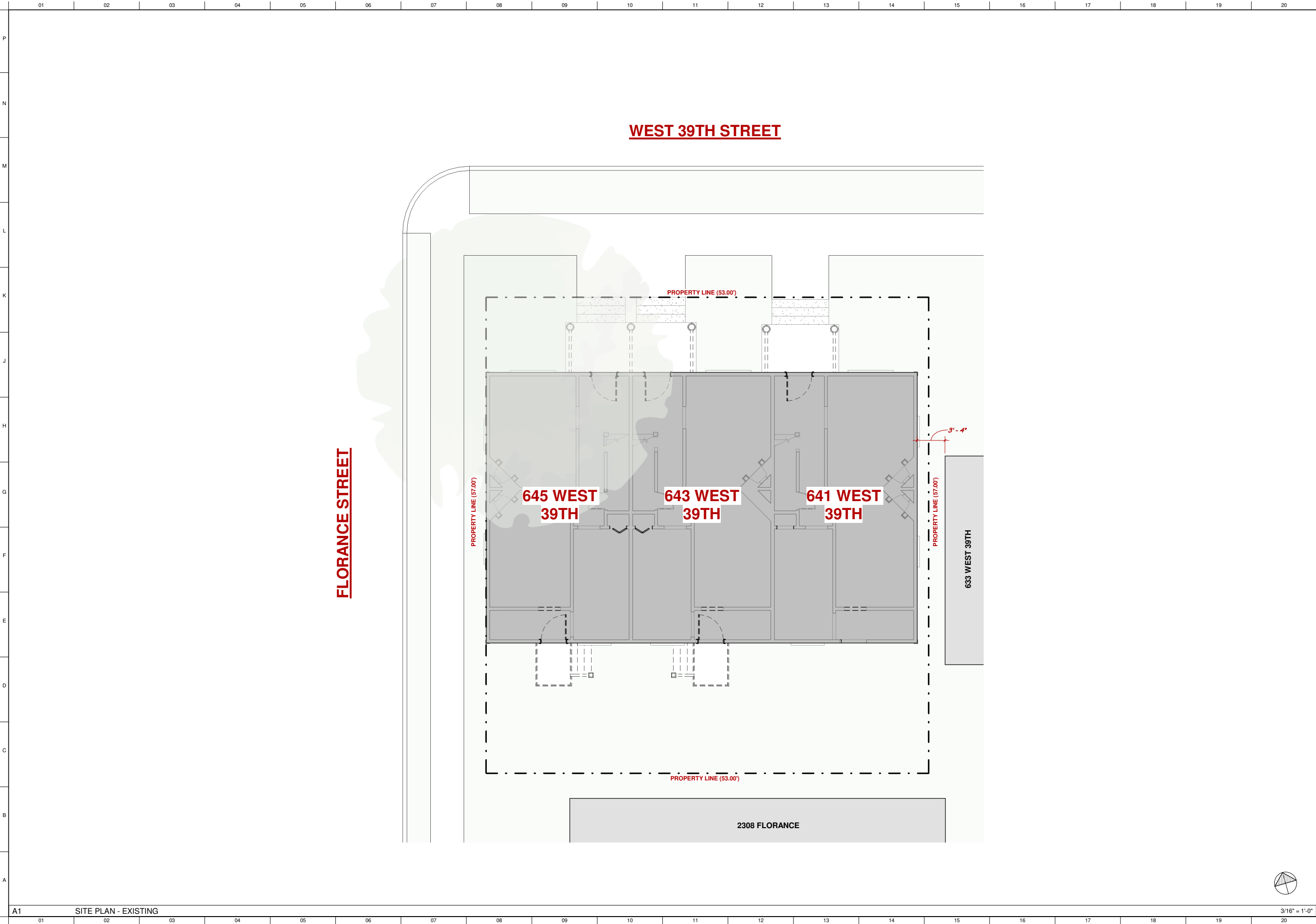
SITE PHOTOS

PROJECT NO. 2613.00

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G003



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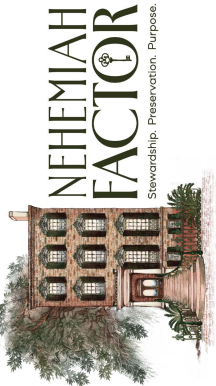
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**641-645 WEST
39TH STREET**

SAVANNAH, GA 31415



EXISTING SITE PLAN

PROJECT NO. 2613.00

DATE 06.24.26

SHEET NO.

G100

641-643 WEST 39TH STREET

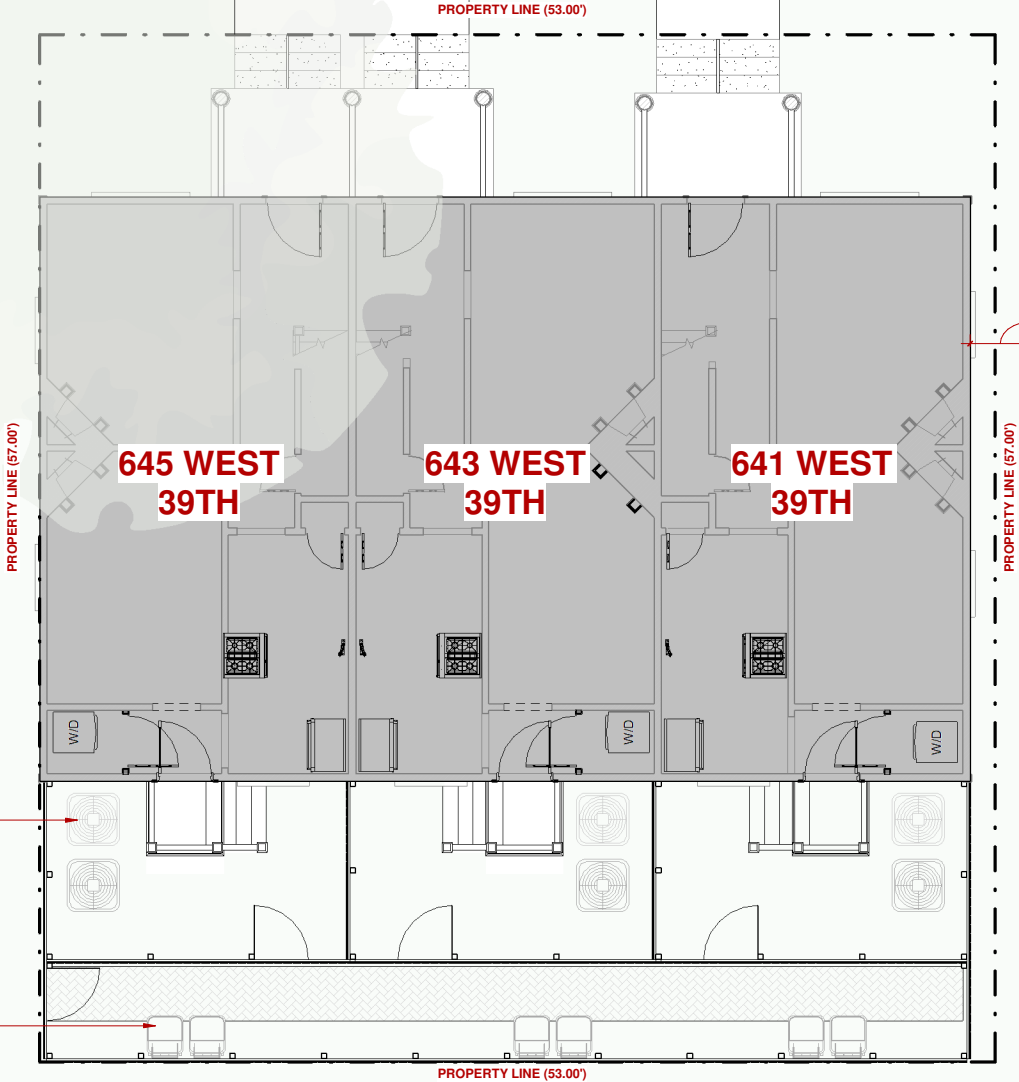
PIN #: 20073 16001
ZONING: TR-1
LOT AREA: 3,021 SF EXISTING

WEST 39TH STREET

FLORENCE STREET

HVAC BEHIND 6' TALL WOOD FENCE

REFUSE BEHIND 6' TALL WOOD FENCE



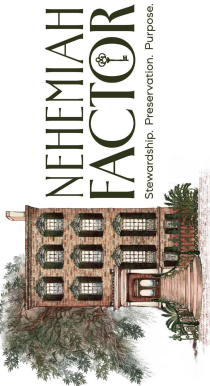
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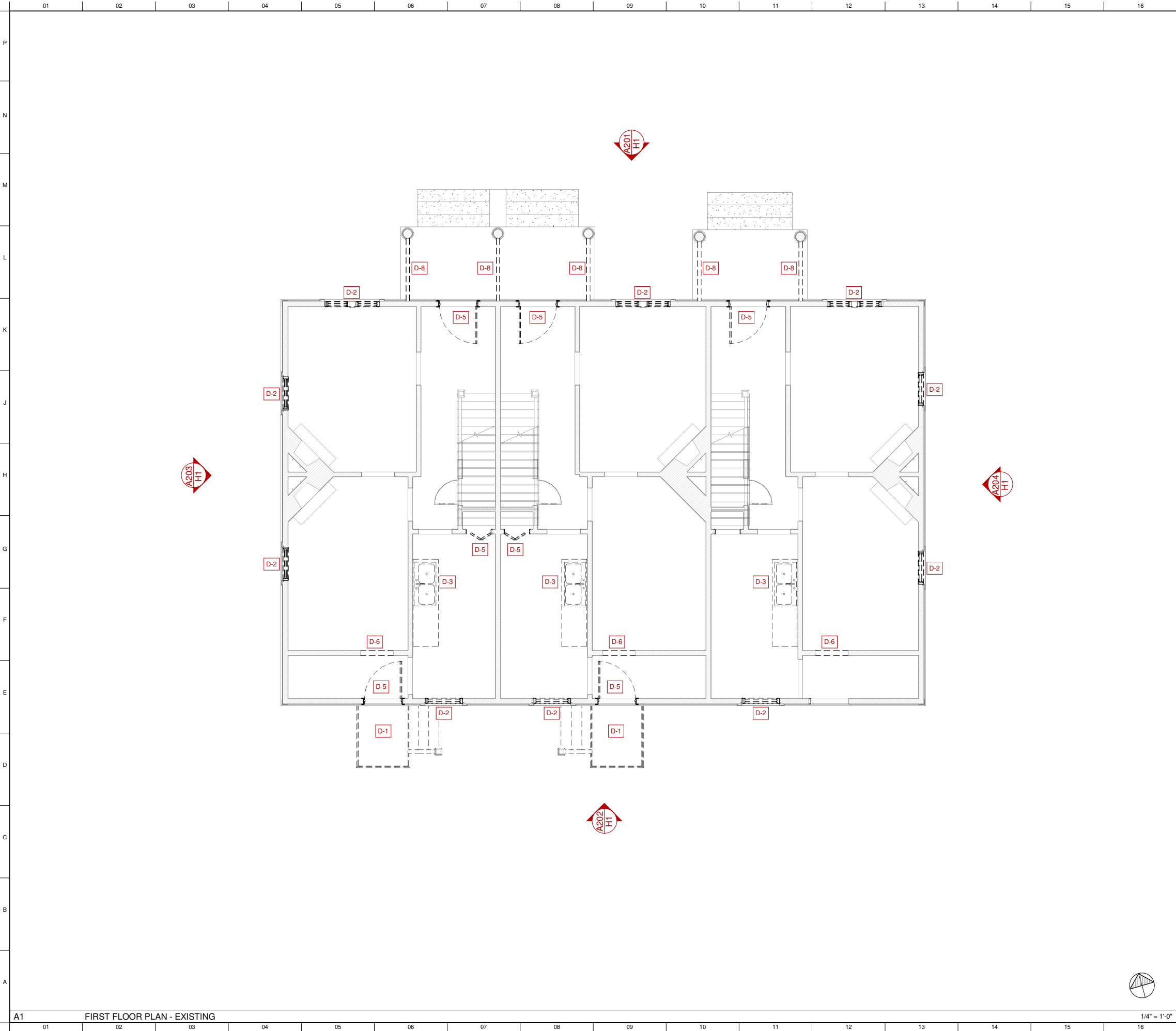


SITE PLAN

PROJECT NO. 2613.00
DATE 06.24.26
SHEET NO.

G101

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DEMO LEGEND	
	EXISTING PARTITION
	PARTITION / MATERIAL TO BE REMOVED
	FLOOR TO BE REMOVED

- GENERAL DEMOLITION NOTES**
- * BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL REQUIRED FEES BY THE CITY/COUNTY HAVING JURISDICTION. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF THE LOCAL AUTHORITIES.
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 - * IF NECESSARY, DISCONNECT ANY EXISTING ACTIVE UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. THE CONTRACTOR IS TO COORDINATE TEMPORARY UTILITIES WITH CITY, UTILITY COMPANIES, AND OWNER DURING THE COURSE OF CONSTRUCTION.
 - * ALL SHORING NECESSARY FOR TEMPORARY SUPPORT OF EXISTING WALLS, FLOORS, OR ROOFS DURING DEMOLITION SHALL BE PROVIDED AND DESIGNED BY THE CONTRACTOR.
 - * ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/STRUCTURE UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS NOTED OTHERWISE.
 - * DO NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

- DEMOLITION NOTES**
- D-1** REMOVE NON-HISTORIC STAIRS AND LANDING
 - D-2** REMOVE NON-HISTORIC WINDOW
 - D-3** REMOVE NON-HISTORIC PLUMBING FIXTURES
 - D-4** REMOVE NON-HISTORIC CLOSETS
 - D-5** REMOVE NON-HISTORIC DOOR
 - D-6** REMOVE PORTION OF WALL FOR NEW OR EXPANDED OPENING
 - D-7** REMOVE ROOFING. REPLACE/REPAIR DAMAGED OR MISSING SHEATHING
 - D-8** REMOVE NON-HISTORIC RAILING



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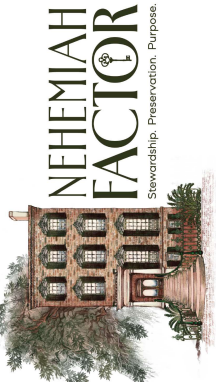
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**641-645 WEST
39TH STREET**

SAVANNAH, GA 31415



FIRST FLOOR PLAN -
EXISTING

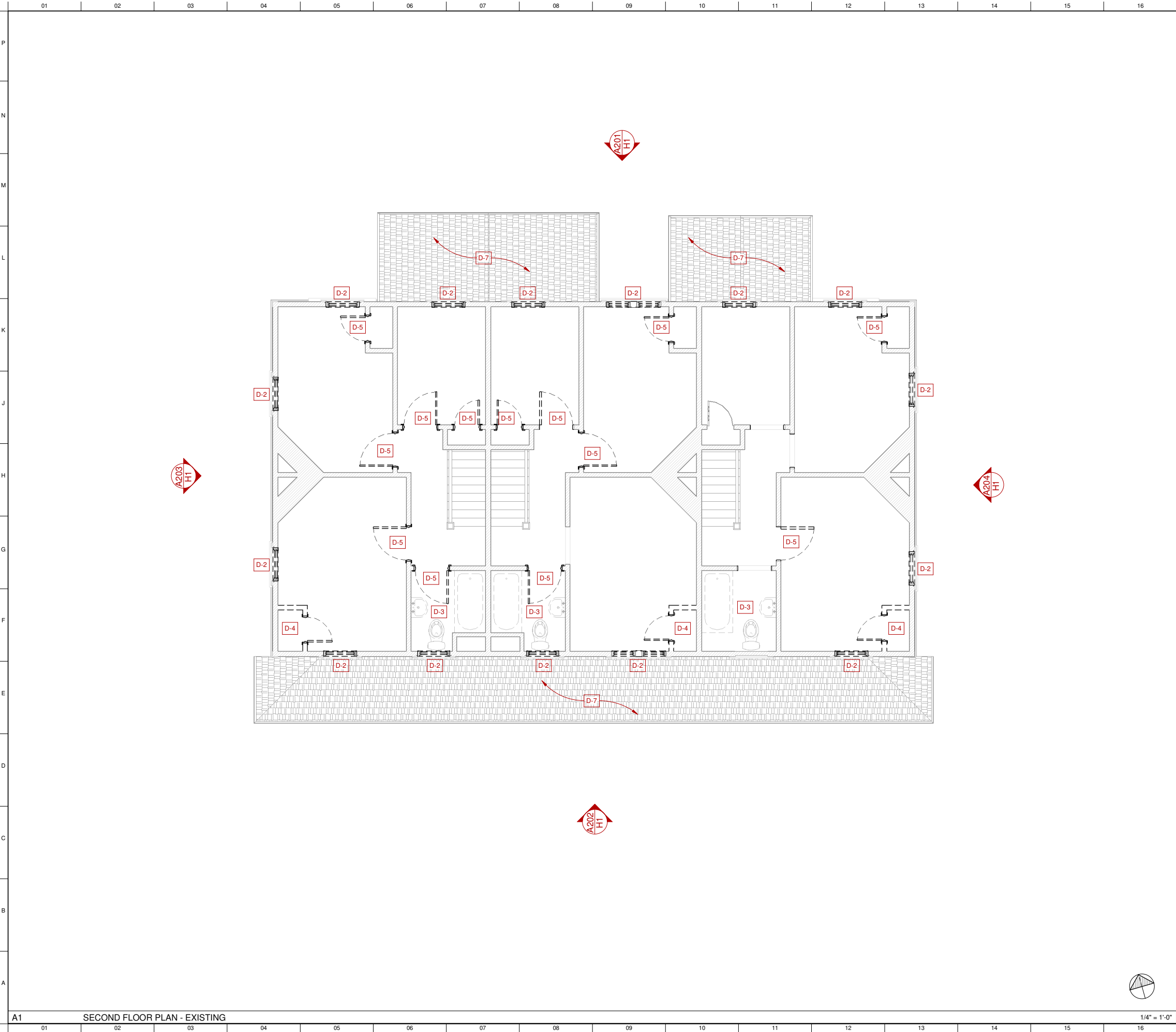
PROJECT NO. 2613.00

DATE 06.24.26

SHEET NO.

D101

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DEMO LEGEND	
	EXISTING PARTITION
	PARTITION / MATERIAL TO BE REMOVED
	FLOOR TO BE REMOVED

- GENERAL DEMOLITION NOTES
- *

BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL REQUIRED FEES BY THE CITY/COUNTY HAVING JURISDICTION. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF THE LOCAL AUTHORITIES.

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*

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*

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*

DO NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

- DEMOLITION NOTES
- D-1

REMOVE NON-HISTORIC STAIRS AND LANDING
- D-2

REMOVE NON-HISTORIC WINDOW
- D-3

REMOVE NON-HISTORIC PLUMBING FIXTURES
- D-4

REMOVE NON-HISTORIC CLOSETS
- D-5

REMOVE NON-HISTORIC DOOR
- D-6

REMOVE PORTION OF WALL FOR NEW OR EXPANDED OPENING
- D-7

REMOVE ROOFING. REPLACE/REPAIR DAMAGED OR MISSING SHEATHING
- D-8

REMOVE NON-HISTORIC RAILING



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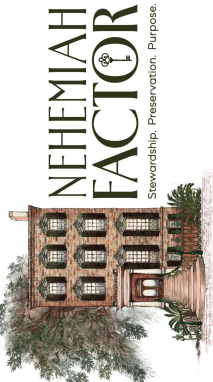
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SECOND FLOOR
PLAN - EXISTING

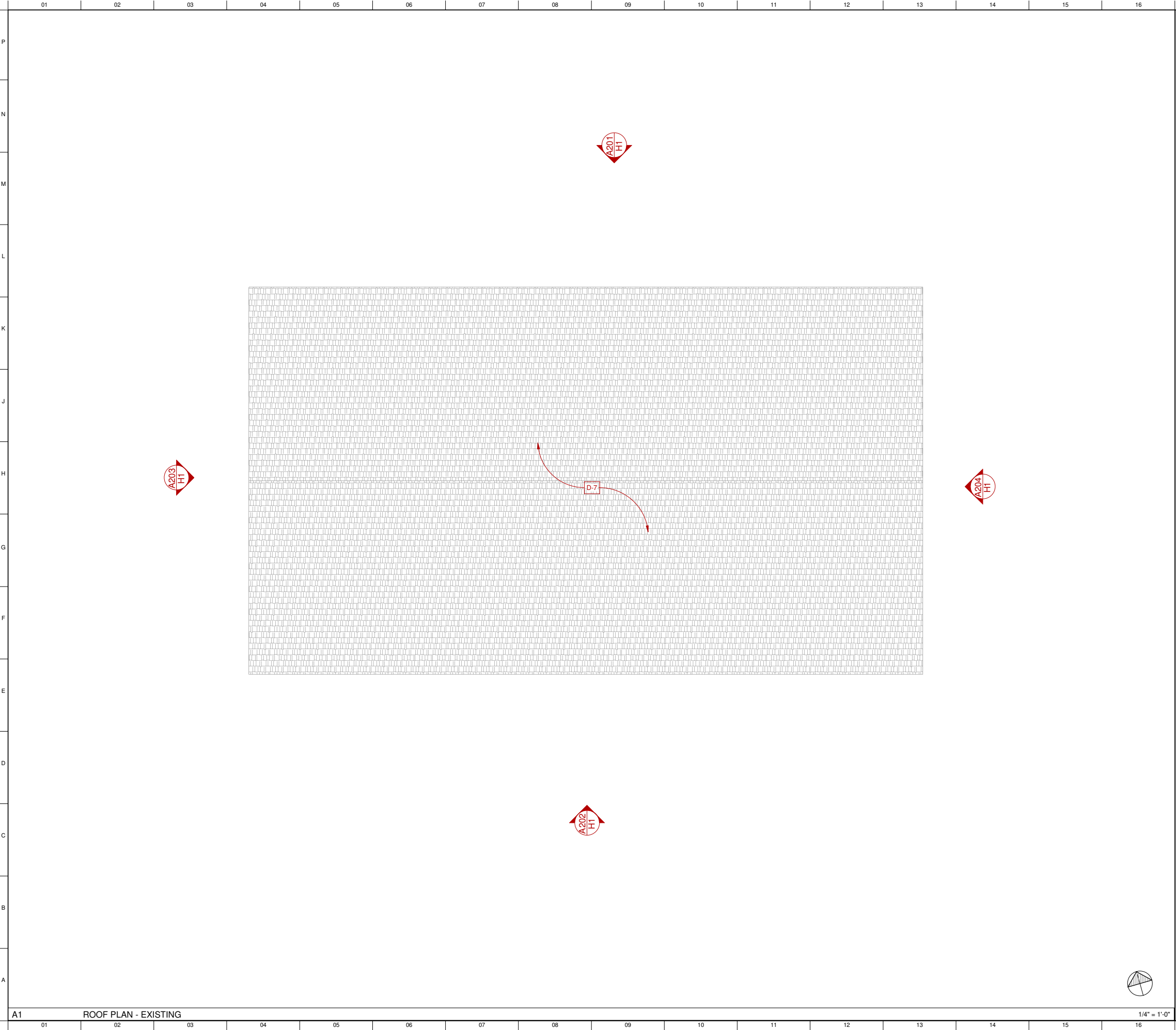
PROJECT NO. 2613.00

DATE 06.24.26

SHEET NO.

D102

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DEMO LEGEND	
	EXISTING PARTITION
	PARTITION / MATERIAL TO BE REMOVED
	FLOOR TO BE REMOVED

- GENERAL DEMOLITION NOTES
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- DEMOLITION NOTES
- D-1 REMOVE NON-HISTORIC STAIRS AND LANDING
 - D-2 REMOVE NON-HISTORIC WINDOW
 - D-3 REMOVE NON-HISTORIC PLUMBING FIXTURES
 - D-4 REMOVE NON-HISTORIC CLOSETS
 - D-5 REMOVE NON-HISTORIC DOOR
 - D-6 REMOVE PORTION OF WALL FOR NEW OR EXPANDED OPENING
 - D-7 REMOVE ROOFING. REPLACE/REPAIR DAMAGED OR MISSING SHEATHING
 - D-8 REMOVE NON-HISTORIC RAILING



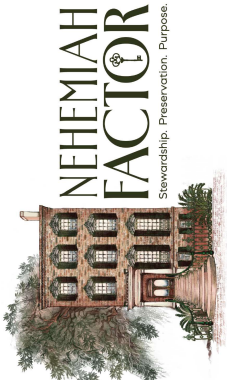
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39TH STREET

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ROOF PLAN -
EXISTING

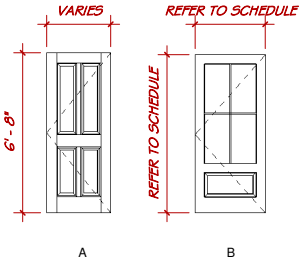
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SHEET NO.

D103

DOOR SCHEDULE								
DOOR	ROOM NAME	WIDTH	HEIGHT	DOOR		FRAME		COMMENTS
				TYPE	MATERIAL	TYPE	MATERIAL	
1A	FOYER	3' - 0"	6' - 8"	A	WD		WD	
1B	KITCHEN	3' - 1 7/16"	6' - 10"	B	WD/GLASS		WD	
1C	LAUNDRY	2' - 10"	6' - 8"	A	WD		WD	
1D	KITCHEN	2' - 0"	6' - 8"	A	WD		WD	
1E	BATHROOM	2' - 8"	6' - 8"	A	WD		WD	
1F	BEDROOM 1	2' - 8"	6' - 8"	A	WD		WD	
1G	CLOSET	2' - 0"	6' - 8"	A	WD		WD	
1H	BEDROOM 2	2' - 8"	6' - 8"	A	WD		WD	
1I	BEDROOM 3	2' - 8"	6' - 8"	A	WD		WD	
1J	CLOSET	2' - 0"	6' - 8"	A	WD		WD	
3A	FOYER	3' - 0"	6' - 8"	A	WD		WD	
3B	KITCHEN	3' - 1 7/16"	6' - 10"	B	WD/GLASS		WD	
3C	LAUNDRY	2' - 10"	6' - 8"	A	WD		WD	
3D	KITCHEN	2' - 0"	6' - 8"	A	WD		WD	
3E	BATHROOM	2' - 8"	6' - 8"	A	WD		WD	
3F	BEDROOM 1	2' - 8"	6' - 8"	A	WD		WD	
3G	CLOSET	2' - 0"	6' - 8"	A	WD		WD	
3H	BEDROOM 2	2' - 8"	6' - 8"	A	WD		WD	
3I	BEDROOM 3	2' - 8"	6' - 8"	A	WD		WD	
3J	CLOSET	2' - 0"	6' - 8"	A	WD		WD	
3K	CLOSET	2' - 0"	6' - 8"	A	WD		WD	
5A	FOYER	3' - 0"	6' - 8"	A	WD		WD	
5B	FOYER	3' - 1 7/16"	6' - 10"	B	WD/GLASS		WD	
5C	LAUNDRY	2' - 10"	6' - 8"	A	WD		WD	
5D	KITCHEN	2' - 0"	6' - 8"	A	WD		WD	
5E	BATHROOM	2' - 8"	6' - 8"	A	WD		WD	
5F	BEDROOM 1	2' - 8"	6' - 8"	A	WD		WD	
5G	CLOSET	2' - 0"	6' - 8"	A	WD		WD	
5H	BEDROOM 2	2' - 8"	6' - 8"	A	WD		WD	
5I	BEDROOM 3	2' - 8"	6' - 8"	A	WD		WD	
5J	CLOSET	2' - 0"	6' - 8"	A	WD		WD	
5K	CLOSET	2' - 0"	6' - 8"	A	WD		WD	

DOOR NOTES

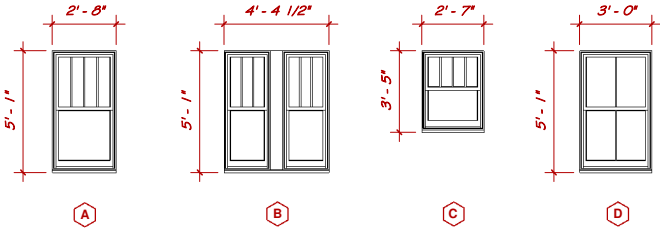
1. COORDINATE FRAME, JAMB, HEAD, AND SILL WIDTH WITH ACTUAL WALL WIDTH/SIZE.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROUGH OPENINGS.
3. MANUFACTURER TO VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION.
4. CONTRACTOR TO REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
5. COORDINATE KEYING WITH OWNER.
6. ALL EXTERIOR DOORS WITH GLASS TO HAVE 7/8" MAX. MUNTINS, SIMULATING TRADITIONAL PUTTY GLAZE.
7. ALL EXTERIOR DOORS IN MASONRY OPENINGS TO BE SET BACK A MINIMUM 3" FROM FACE OF BUILDING.



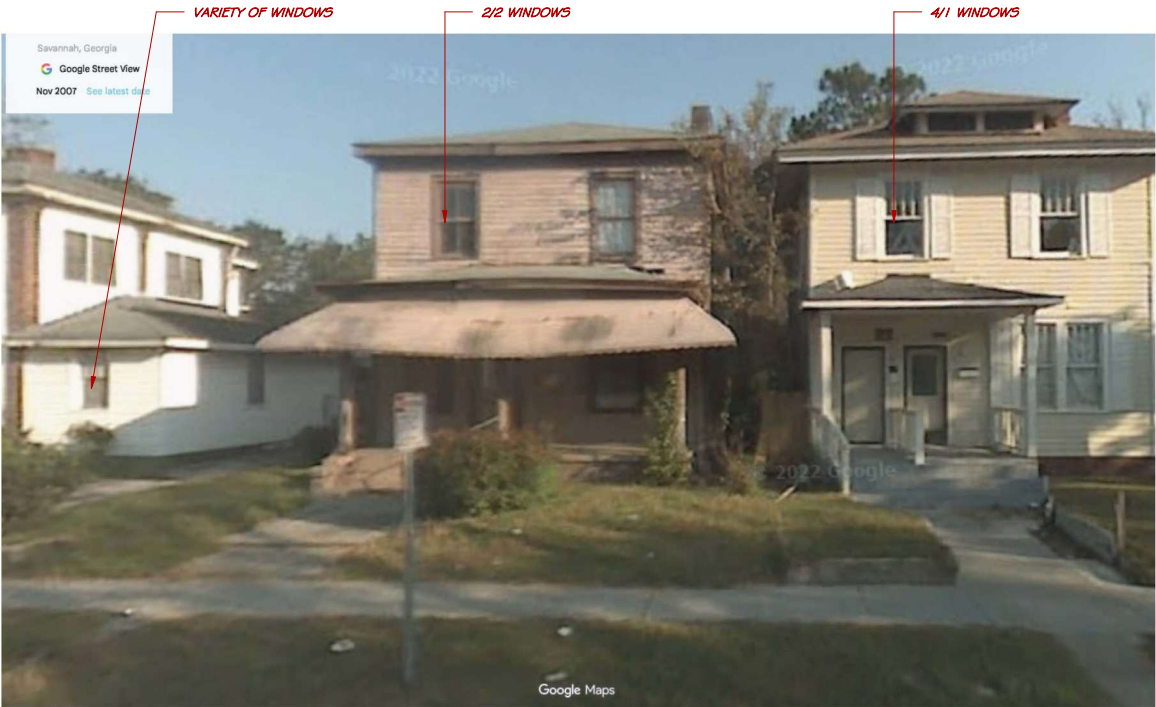
WINDOW SCHEDULE						
WINDOW	COUNT	WIDTH	HEIGHT	DESCRIPTION	LIGHT CONF.	COMMENTS
A	15	2' - 8"	4' - 11 1/2"	DOUBLE HUNG	4/1	
B	5	4' - 4 1/2"	4' - 11 1/2"	DOUBLE HUNG	3/1	
C	3	2' - 7"	3' - 3 1/2"	DOUBLE HUNG	4/1	
D	3	3' - 0"	4' - 11 1/2"	DOUBLE HUNG	2/2	

WINDOW NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROUGH OPENINGS.
2. MANUFACTURER TO VERIFY ROUGH OPENING DIMENSIONS PRIOR TO WINDOW FABRICATION.
3. ALL INTERIOR GLAZING TO BE TEMPERED.
4. CONTRACTOR TO REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
5. CONTRACTOR TO VERIFY EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS ARE MET PER IRC R310.1.
6. ALL WINDOWS TO HAVE 7/8" MAX. MUNTINS, SIMULATING TRADITIONAL PUTTY GLAZE.
7. ALL WINDOWS IN MASONRY OPENINGS TO BE SET BACK A MINIMUM 3" FROM FACE OF BUILDING.
8. THE LOWER SASH RAILS SHALL BE WIDER THAN THE MEETING AND TOP RAILS. THERE SHALL BE A SPACER BAR BETWEEN DOUBLE PANES OF GLASS.
9. ALL WINDOWS TO BE CUSTOM BUILT WOOD OPERABLE DOUBLE-HUNG.



636-640 WEST 39TH (ADJACENT HOUSES)



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912.596.4882

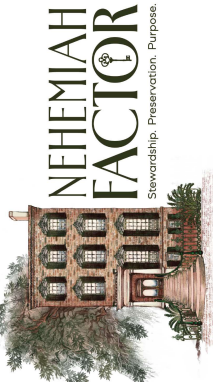
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HPC DRAWINGS

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SAVANNAH, GA 31415



DOOR AND WINDOW
SCHEDULE

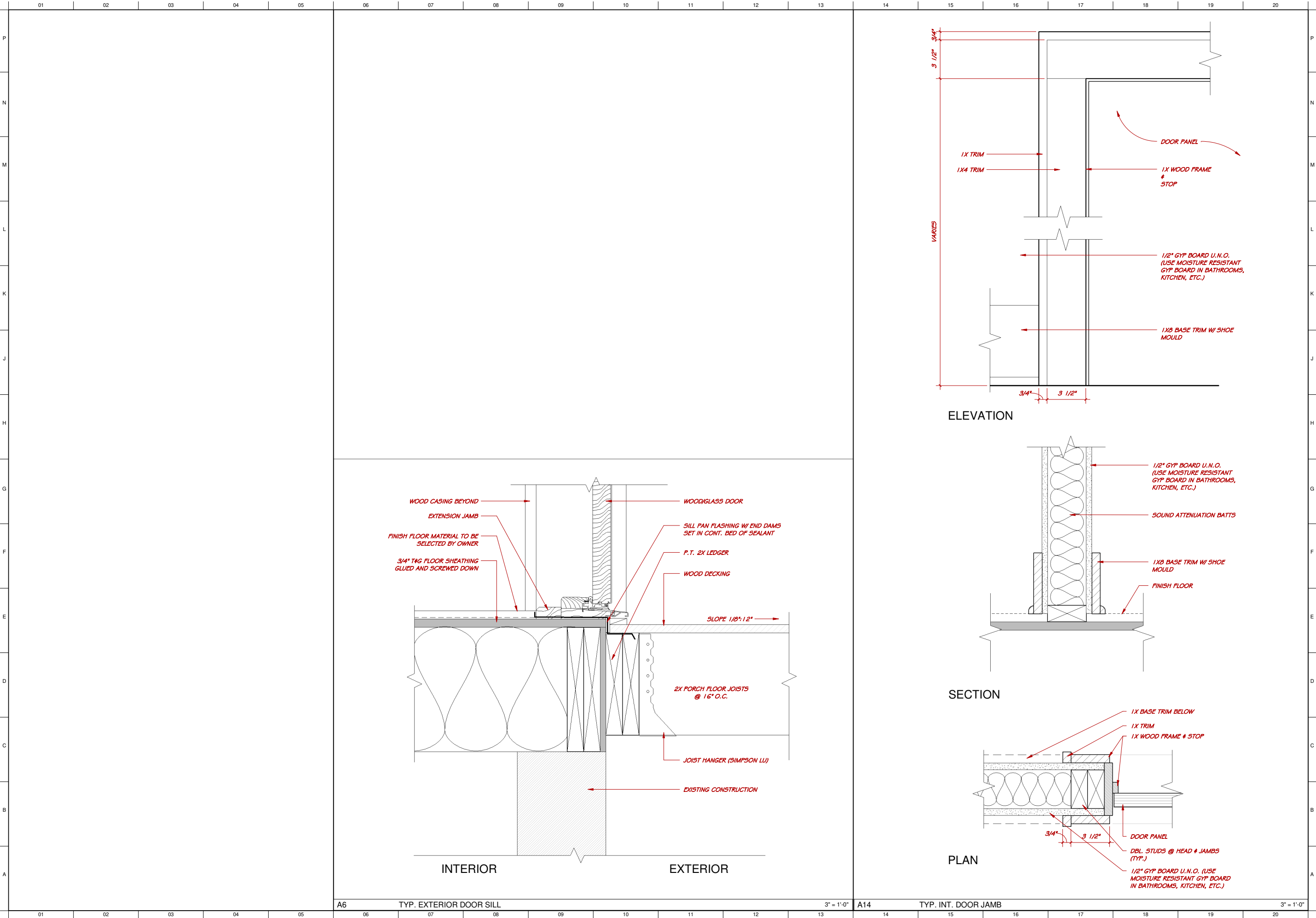
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SHEET NO.

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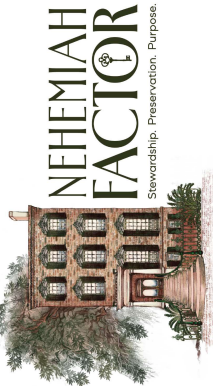


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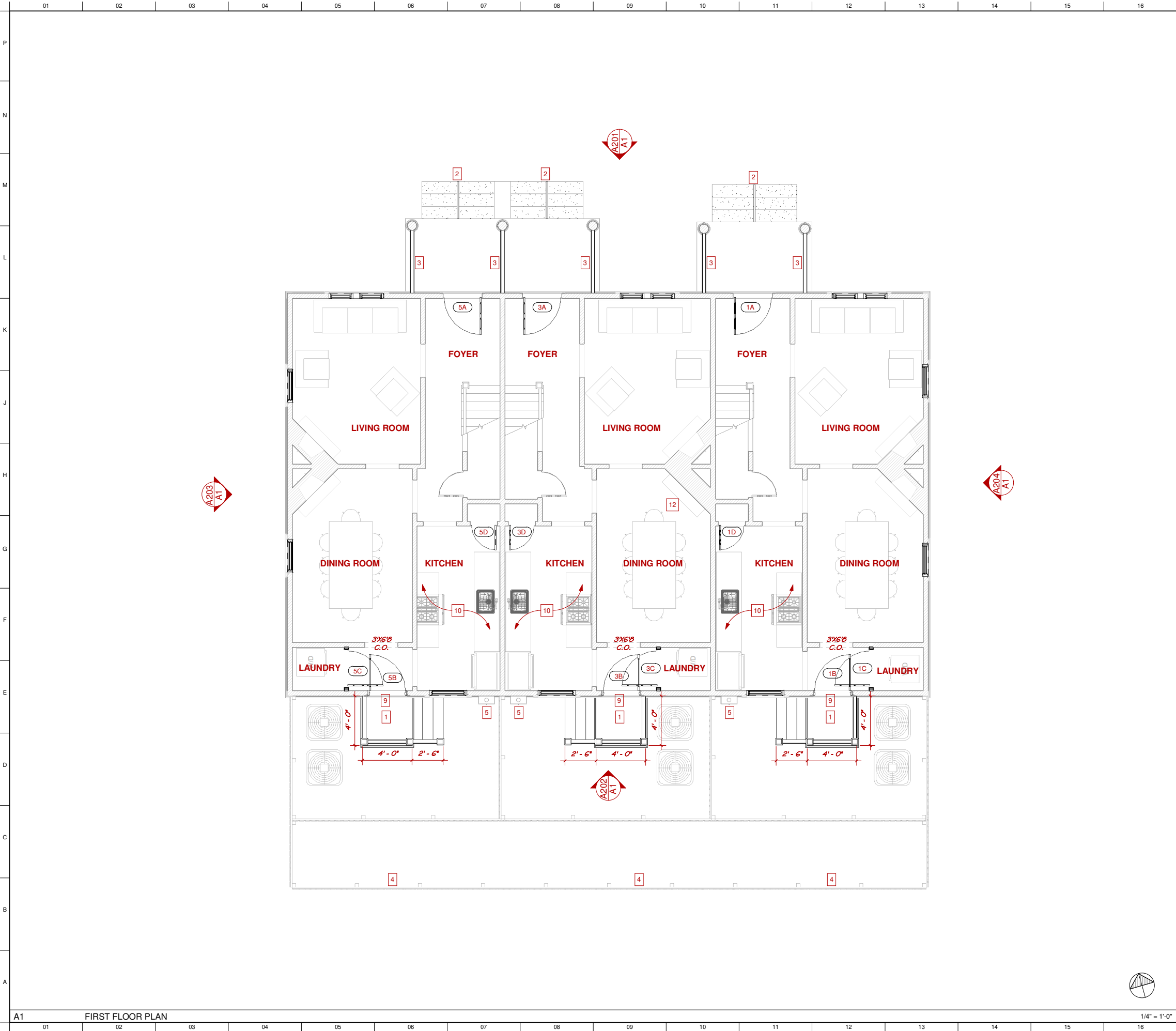
DOOR DETAILS

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DATE 06.24.26

SHEET NO.

A002



LEGEND

NEW PARTITION

GENERAL NOTES

- * ALL EXTERIOR WOOD TRIM AND/OR FIBER CEMENT SIDING, TO BE PRIMED AND PAINTED. CLIENT TO SELECT PAINT COLORS. ALL FIBER CEMENT TO BE SMOOTH, NOT TEXTURED.
- * ALL PLUMBING FIXTURES, CABINETRY, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER/ARCHITECT. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.
- * ALL WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS. INSET WINDOW FRAME MIN. 3" FROM EXTERIOR FACE WHEN INSTALLED IN STUCCO OR MASONRY BUILDING.
- * ALL INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH UNLESS NOTED OTHERWISE (USE MOISTURE RESISTANT GYP BOARD IN BATHROOMS, WET BAR, LAUNDRY, AND KITCHEN, ETC.)
- * ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/STRUCTURE UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS NOTED OTHERWISE.
- * DO NOT TO SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

NOTES

- 1 INSTALL PAINTED P.T. WOOD STAIR (7-3/4" MAX. RISER, 10" MIN. TREAD W/ 2'-10" HIGH RAILING) W/ 6" SQUARE NEWEL POST W/ CAP AND BASE TRIM. HEAVY GAUGE SQUARE WOOD LATTICE BELOW
- 2 INSTALL METAL HANDRAIL (2'-10" HIGH RAILING)
- 3 INSTALL WOOD RAILING (3'-0" HIGH RAILING)
- 4 REFUSE/HVAC LOCATION
- 5 INSTALL TANKLESS WATER HEATER
- 6 INSTALL ARCHITECTURAL ASPHALT SHINGLE ROOF OVER ICE & WATER SHIELD (OWENS CORNING "DURATION - QUARRY GRAY" OR APPROVED EQUAL)
- 7 INSTALL WOOD LOUVER GABLE VENT W/ TRIM TO MATCH HISTORIC
- 8 INSTALL WOOD DECORATIVE BRACKET. SEE DETAIL
- 9 INSTALL DOOR TRIM TO MATCH HISTORIC
- 10 INSTALL CABINETRY, COUNTERTOPS, AND FIXTURES AS SELECTED BY CLIENT
- 11 INSTALL WOOD CLOSET SYSTEM AS SELECTED BY OWNER
- 12 INSTALL WOOD MANTEL TO MATCH EXISTING 'IN KIND'



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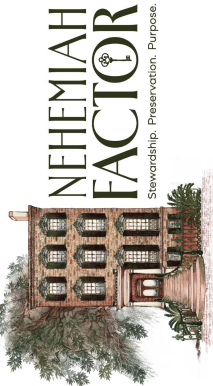
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FIRST FLOOR PLAN

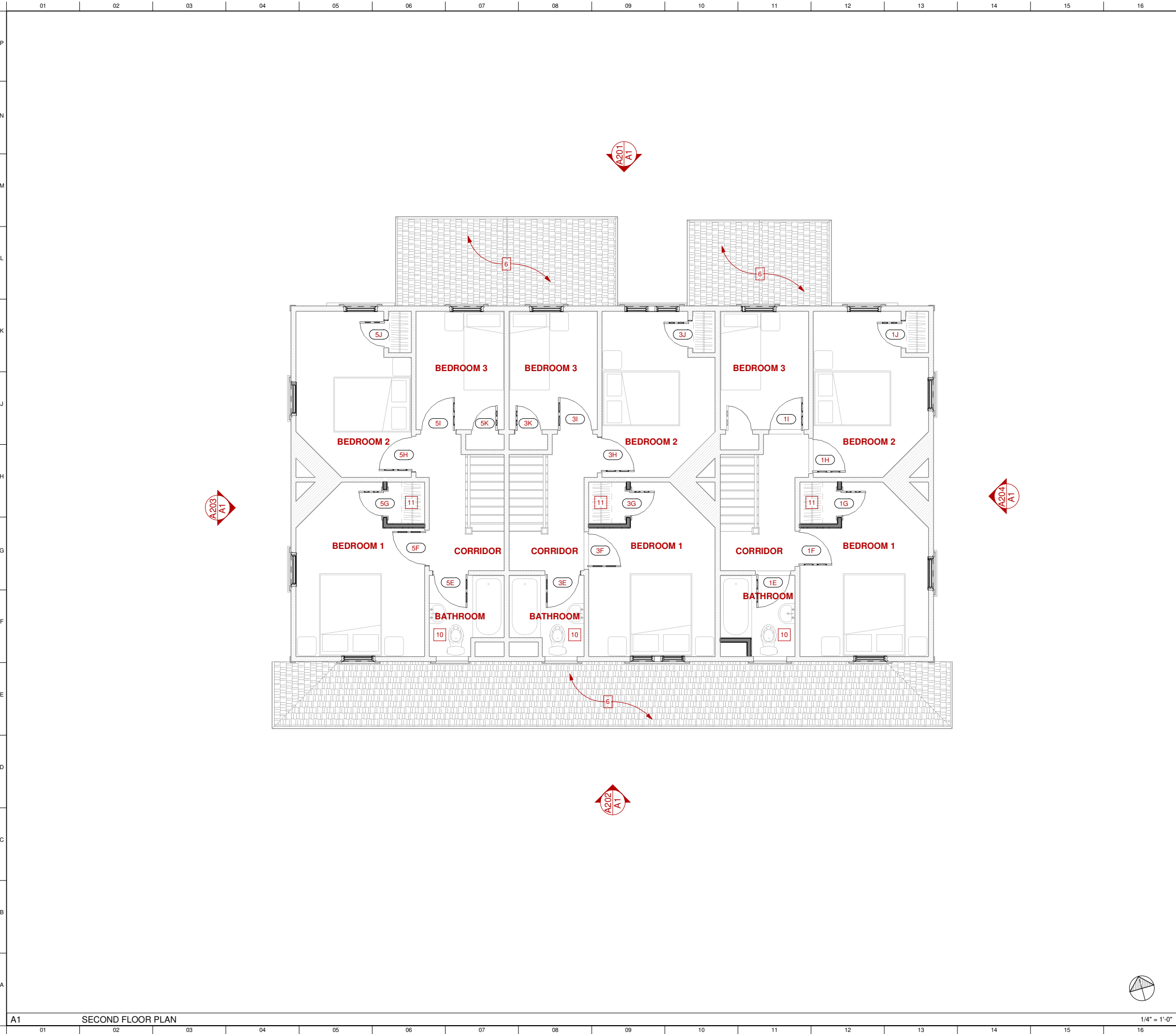
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LEGEND

NEW PARTITION

GENERAL NOTES

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NOTES

1

INSTALL PAINTED P.T. WOOD STAIR (7-3/4" MAX. RISER, 10" MIN. TREAD W/ 2'-10" HIGH RAILING) W/ 6" SQUARE NEWEL POST W/ CAP AND BASE TRIM. HEAVY GAUGE SQUARE WOOD LATTICE BELOW

2

INSTALL METAL HANDRAIL (2'-10" HIGH RAILING)

3

INSTALL WOOD RAILING (3'-0" HIGH RAILING)

4

REFUSE/HVAC LOCATION

5

INSTALL TANKLESS WATER HEATER

6

INSTALL ARCHITECTURAL ASPHALT SHINGLE ROOF OVER ICE & WATER SHIELD (OWENS CORNING "DURATION - QUARRY GRAY" OR APPROVED EQUAL)

7

INSTALL WOOD LOUVER GABLE VENT W/ TRIM TO MATCH HISTORIC

8

INSTALL WOOD DECORATIVE BRACKET. SEE DETAIL

9

INSTALL DOOR TRIM TO MATCH HISTORIC

10

INSTALL CABINETRY, COUNTERTOPS, AND FIXTURES AS SELECTED BY CLIENT

11

INSTALL WOOD CLOSET SYSTEM AS SELECTED BY OWNER

12

INSTALL WOOD MANTEL TO MATCH EXISTING 'IN KIND'



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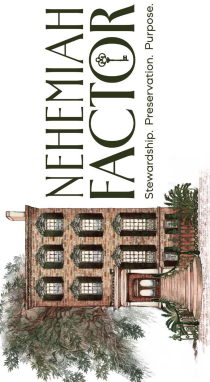
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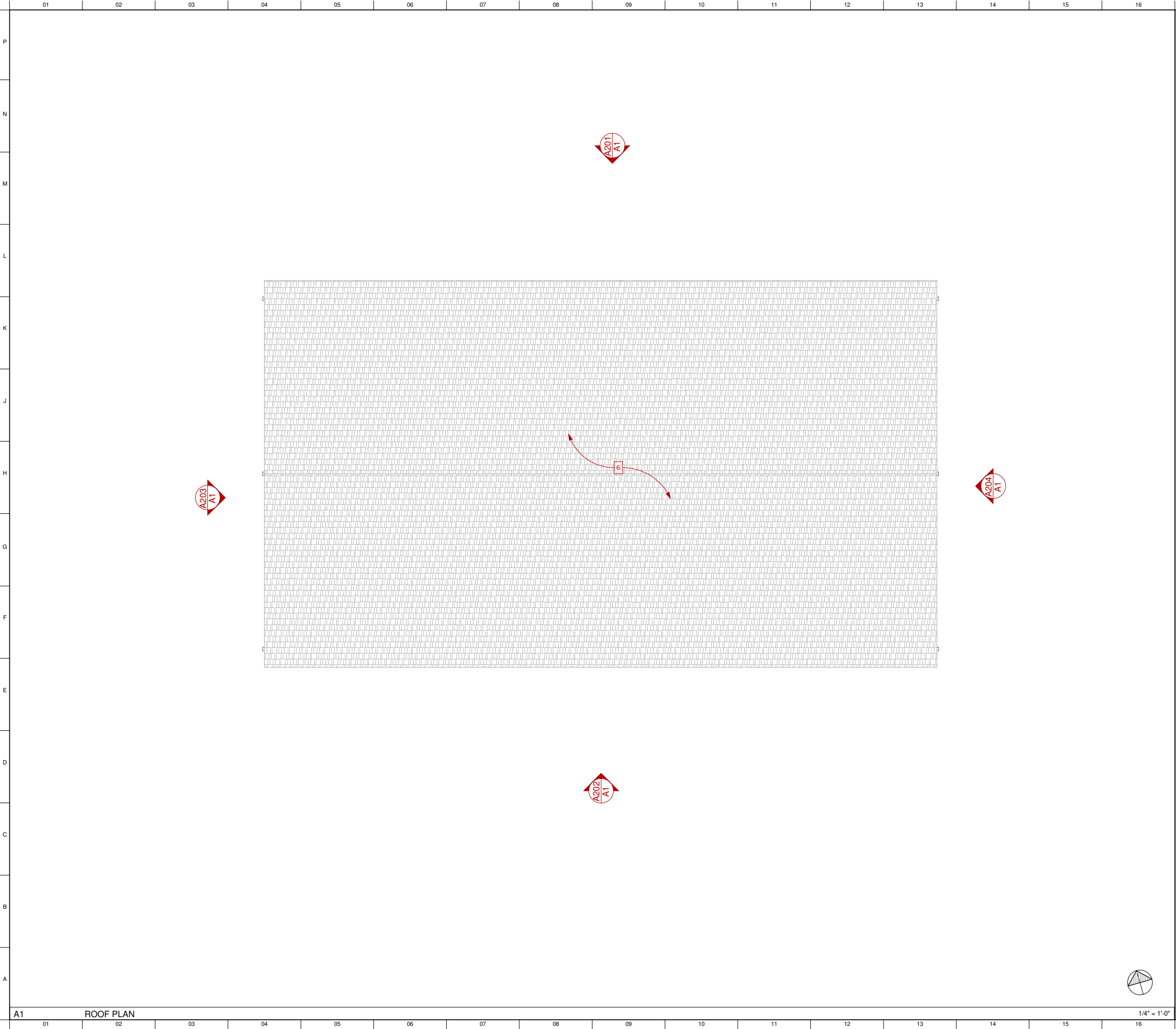
SECOND FLOOR PLAN

PROJECT NO. 2613.00

DATE 06.24.26

SHEET NO.

A102



LEGEND

NEW PARTITION

GENERAL NOTES

- * ALL EXTERIOR WOOD TRIM AND/OR FIBER CEMENT SIDING, TO BE PRIMED AND PAINTED. CLIENT TO SELECT PAINT COLORS. ALL FIBER CEMENT TO BE SMOOTH, NOT TEXTURED.
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NOTES

1

INSTALL PAINTED P.T. WOOD STAIR (7-3/4" MAX. RISER, 10" MIN. TREAD W/ 2'-10" HIGH RAILING) W/ 6" SQUARE NEWEL POST W/ CAP AND BASE TRIM. HEAVY GAUGE SQUARE WOOD LATTICE BELOW

2

INSTALL METAL HANDRAIL (2'-10" HIGH RAILING)

3

INSTALL WOOD RAILING (3'-0" HIGH RAILING)

4

REFUSE/HVAC LOCATION

5

INSTALL TANKLESS WATER HEATER

6

INSTALL ARCHITECTURAL ASPHALT SHINGLE ROOF OVER ICE & WATER SHIELD (OWENS CORNING "DURATION - QUARRY GRAY" OR APPROVED EQUAL)

7

INSTALL WOOD LOUVER GABLE VENT W/ TRIM TO MATCH HISTORIC

8

INSTALL WOOD DECORATIVE BRACKET. SEE DETAIL

9

INSTALL DOOR TRIM TO MATCH HISTORIC

10

INSTALL CABINETY, COUNTERTOPS, AND FIXTURES AS SELECTED BY CLIENT

11

INSTALL WOOD CLOSET SYSTEM AS SELECTED BY OWNER

12

INSTALL WOOD MANTEL TO MATCH EXISTING 'IN KIND'



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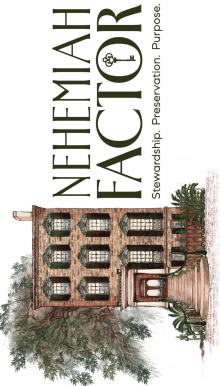
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ROOF PLAN

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+preservation

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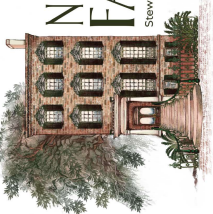
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NEHEMIAH
FACTOR
Stewardship. Preservation. Purpose.



NORTH ELEVATION

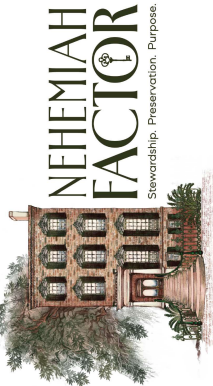
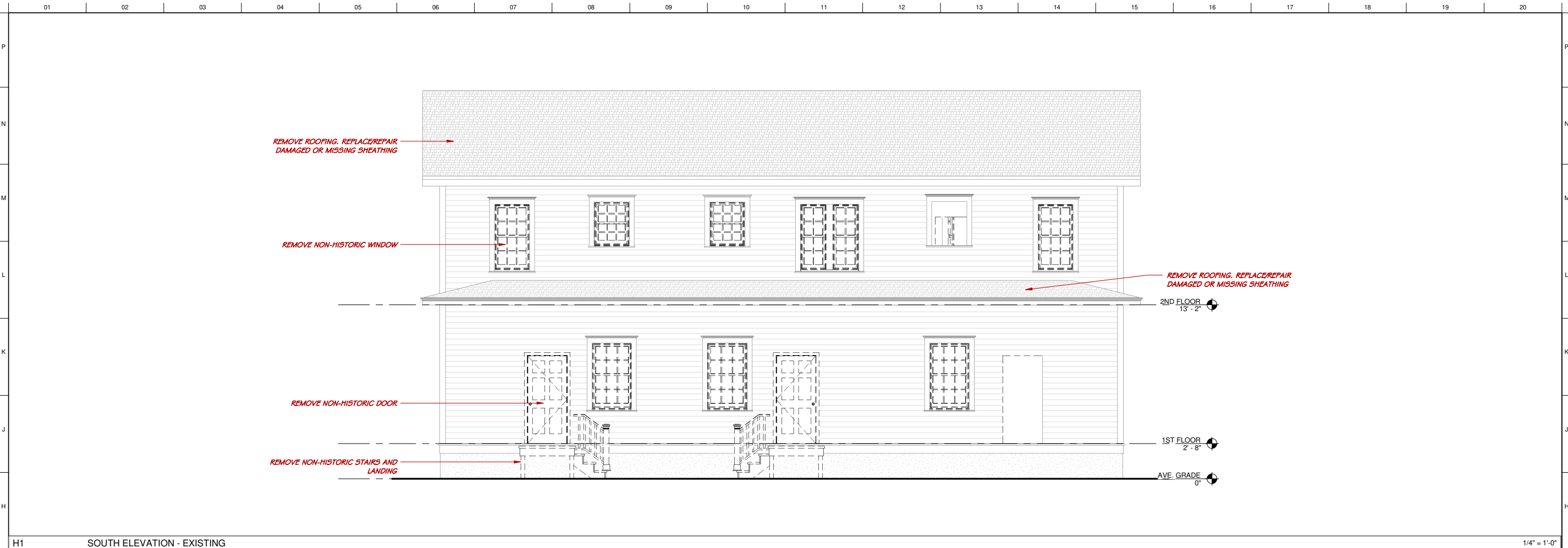
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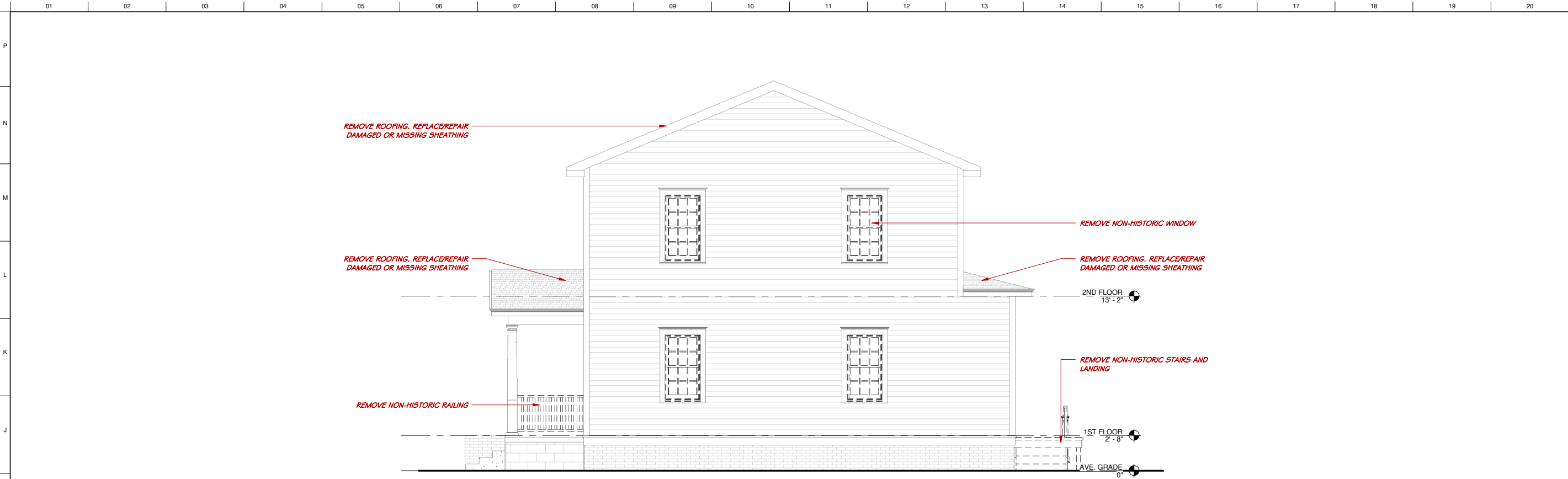
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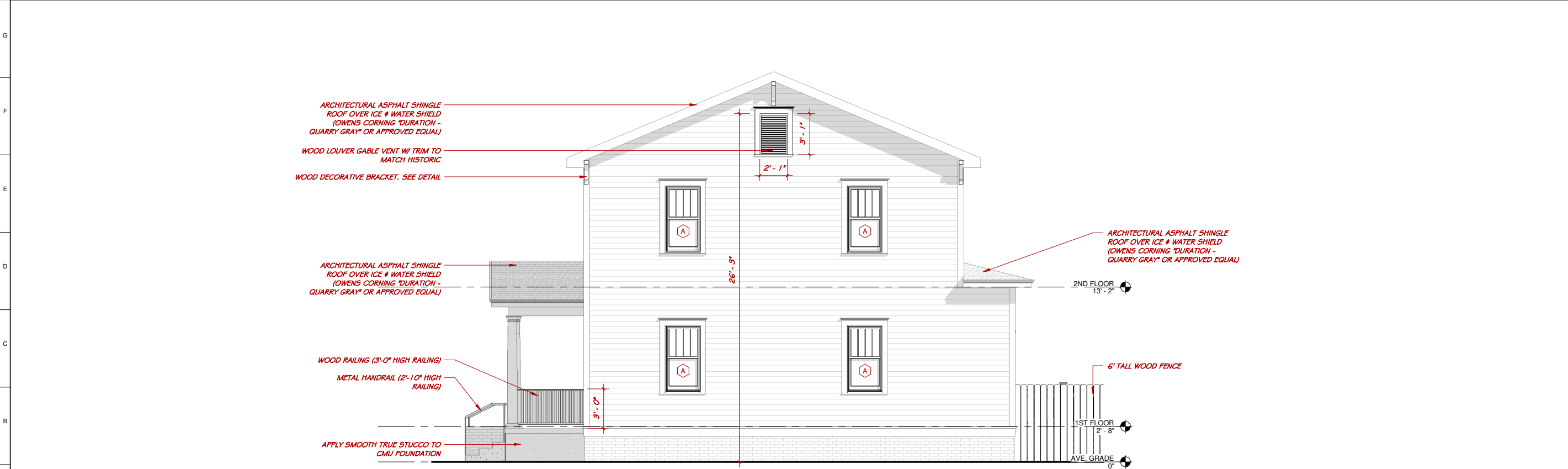
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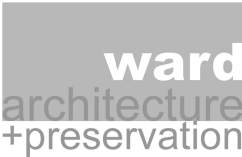




H1 WEST ELEVATION - EXISTING 1/4" = 1'-0"



A1 WEST ELEVATION 1/4" = 1'-0"



625 EAST 44TH STREET
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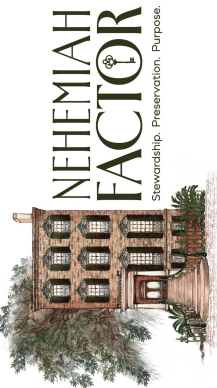
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**641-645 WEST
39TH STREET**

SAVANNAH, GA 31415



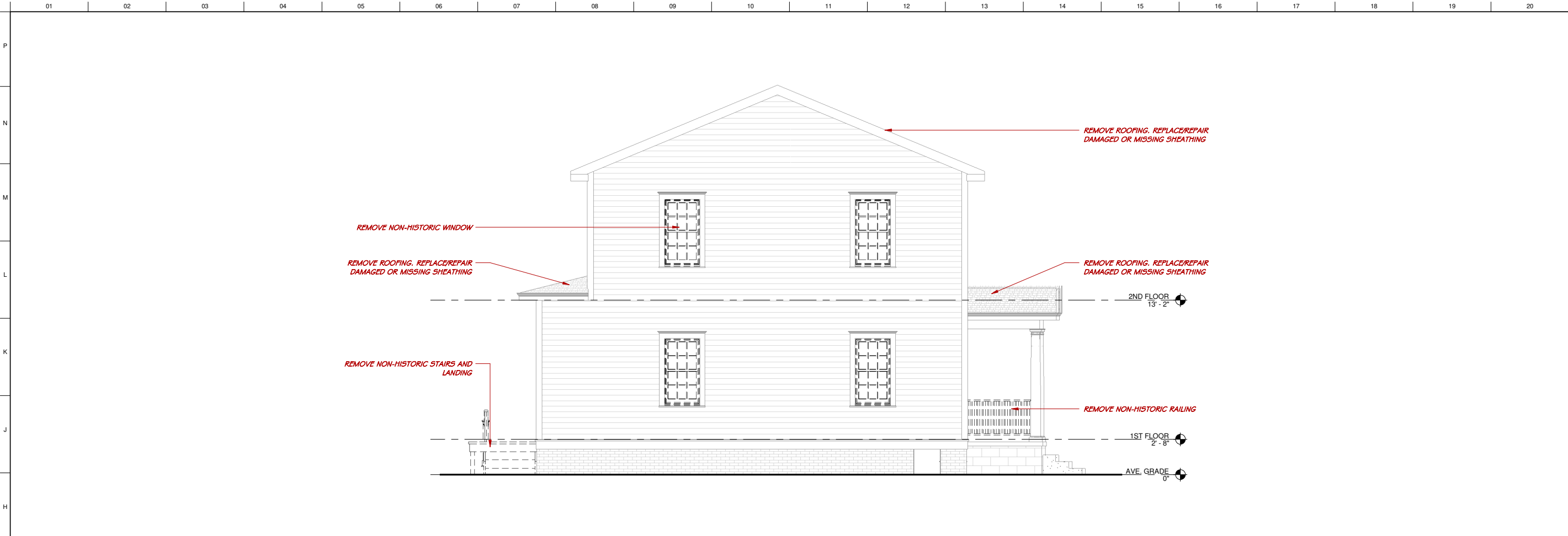
WEST ELEVATION

PROJECT NO. 2613.00

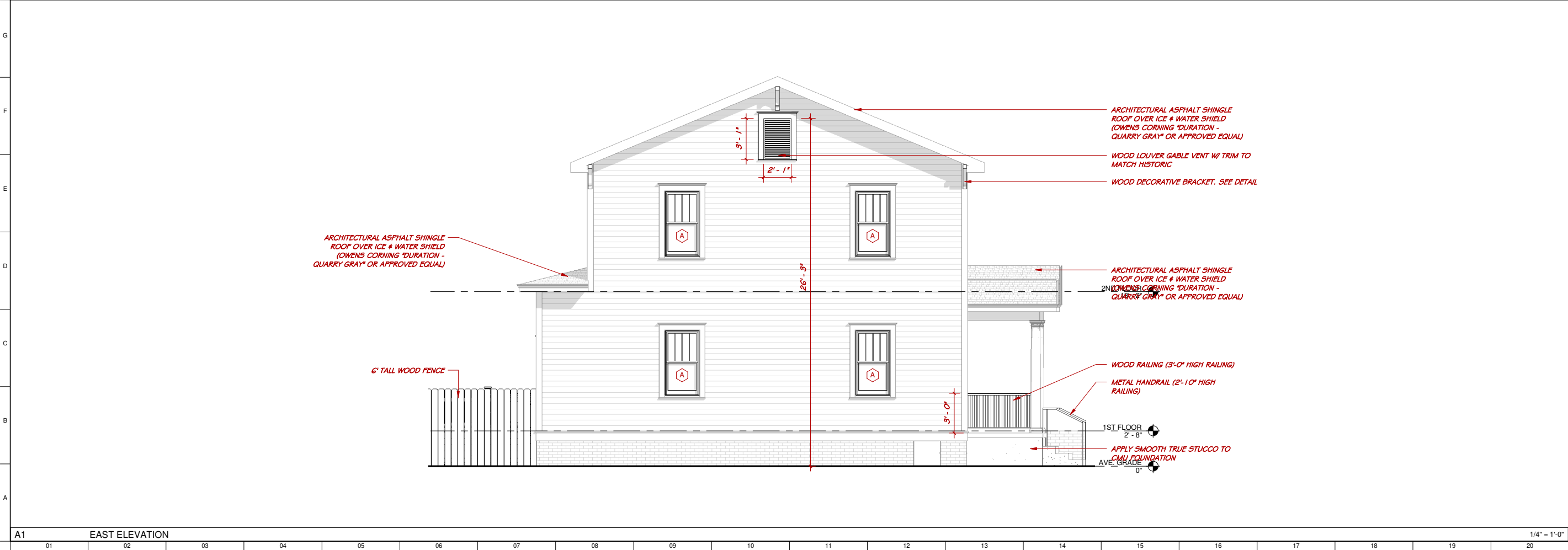
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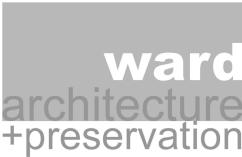
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H1 EAST ELEVATION - EXISTING 1/4" = 1'-0"



A1 EAST ELEVATION 1/4" = 1'-0"



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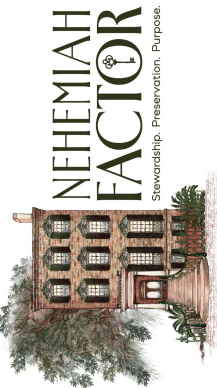
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SAVANNAH, GA 31415



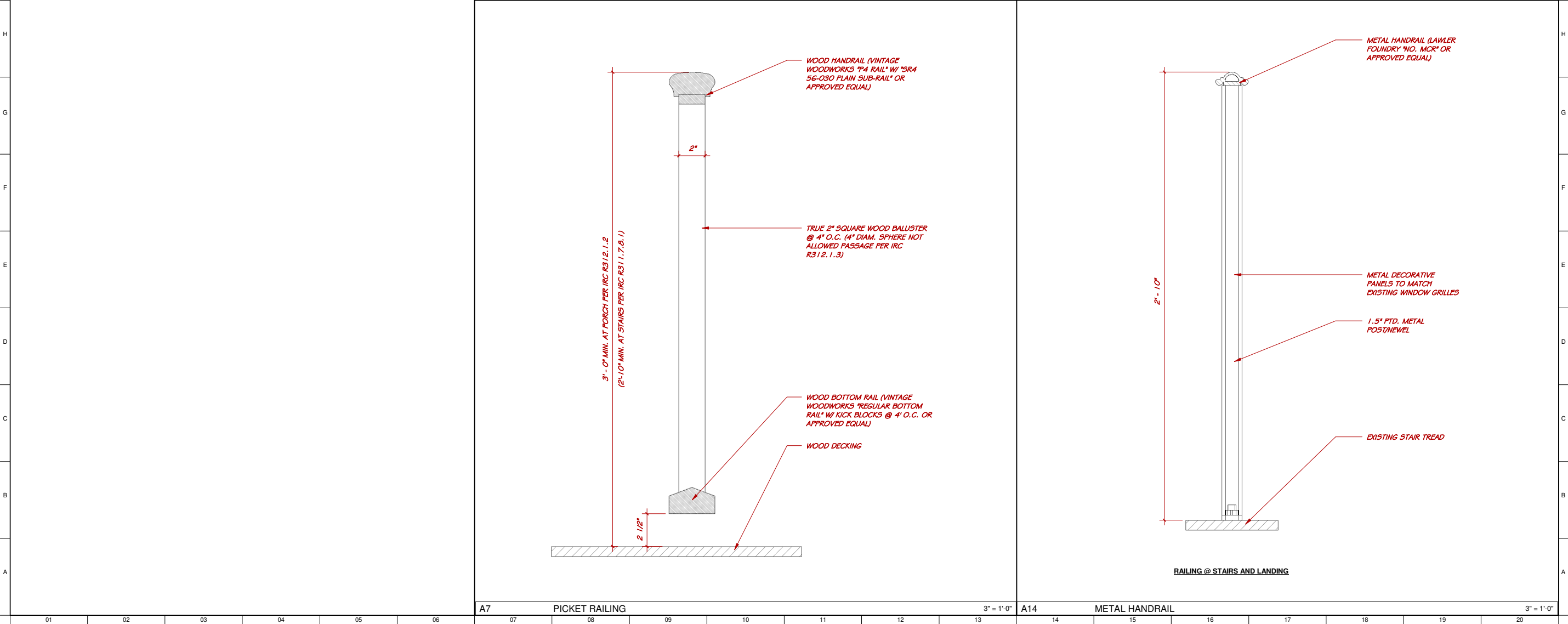
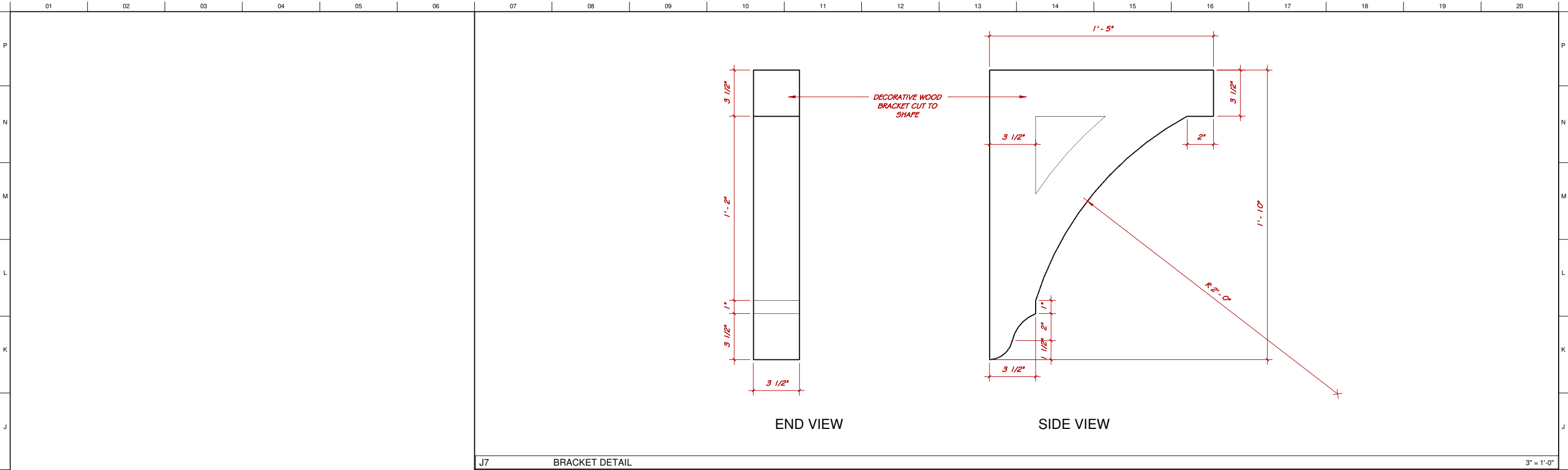
EAST ELEVATION

PROJECT NO. 2613.00

DATE 06.24.26

SHEET NO.

A204



625 EAST 44TH STREET
SAVANNAH, GA 31405
912.596.4882

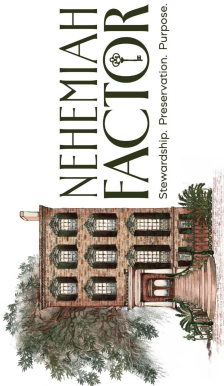
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HPC DRAWINGS

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SAVANNAH, GA 31415



DETAILS

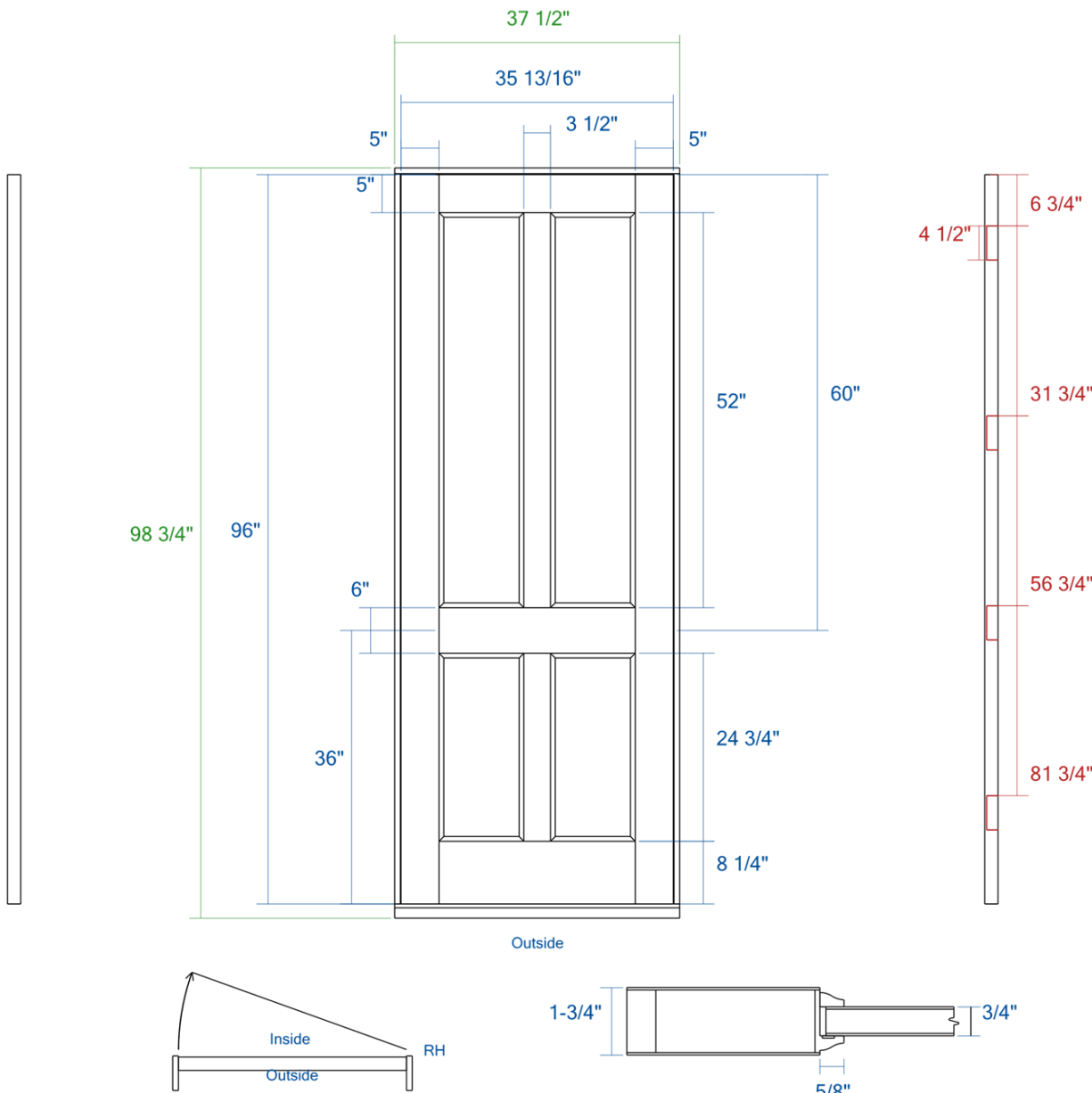
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Entry Door Details

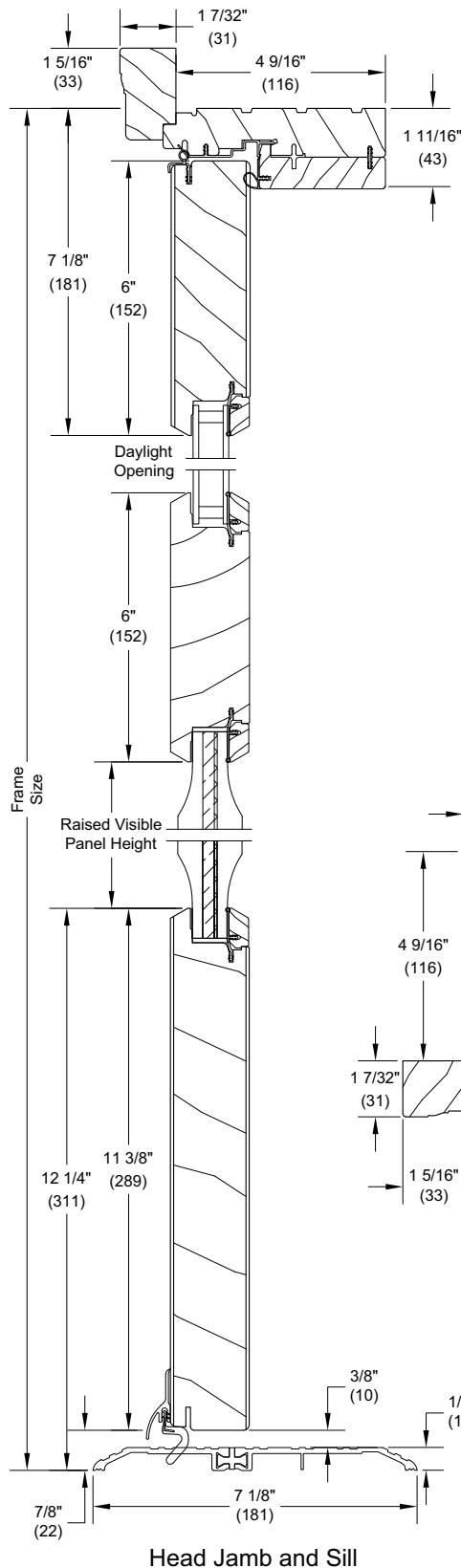


Door Style	Sticking	Panel	Material	Glass / Insert	Product Type
TS4000	OG	C	Mahogany		Entry System

Wood Commercial Door

1 3/4" Commercial Section Details: Raised Panel Placement

Scale: 3" = 1' 0"

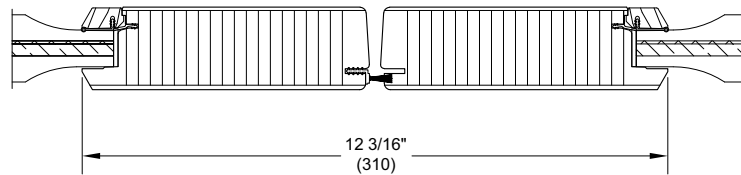


Raised Panel - Standard Configuration / Low Placement

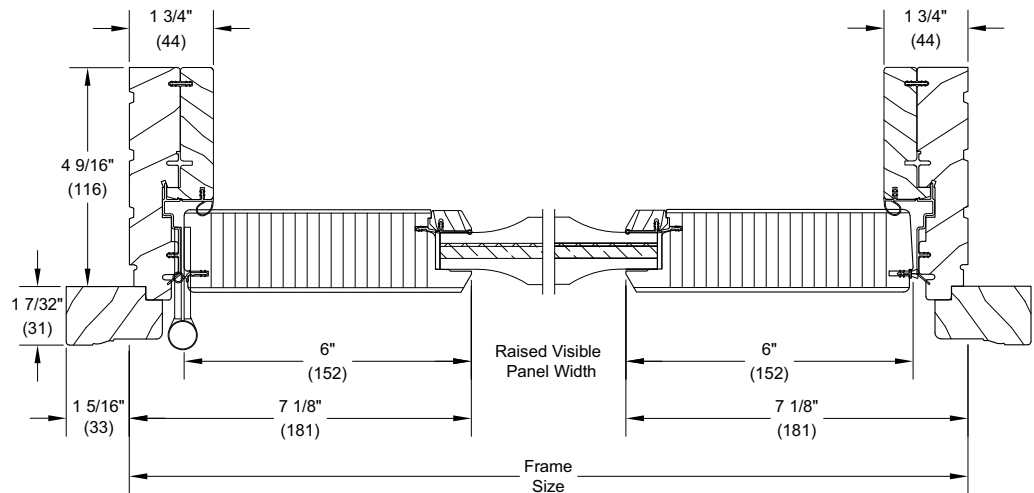
6" intermediate rail placed 26" (660) O.C. from bottom of the door sill with 10 13/16" (275) visible panel height.

Raised Panel - Standard Configuration / High Placement

6" intermediate rail placed 40 5/16" (1024) O.C. from bottom of the door sill with 25 1/8" (638) visible panel height.



XX - Meeting Stiles



X - LHR - Jamb

DEEP DIMENSION OUTSTANDING PERFORMANCE

Duration® Shingles offer:

- The high-performance of SureNail® Technology
- A TruDefinition® Color Platform
- A Limited Lifetime Warranty*[‡] for as long as you own your home
- The protection of a 130-MPH* wind warranty
- StreakGuard™ Protection with a 25-year Algae Resistance Limited Warranty^{3/§}

UNA NUEVA DIMENSIÓN DESEMPEÑO SOBRESALIENTE

Las tejas Duration® ofrecen:

- El gran desempeño de la tecnología SureNail®
- La gama de colores TruDefinition®
- Una garantía limitada de por vida*[‡] mientras sea propietario de la vivienda
- La protección de una garantía contra vientos de hasta 210 km/h (130 mph)*
- Protección StreakGuard™ con una garantía limitada de 25 años de resistencia a las algas ^{3/§}



Don't let black streaks lower the value or curb appeal of your home.

Owens Corning blends specialized copper-lined granules, developed by 3M, a leading producer of roofing granules, into our colorful shingles. This helps resist blue-green algae growth.*

No deje que las manchas de algas afecten al valor o aspecto de su vivienda.

En sus coloridas tejas, Owens Corning añade gránulos especiales con recubrimiento de cobre, desarrollados por 3M, un productor líder de gránulos para techos. Esto ayuda a prevenir la proliferación de algas azul-verdosas.*



THE FINISHING TOUCH

OWENS CORNING® HIP & RIDGE SHINGLES

Owens Corning® Hip & Ridge Shingles are uniquely color matched to TruDefinition® Duration® Shingles. The multiple color blends are only available from Owens Corning® Roofing and offer a finished look for the roof.

EL TOQUE FINAL

TEJAS DE LIMATESA Y CUMBRERA DE OWENS CORNING®

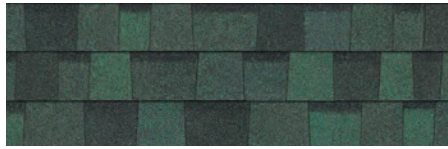
Las tejas de limatesa y cumbrera de Owens Corning® se ofrecen en una exclusiva gama de colores para combinar con las tejas Duration® TruDefinition®. Esta gran variedad de combinaciones de colores es una exclusividad de Owens Corning® Roofing para lograr techos con un acabado único.

TruDefinition®
DURATION®

Shingles with Patented SureNail® Technology | Tejas con tecnología patentada SureNail®



Brownwood¹



Chateau Green¹



Desert Rose¹



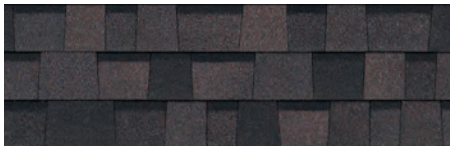
Driftwood¹



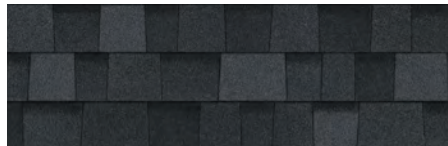
Estate Gray¹



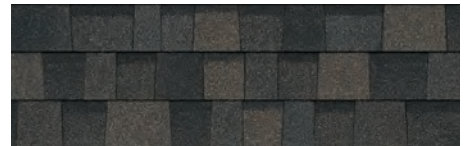
Harbor Blue¹



Midnight Plum¹



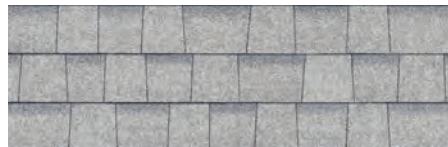
Onyx Black¹



Peppercorn¹



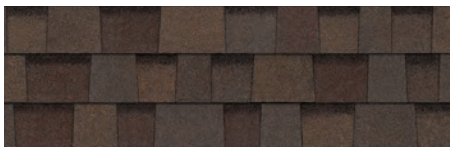
Quarry Gray¹



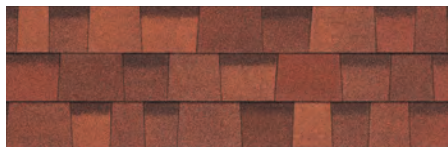
Shasta White¹



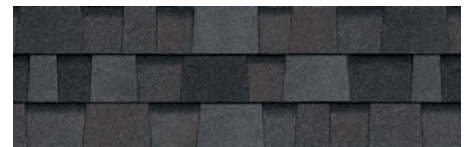
Slatestone Gray¹



Teak¹



Terra Cotta¹



Williamsburg Gray¹

COLOR DISCLAIMER

As color experts, we know getting the shingle color right is a big part of any roofing purchase. Due to printing color variations, in addition to viewing shingle literature, we suggest you request an actual shingle sample to see how it will appear on your home and with your home's exterior elements in various natural lighting conditions. Lastly, we recommend you verify your color choice by seeing it installed on an actual home; your roofing contractor or supplier can provide a sample and may be able to direct you to a local installation.

DESCARGO DE RESPONSABILIDAD SOBRE LOS COLORES

En tanto que especialistas en color, sabemos que obtener el color de teja perfecto es una parte importante en toda compra de techos. Debido a las variaciones en los colores impresos, además de mirar folletos de tejas, le sugerimos que solicite una muestra de la teja para ver como se verá en su hogar y con los elementos externos de la vivienda bajo distintas condiciones de luz natural. Finalmente, le recomendamos que para verificar su elección de colores, vea cómo lucen las tejas ya instaladas en una vivienda; su contratista de techos o su proveedor le pueden dar una muestra e incluso indicarle dónde ver un techo ya instalado.