

312 W 37TH LLC

Certificate of Appropriateness Application New Construction, Small — Accessory Dwelling Unit

Property Address: 220 W. Duffy Street, Savannah, GA 31401
PIN: 20052-16010
Zoning: TN-1
District: Victorian Historic District
Request: New Construction, Small (ADU) — Resubmission
Owner: 312 W 37th LLC
Applicant: Bill Glass, Weiner Shearouse — bglass@wswgs.com
Architect: Demetrius F. Huddleston, Architect

1. Written Project Description

The applicant proposes the construction of a new accessory dwelling unit (ADU) located at the rear of the existing contributing structure at 220 W. Duffy Street in the Victorian Historic District. This application represents a resubmission following the Historic Preservation Commission's February 2026 denial, which was based on concerns regarding massing.

In response to the Commission's feedback, the proposed ADU has been redesigned with a reduced footprint and overall massing to better complement the scale of the existing contributing structure and the surrounding neighborhood context. The ADU footprint is 468 SF against an allowable 470 SF, representing 36.7% ADU lot coverage against a 40% allowable. Total lot coverage is 51.7% against a 60% allowable. No variance or special exception is requested. The proposed design utilizes materials consistent with the Victorian Historic District standards including HardiePanel vertical siding, Owens Corning asphalt shingles, and Jeld-Wen clad-wood double-hung windows.

2. Lot Coverage

	Proposed	Allowable
Lot Area	3,182 SF / 0.073 Acre	—

Main House Footprint	1,176 SF	—
ADU Footprint	468 SF	470 SF (40%)
Total Lot Coverage	1,644 SF / 51.7%	1,909 SF (60%)

3. Existing Conditions — Site and Context Photographs



Photo 1: Existing contributing structure at 220 W. Duffy Street — front (south) elevation.



Photo 2: Rear elevation of existing contributing structure at 220 W. Duffy Street.



Photo 3: Adjacent property context — rear lane view showing neighboring structures.



Photo 4: Lane context view — adjacent buildings along West Park Lane.



Photo 5: ADU site — existing rear yard and lane conditions at 220 W. Duffy Street.

4. Material Specifications

Exterior Siding: James Hardie — HardiePanel Vertical Siding (fiber cement). Installed per manufacturer specifications with water-resistive barrier.

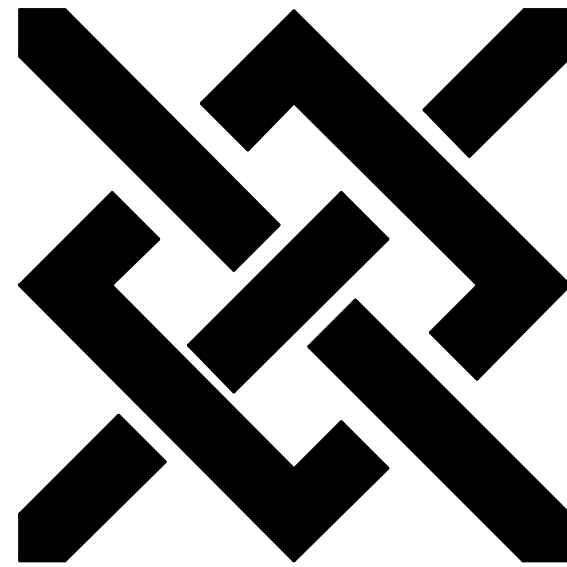
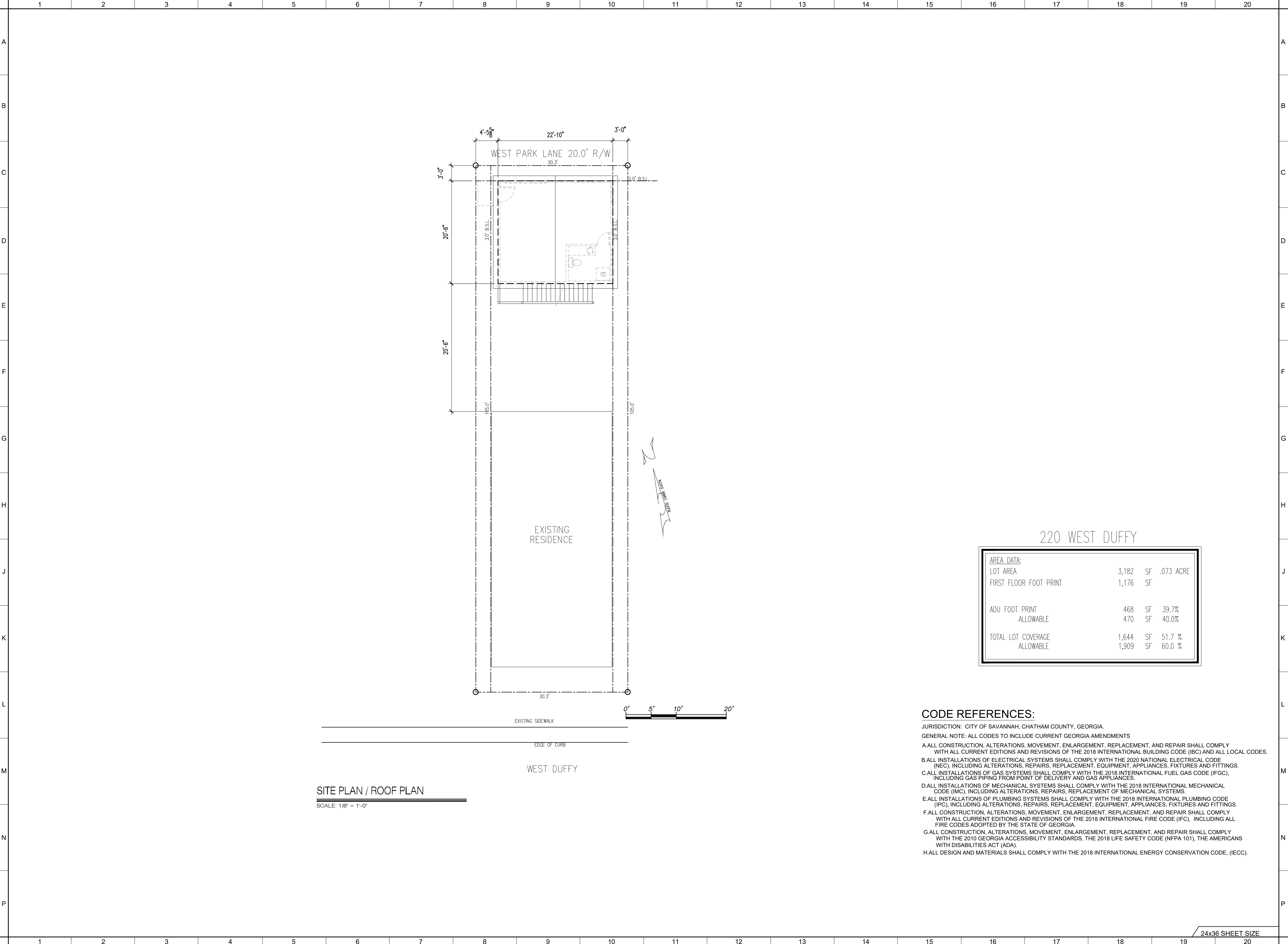
Roofing: Owens Corning Oakridge Series asphalt shingles with WeatherLock water-resistant underlayment. ASTM D 3018 Type 1 rated.

Windows: Jeld-Wen Siteline Clad-Wood Double-Hung Pocket windows. 20-year warranty. Energy efficient glass with divided lites (grilles between glass).

Entry Door: 6-panel wood entry door with deadbolt hardware.

Exterior Lighting: 13.5" H Matte Black hardwired outdoor wall lantern with clear glass panels.

Garage Door: Insulated garage door as specified in construction documents.



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NEW CONSTRUCTION FOR:
220 WEST DUFFY
SAVANNAH, GEORGIA

AREA DATA:			
LOT AREA	3,182	SF	.073 ACRE
FIRST FLOOR FOOT PRINT	1,176	SF	
ADU FOOT PRINT	468	SF	39.7%
ALLOWABLE	470	SF	40.0%
TOTAL LOT COVERAGE	1,644	SF	51.7 %
ALLOWABLE	1,909	SF	60.0 %

CODE REFERENCES:

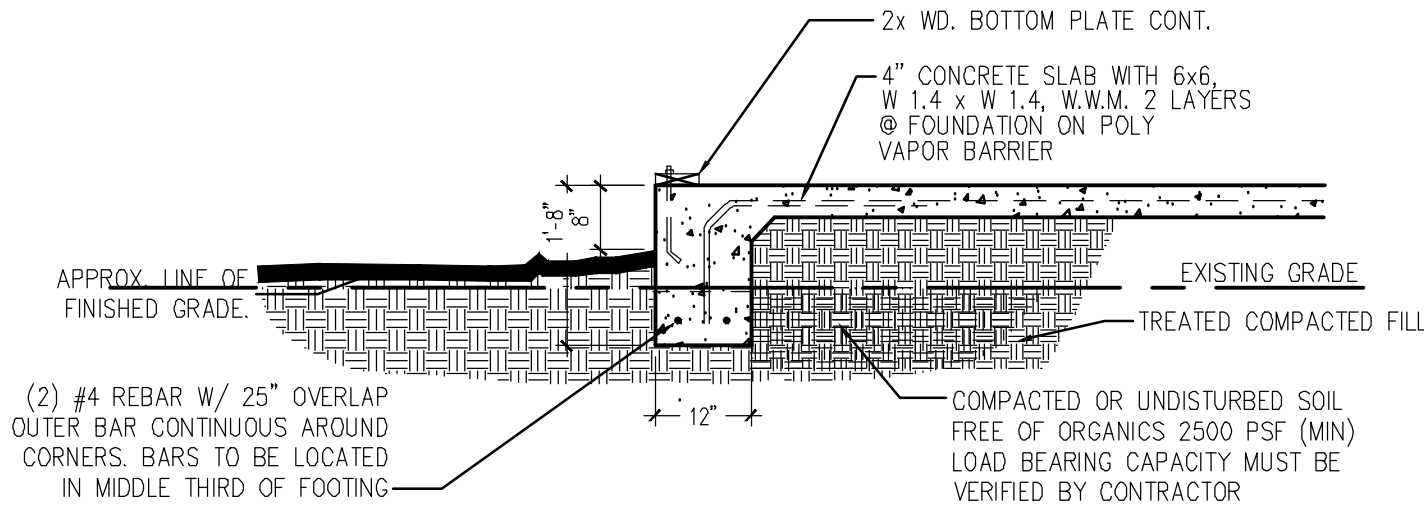
- JURISDICTION: CITY OF SAVANNAH, CHATHAM COUNTY, GEORGIA.
- GENERAL NOTE: ALL CODES TO INCLUDE CURRENT GEORGIA AMENDMENTS
- A.ALL CONSTRUCTION, ALTERATIONS, MOVEMENT, ENLARGEMENT, REPLACEMENT, AND REPAIR SHALL COMPLY WITH ALL CURRENT EDITIONS AND REVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND ALL LOCAL CODES.
- B.ALL INSTALLATIONS OF ELECTRICAL SYSTEMS SHALL COMPLY WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC), INCLUDING ALTERATIONS, REPAIRS, REPLACEMENT, EQUIPMENT, APPLIANCES, FIXTURES AND FITTINGS.
- C.ALL INSTALLATIONS OF GAS SYSTEMS SHALL COMPLY WITH THE 2018 INTERNATIONAL FUEL GAS CODE (IFGC), INCLUDING GAS PIPING FROM POINT OF DELIVERY AND GAS APPLIANCES.
- D.ALL INSTALLATIONS OF MECHANICAL SYSTEMS SHALL COMPLY WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC), INCLUDING ALTERATIONS, REPAIRS, REPLACEMENT OF MECHANICAL SYSTEMS.
- E.ALL INSTALLATIONS OF PLUMBING SYSTEMS SHALL COMPLY WITH THE 2018 INTERNATIONAL PLUMBING CODE (IPC), INCLUDING ALTERATIONS, REPAIRS, REPLACEMENT, EQUIPMENT, APPLIANCES, FIXTURES AND FITTINGS.
- F.ALL CONSTRUCTION, ALTERATIONS, MOVEMENT, ENLARGEMENT, REPLACEMENT, AND REPAIR SHALL COMPLY WITH ALL CURRENT EDITIONS AND REVISIONS OF THE 2018 INTERNATIONAL FIRE CODE (IFC), INCLUDING ALL FIRE CODES ADOPTED BY THE STATE OF GEORGIA.
- G.ALL CONSTRUCTION, ALTERATIONS, MOVEMENT, ENLARGEMENT, REPLACEMENT, AND REPAIR SHALL COMPLY WITH THE 2010 GEORGIA ACCESSIBILITY STANDARDS, THE 2018 LIFE SAFETY CODE (NFPA 101), THE AMERICANS WITH DISABILITIES ACT (ADA).
- H.ALL DESIGN AND MATERIALS SHALL COMPLY WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE, (IECC).

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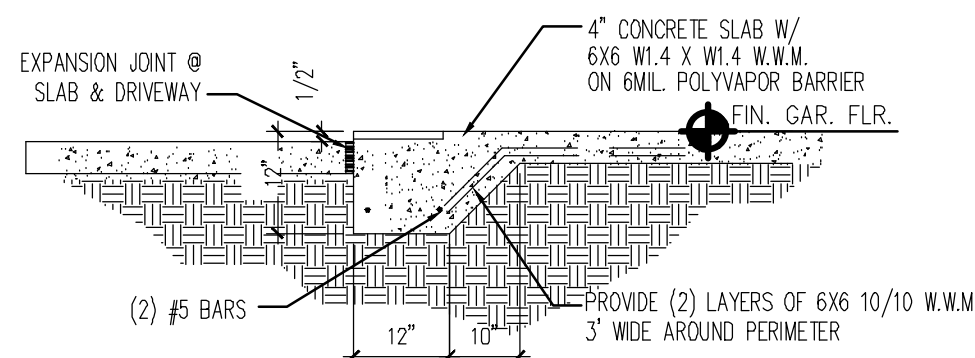
C-1
SHEET

24x36 SHEET SIZE



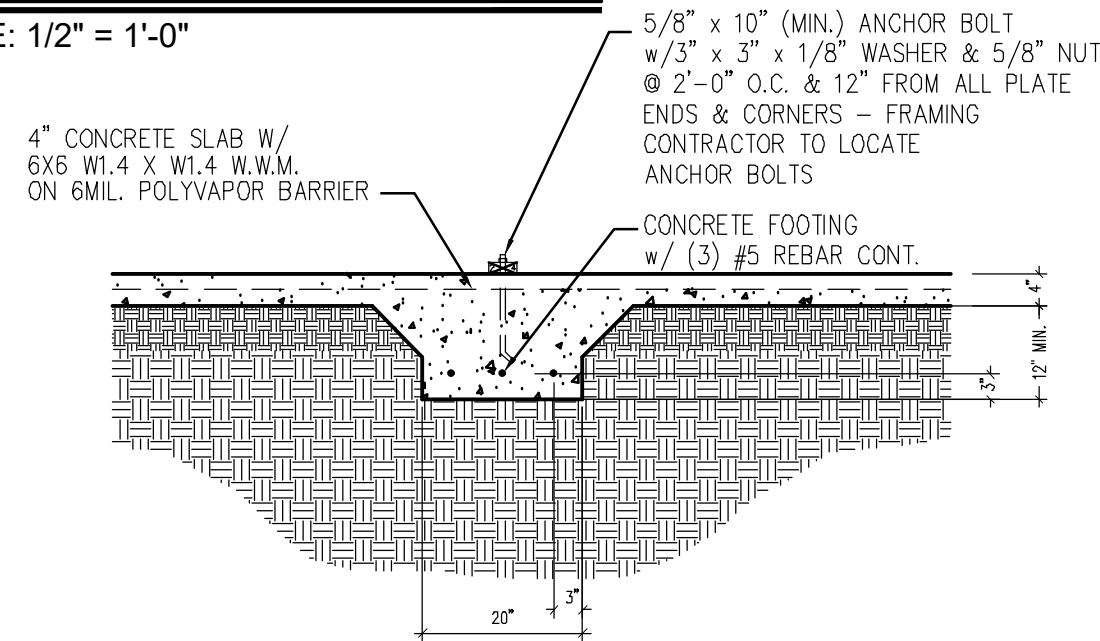
MAIN HOUSE FOUNDATION

SCALE: 1/2" = 1'-0"



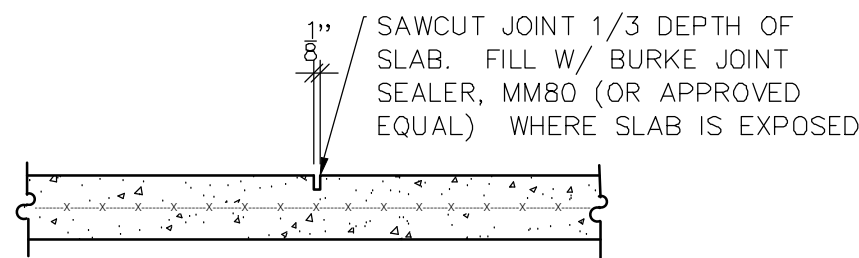
GARAGE THRESHOLD

SCALE: 1/2" = 1'-0"



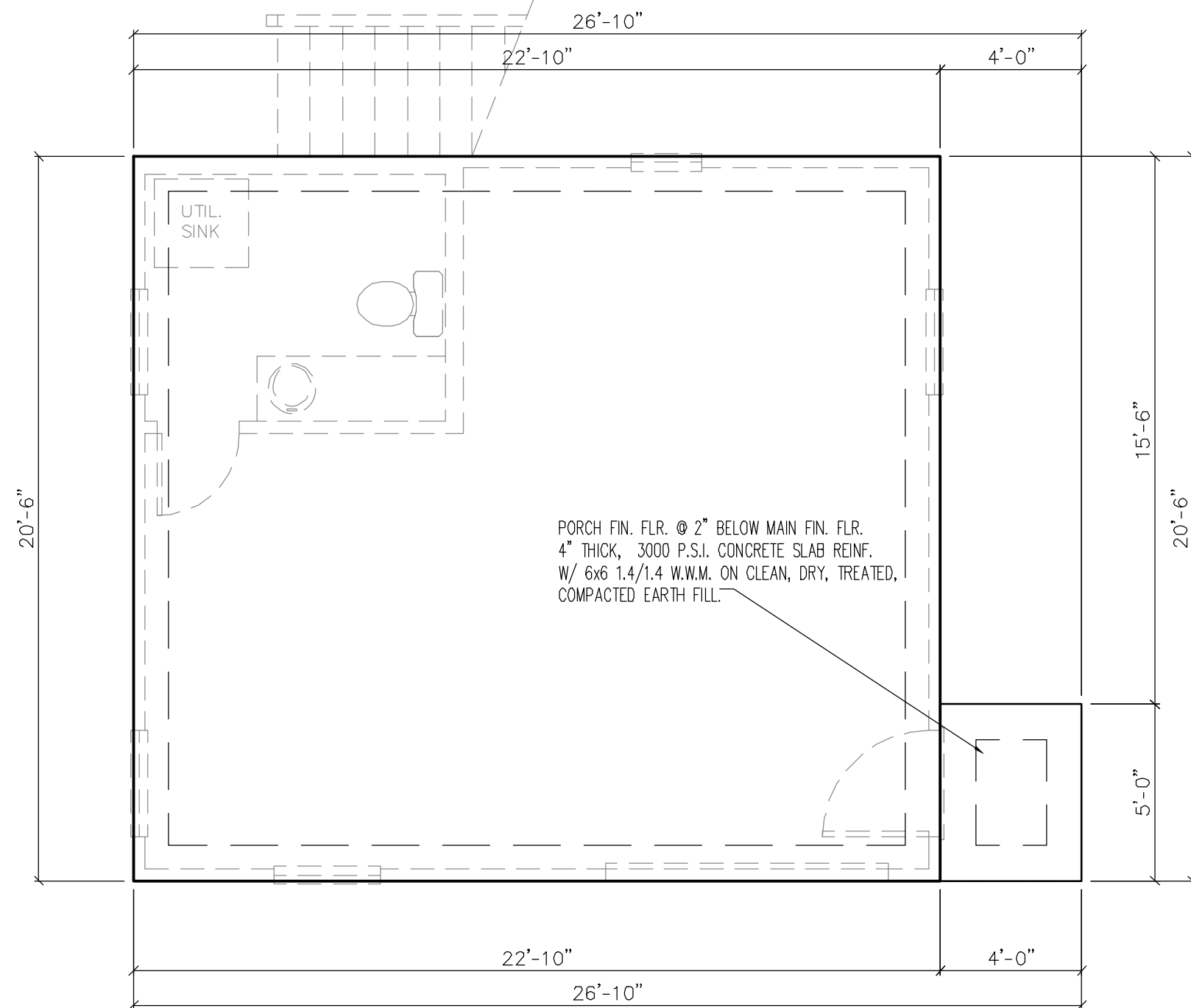
THICKENED SLAB

SCALE: 1/2" = 1'-0"



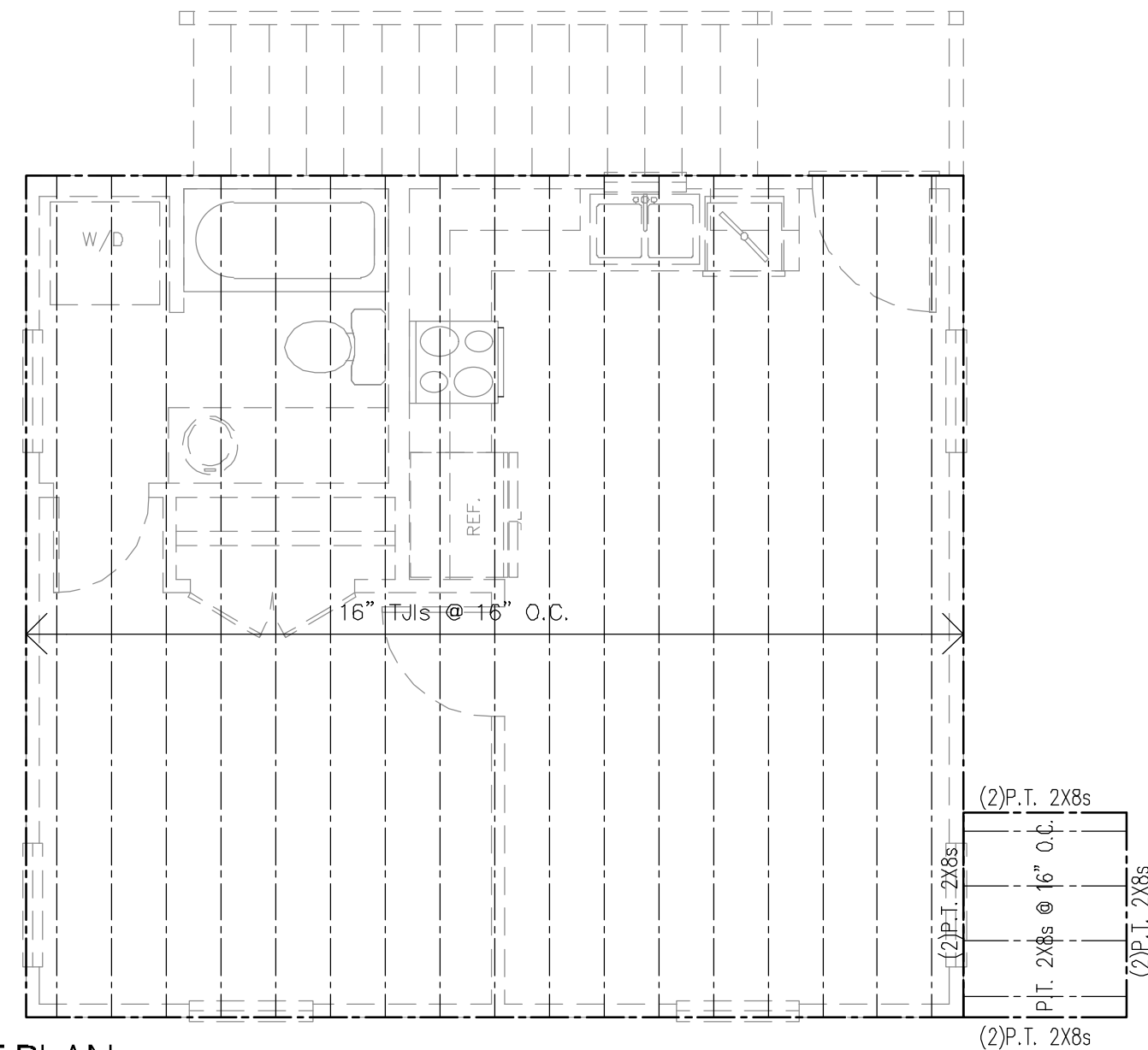
CONCRETE CONTROL JOINT (TYP)

SCALE: NTS



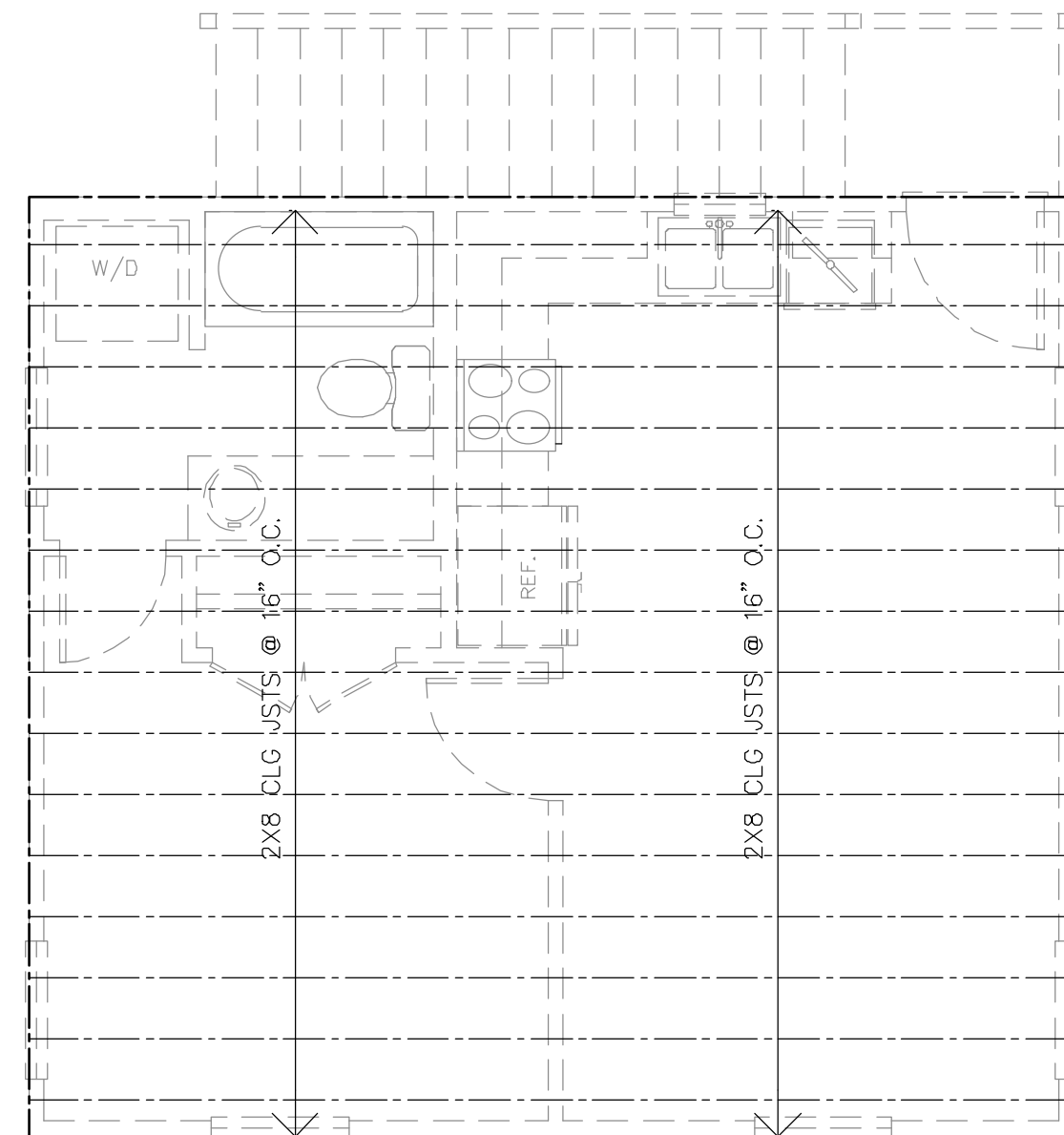
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



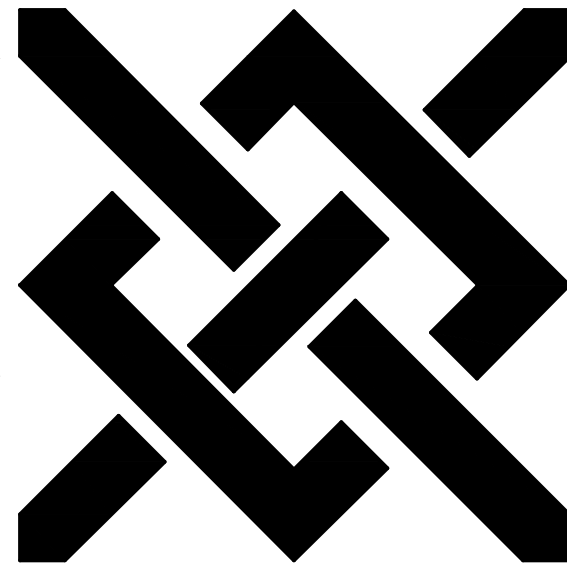
FLOOR JOIST PLAN

SCALE: 1/4" = 1'-0"



CEILING JOIST PLAN

SCALE: 1/4" = 1'-0"



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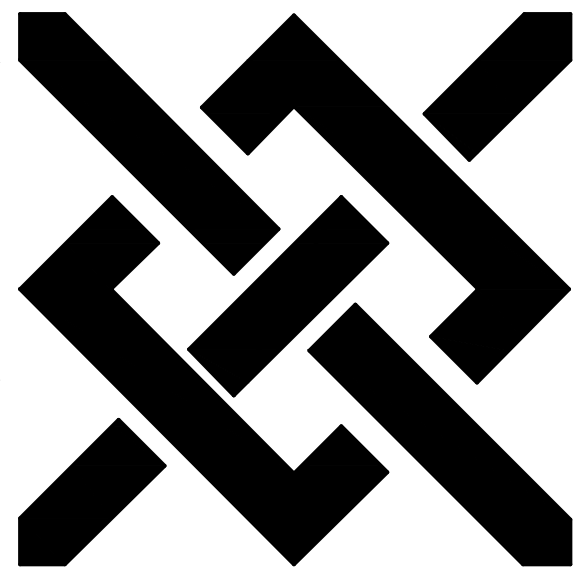
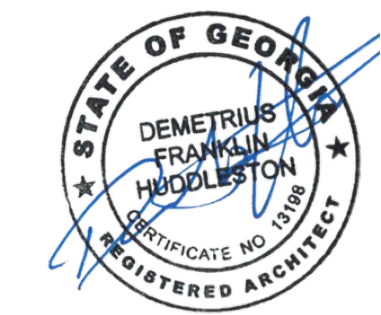
NEW CONSTRUCTION FOR: 220 WEST DUFFY SAVANNAH, GEORGIA

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A-1
SHEET

24x36 SHEET SIZE



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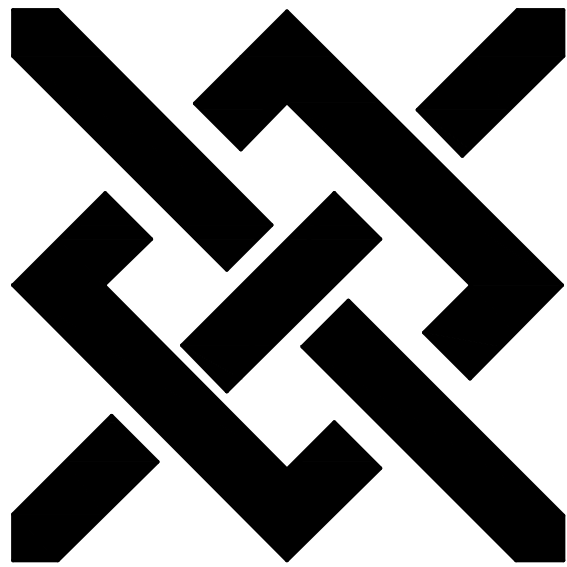
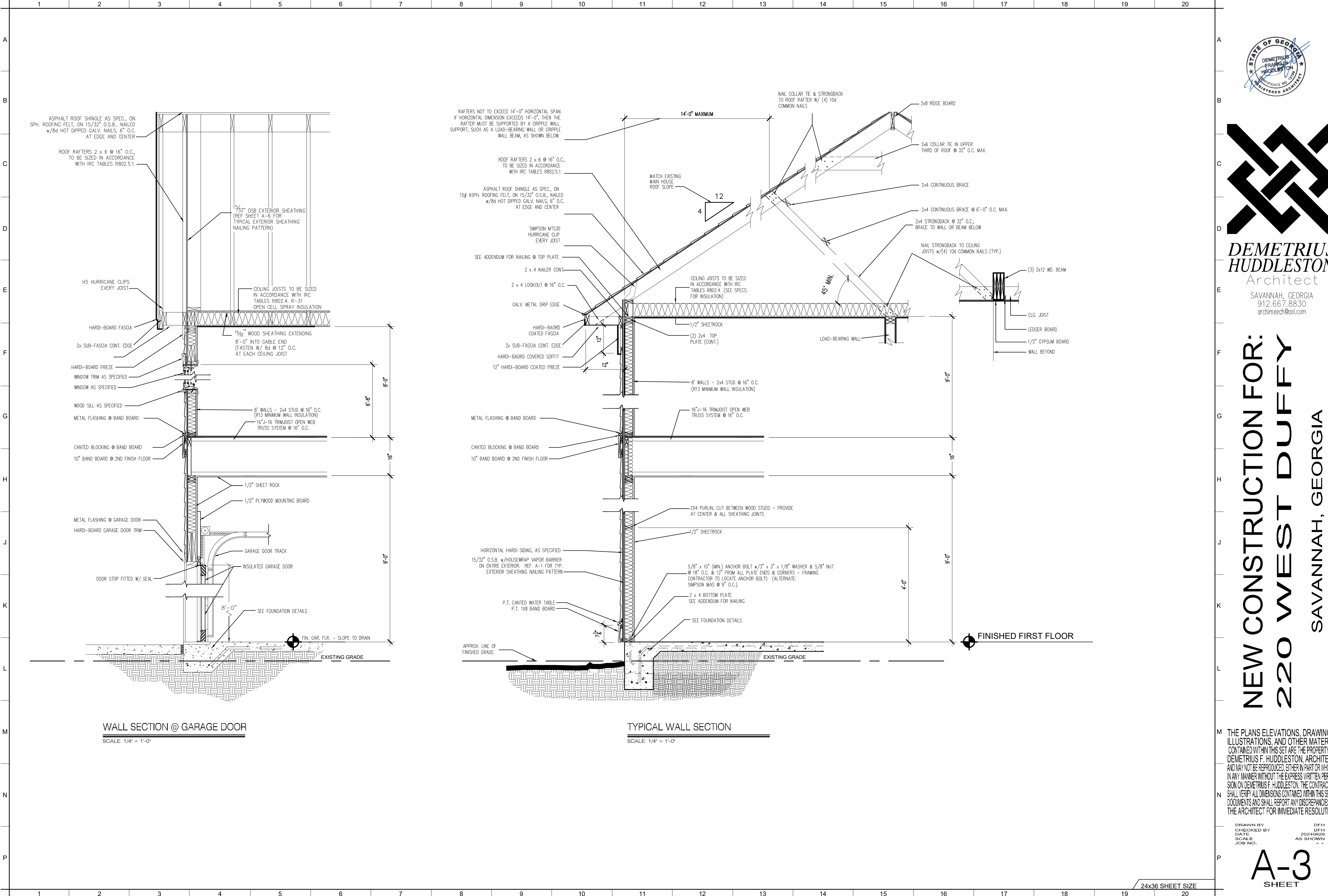
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A-2
SHEET

2 HOUR RATED TENANT SEPARATION WALL - ASTM E119

24x36 SHEET SIZE



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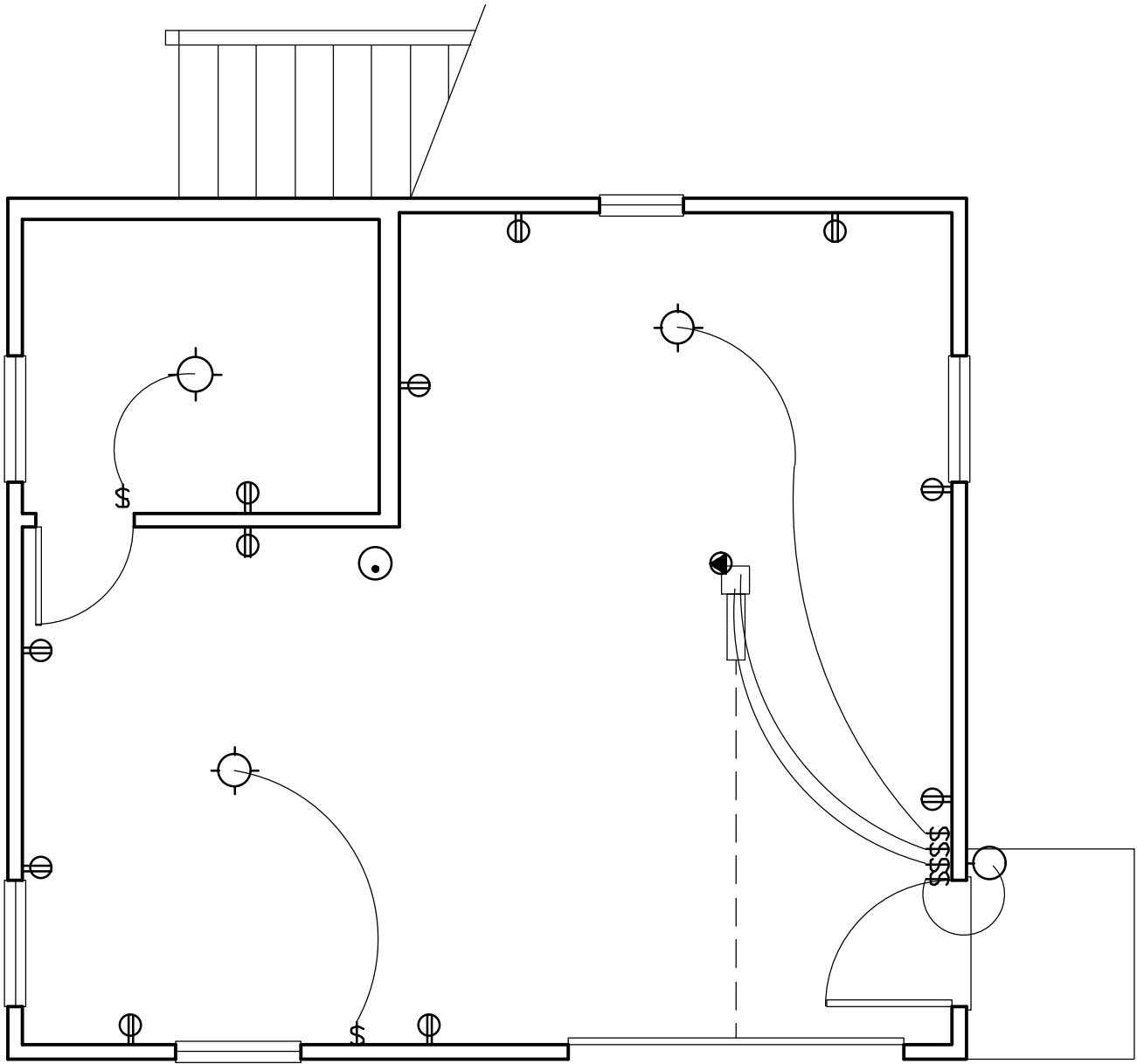
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A-3
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24x36 SHEET SIZE

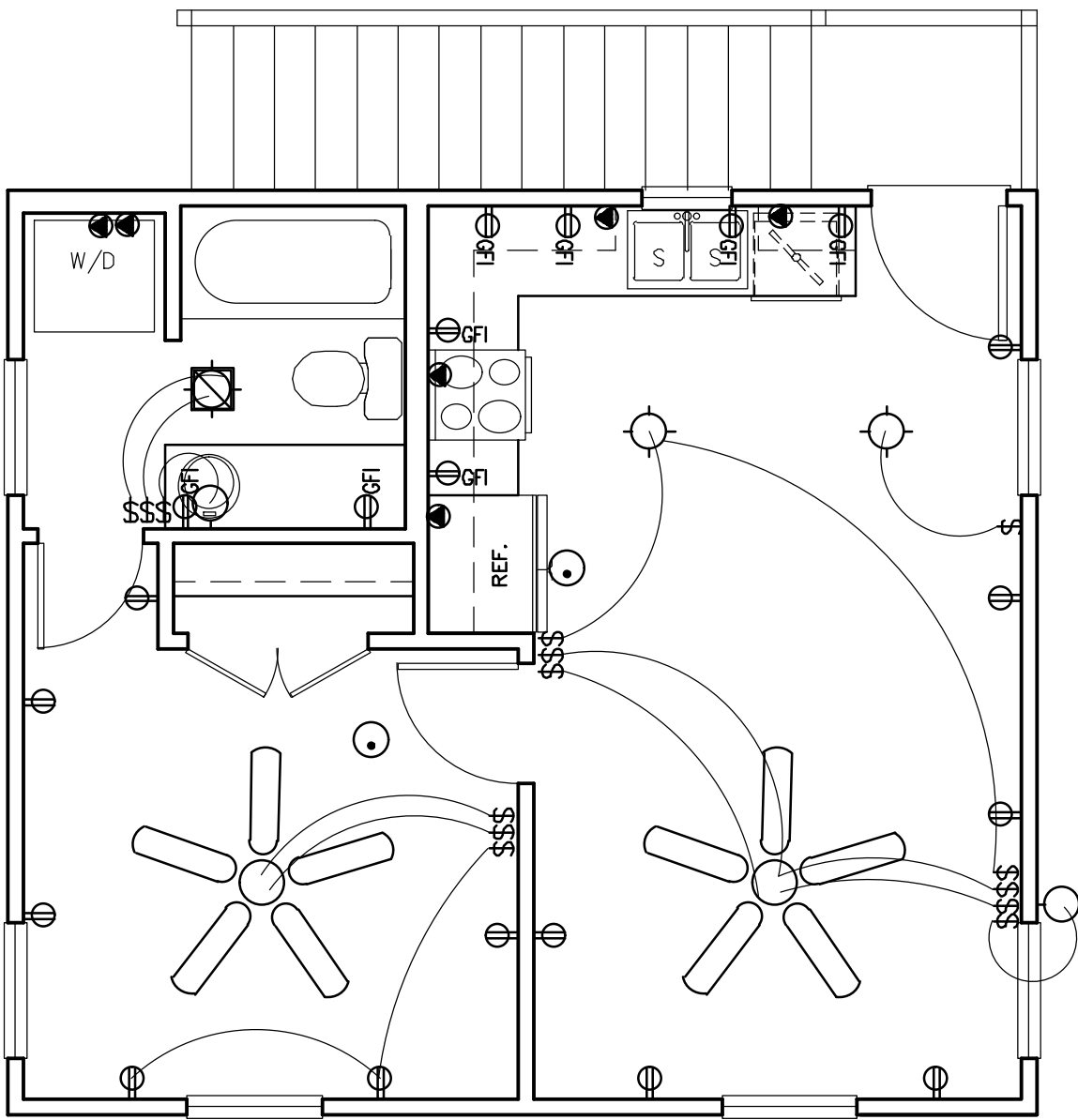
ELECTRICAL LEGEND

- | | | | |
|--|--|--|------------------------------|
| | DUPLEX RECEPTACLE | | CEILING FIXTURE |
| | DUPLEX RECEPTACLE WITH TOP HALF SWITCHED | | WALL MOUNTED LIGHT FIXTURE |
| | DUPLEX RECEPTACLE GROUND FAULT CIRCUIT | | CEILING ACCENT LIGHT FIXTURE |
| | DUPLEX RECEPTACLE WATERPROOF w/ GFI | | SMOKE DETECTOR |
| | 220 VOLT OUTLET | | GARAGE DOOR OPENER W/ LIGHT |
| | ELECTRICAL EQUIPMENT CONNECTION | | EXHAUST VENT/LIGHT |
| | TV OUTLET (DATA TYPE BY OWNER) | | DOOR CHIMES |
| | TELEPHONE OUTLET 16"A.F.F. | | DOOR BELL BUTTON |
| | WALL TELEPHONE OUTLET | | ELECTRIC METER |
| | SINGLE POLE SWITCH | | ELECTRICAL PANEL |
| | 3-WAY SWITCH | | ELECTRICAL DISCONNECT |
| | 4-WAY SWITCH | | |
| | THERMOSTAT | | |
- CEILING FAN / LIGHT FIXTURE



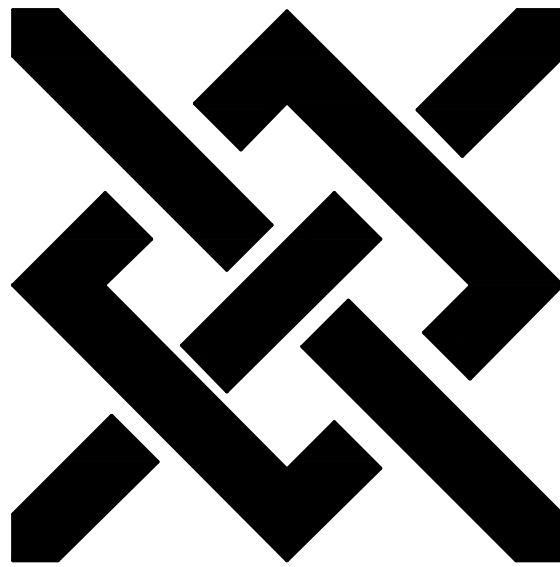
FIRST FLOOR ELECTRIC LAYOUT

SCALE: 1/4" = 1'-0"



SECOND FLOOR ELETRIC LAYOUT

SCALE: 1/4" = 1'-0"



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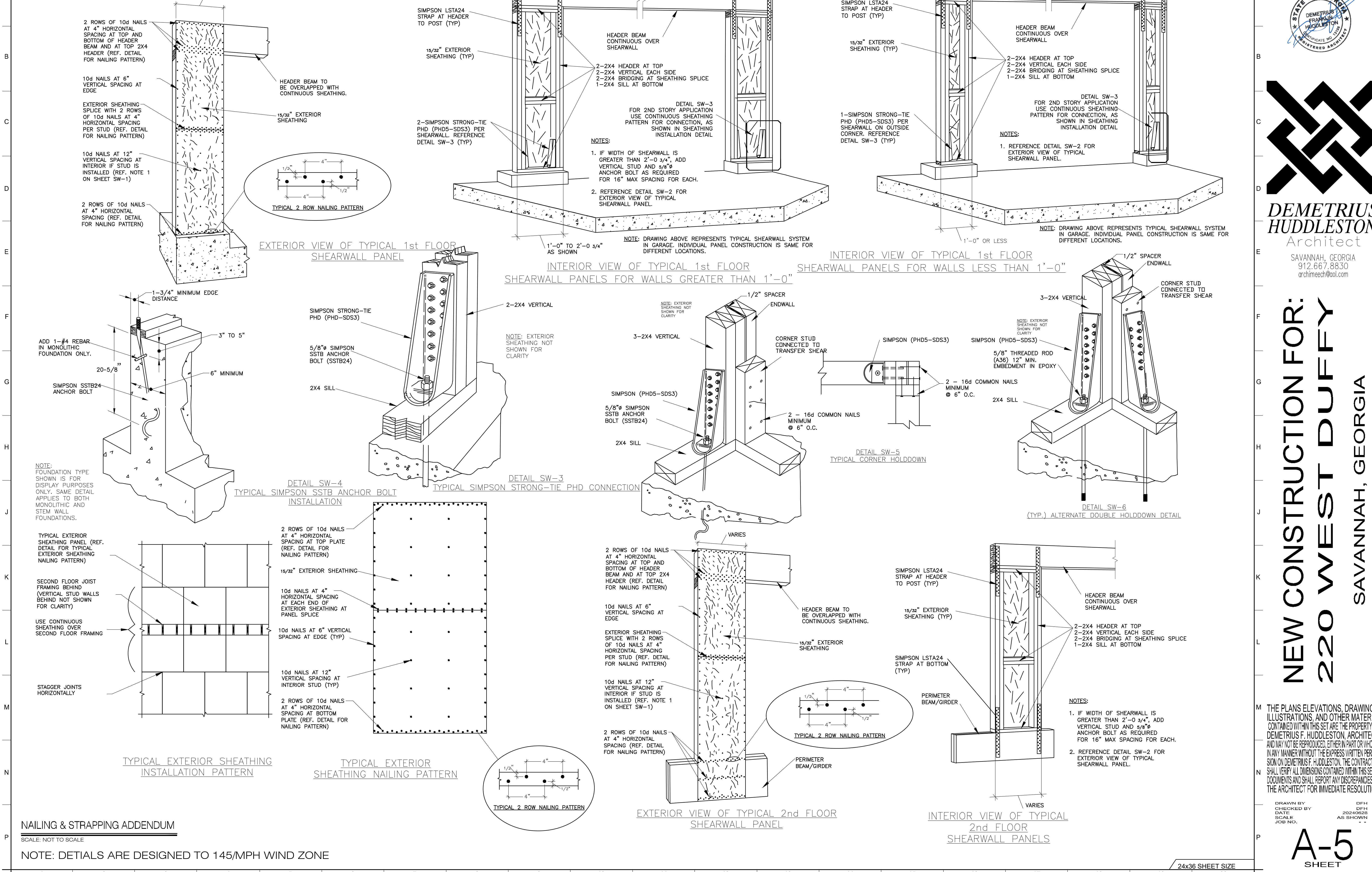
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24x36 SHEET SIZE

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

A B C D E F G H J K L M N P



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24x36 SHEET SIZE

NAILING & STRAPPING ADDENDUM
SCALE: NOT TO SCALE
NOTE: DETAILS ARE DESIGNED TO 145MPH WIND ZONE



HardiePanel® Vertical Siding

MULTIFAMILY / COMMERCIAL INSTALLATION REQUIREMENTS

EFFECTIVE DECEMBER 2020

IMPORTANT: FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTIONS AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE AND MAY AFFECT WARRANTY COVERAGE. FAILURE TO COMPLY WITH ALL HEALTH AND SAFETY REGULATIONS WHEN CUTTING AND INSTALLING THIS PRODUCT MAY RESULT IN PERSONAL INJURY. BEFORE INSTALLATION, CONFIRM YOU ARE USING THE CORRECT HARDEZONE® PRODUCT INSTRUCTIONS BY VISITING HARDEZONE.COM OR CALL 1-866-942-7343 (866-9-HARDIE).

STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



CUTTING INSTRUCTIONS

OUTDOORS

- Position cutting station so that airflow blows dust away from the user and others near the cutting area.
- Cut using one of the following methods:
 - Best:** Circular saw equipped with a HardieBlade® saw blade and attached vacuum dust collector system. Shears (manual, pneumatic or electric) may also be used, not recommended for products thicker than 7/16 in.
 - Better:** Circular saw equipped with a dust collection feature (e.g. Roam® saw) and a HardieBlade saw blade.
 - Good:** Circular saw equipped with a HardieBlade saw blade.

IMPORTANT: The Occupational Safety and Health Administration (OSHA) regulates workplace exposure to silica dust. For construction sites, OSHA has deemed that cutting fiber cement with a circular saw having a blade diameter less than 8 inches and connected to a commercially available dust collection system per manufacturer's instructions results in exposures below the OSHA Permissible Exposure Limit (PEL) for respirable crystalline silica, without the need for additional respiratory protection.

If you are unsure about how to comply with OSHA silica dust regulations, consult a qualified industrial hygienist or safety professional, or contact your James Hardie technical sales representative for assistance. James Hardie makes no representation or warranty that adopting a particular cutting practice will assure your compliance with OSHA rules or other applicable laws and safety requirements.

INDOORS

- DO NOT grind or cut with a power saw indoors. Cut using shears (manual, pneumatic or electric) or the score and snap method, not recommended for products thicker than 7/16 in.
- DO NOT dry sweep dust; use wet dust suppression or vacuum to collect dust.
- For maximum dust reduction, James Hardie recommends using the "Best" cutting practices. Always follow the equipment manufacturer's instructions for proper operation.
- For best performance when cutting with a circular saw, James Hardie recommends using HardieBlade® saw blades.
- Go to jameshardiepros.com for additional cutting and dust control recommendations.

GENERAL REQUIREMENTS:

- Refer to table 1 for multifamily/commercial drainage requirements for James Hardie® vertical siding.
- HardiePanel® vertical siding can be installed over furring strips (in accordance with local building code requirements). HardiePanel vertical siding can be installed over braced wood or steel studs, 20 gauge (0.836 mm) minimum to 16 gauge (1.367 mm) maximum, spaced a maximum of 610mm (24 in) o.c.
- Consult ESR1844 for fastener schedule as well as additional technical information at www.jameshardiecommercial.com.
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. The manufacturer will assume no responsibility for water intrusion.
- Information on installing James Hardie products over non-nailable substrates (e.g. gypsum, foam, etc.) can be located in JH Tech Bulletin 19 at www.jameshardie.com.
- Do not install James Hardie products such that they may remain in contact with standing water.
- HardiePanel vertical siding may be installed on vertical wall applications only.
- DO NOT use HardiePanel vertical siding in Fascia or Trim applications.
- The designer and/or architect shall take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin #8 "Expansion Characteristics of James Hardie® Siding Products" at www.jameshardiecommercial.com.
- James Hardie Building Products provides installation /wind load information for buildings with a maximum mean roof height of 85 feet. For information on installations above 60 feet, please contact JH technical support.
- Minimum standard panel design size is 12" x 16". Note: Panels may be notched and cut to size to fit between windows, doors, corners, etc.

Table 1: HardiePanel® Vertical Siding Wall Drainage Requirements

All national, state, and local building codes must be followed, and where they are more stringent than James Hardie installation requirements, state and local requirements will take precedence. Consult the "Exterior Wall Drainage Requirements" bulletin at www.jameshardiecommercial.com for additional guidance and a more detailed list of drainage required areas.



MINIMUM REQUIREMENTS BY STATE/COUNTY

A WRB® Dry Climates

B DRAINAGE PLANE (E.G. DRAINABLE WRB) WITH 90% DRAINAGE EFFICIENCY* Moist and Moist/Marine Climates

C RAINSCREEN (MIN. 3/8 IN. AIR GAP)† Severe Wind Driven Rain Climate

* Water-resistive Barrier and drainage requirements as defined by building code.

† Water-resistive Barrier as defined by local building code that is manufactured to a manner to enhance drainage; must meet minimum 90% drainage efficiency when tested in accordance with ASTM E2213 or other recognized national standards.

‡ Water-resistive Barrier (WRB) as defined by building code and a minimum 3/8 in. (10mm) air space between the WRB and the panel siding joined by minimum 3/8 in. fasteners.

SMOOTH | SELECT CEDARMILL® | SELECT SIERRA 8 | STUCCO

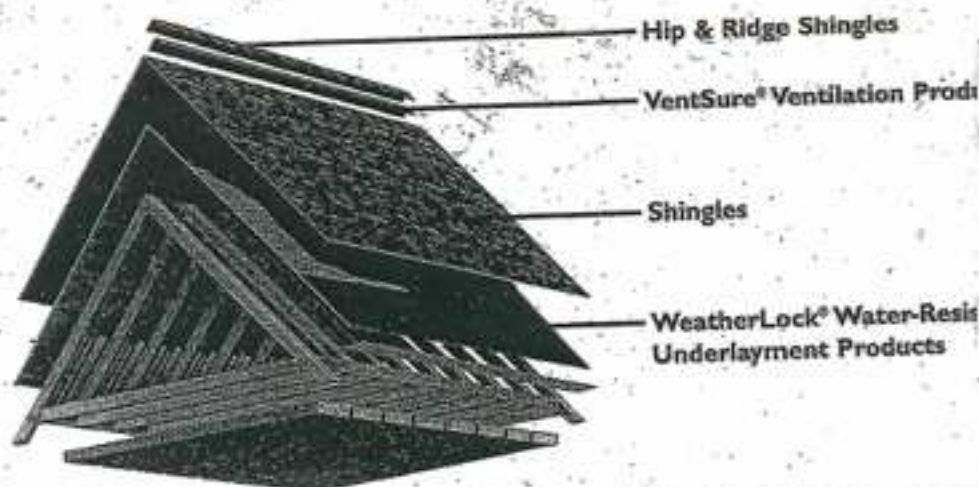
Visit jameshardiepros.com for the most recent version.

COM1302 P1/4 12/20

B1

THE BENEFITS OF A HEALTHY ROOF

For optimum durability and beauty, a complete and healthy roofing system requires hip & ridge shingles, ventilation shingles and water-resistant underlayment products.



Hip & Ridge Shingles

Owens Corning hip & ridge shingles add extra protection and style to your roof's ridge line. The unique shingle construction also helps protect ridge vents from weathering. Hip & ridge shingles are designed to match our shingle colors to enhance the beauty of your roof.

Ventilation Products

Owens Corning ventilation products help keep air moving through the attic, from under eave vents all the way to the top of the roof, balancing outdoor and indoor temperatures. This helps prevent structural damage due to moisture condensation in winter and excessive heat in summer. It also helps prevent premature aging and deck warping.

Shingles

High-performance Owens Corning shingles are engineered to stay beautiful year after year. They feature a weathering-grade asphalt coating to ensure moisture resistance, and a strong Fiberglas® mat core to ensure structural durability.

WeatherLock Water-Resistant Underlayment Products

Provide protection under a roof's surface, helping to prevent leaks from ice dams and wind-driven rains. An essential element for roof protection and lasting performance.

Product Specifications	Oakridge PRO 50® AR	Oakridge PRO 40® AR	Oakridge PRO 30® AR
Nominal Size	12" x 39"	12" x 39"	12" x 39"
Exposure	5 1/2"	5 1/2"	5 1/2"
Shingles per Square	64	64	64
Bundles per Square	4	4	4
Coverage per Square	96.4 sq. ft.	96.4 sq. ft.	96.4 sq. ft.

Tested for Excellence

All Owens Corning shingles are tested to meet or exceed applicable standards measuring fire coverage and wind resistance.

Applicable Standards & Codes

ICC-ES ESR-5443*	ASTM D 3045 Type 1
ASTM D 3462	ASTM D 2218
ASTM E 108, Class A	UL 798, Class A
ASTM D 3161	UL 997

*Applicable only in Service Area 15.1 (see map below)

**Applies to all areas that require Metro-Deck Ceiling Building Code

***Dade County Approved
Applicable only to Service Area 1 (see map below)

****Florida Building Code
Applicable only in Service Area 1.5 (see map below)



©2005 Owens Corning

OWENS CORNING WORLD HEADQUARTERS
ONE OWENS CORNING PARKWAY
TOLEDO, OHIO 43686

www.owenscorning.com 1-800-GET-PINK

Printed in U.S.A. January 2005. The PINK SHINGLE® & 101014-2005 Metro-Deck Ceiling Building Code. All Rights Reserved. The color PINK is a registered trademark of Owens Corning. ©2005 Owens Corning.

B 2 = ✓





(ven-us)

Siteline® Clad-Wood Window: Double-Hung Pocket

Model Overview

**PROJECT TYPE**

New construction and replacement

MAINTENANCE LEVEL

Moderate

WARRANTY

20 Year Warranty

COLORS & FINISHES

27 Exterior Colors

10 Interior Colors

7 Interior Finish Options

SCREEN & TRIM OPTIONS

2 Exterior Trim Options

FRAME OPTIONS

Pocket Replacement Window

GLASS

Energy efficient, tinted, textured and protective.

DIVIDED LITES

Grilles between the glass.

HARDWARE

1 Lock Option in 9 finishes

CONSTRUCTION

Tilt Sash

MATERIALS

1 Wood Option

B3

👋 Hi there! I can help you start a quote or find something else.

11:05

4G 45%



doc013853202...



**13.5-in H Matte Black Hardwired Outdoor
Wall Light**









