

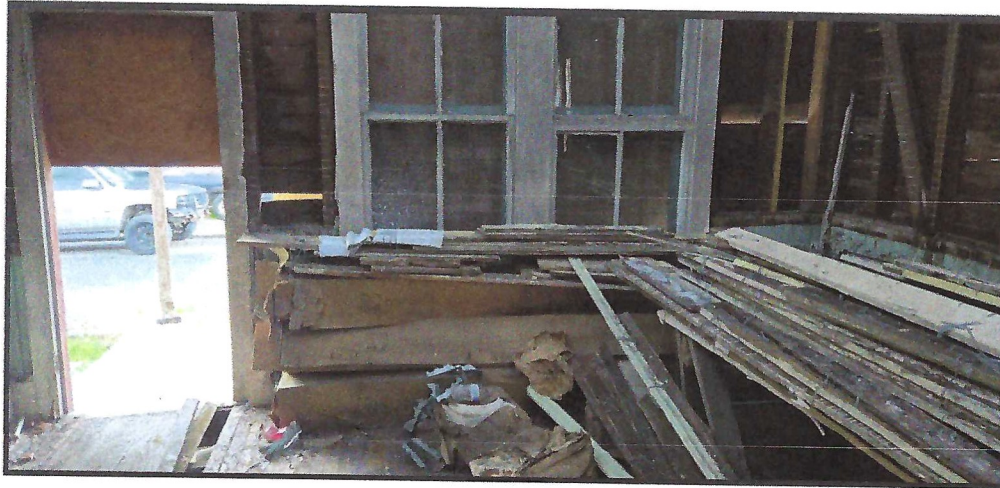
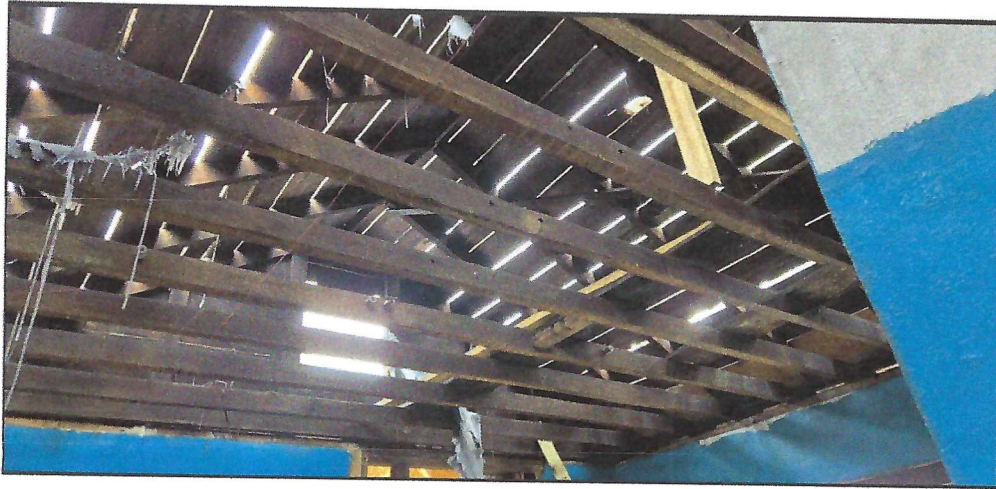
Re: 606 West 42nd Street

- This project involves the continuation of the rehabilitation in accordance with previously approved plans.
- A prior owner began the work with the assistance of HSF but did not complete the project. We recently purchased the property and are continuing the rehabilitation in coordination with HSF.
- Approximately 90% of the siding has already been replaced by the prior owner.
- The roof has been missing for approximately two years.
- We have applied for an emergency roof replacement using asphalt shingles.
- If additional damage is discovered during the course of work, it will be repaired and replaced in kind with materials appropriate to the period in which the house was originally constructed.
- All color photos are current as of May 2026

All color photos are current as of May 2026



All color photos are current as of May 2026



12/7/2022 12:29:21 PM

606 W 42ND ST
CONTEXT

PROJECT NO. 2215.00
DATE 12/07/2022
SHEET NO.

G001A

ward
architecture
+ preservation

606 W 42ND STREET
SAVANNAH, GA
31406-4602
WWW.WARDARCH.COM

JOHN WARD ARCHITECTURE OFFICE IS NOT
RESPONSIBLE FOR THE ACCURACY OF THE
INFORMATION CONTAINED IN THIS DOCUMENT.
THE INFORMATION IS FOR GENERAL
GUIDANCE ONLY AND DOES NOT CONSTITUTE
A WARRANTY OR GUARANTEE OF ANY KIND.

606, 620, 634
WEST 42ND
STREET
SAVANNAH, GA 31415



AERIAL

CUYLER-BROWNVILLE HISTORIC DISTRICT Contributing Resources Map



SITE



WEST 42ND ST, LOOKING NE



WEST 42ND ST, LOOKING NW



WEST 42ND ST, LOOKING SW

606 W 42ND ST
EXISTING
CONDITIONS

PROJECT NO. 2218.00
DATE 12/07/2022
SHEET NO.

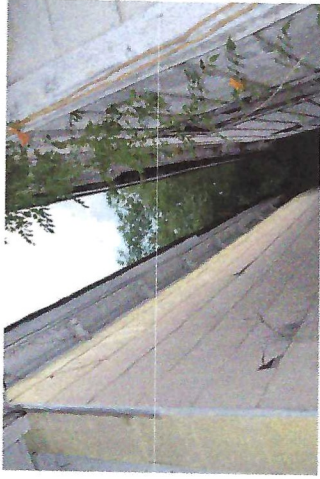
G002A

ward
architect
+ preservation

606 WEST 42ND STREET
SAVANNAH, GA 31405
813.240.4422
WWW.WARDARCHITECT.COM

THIS DRAWING IS A REPRESENTATION OF THE PROPOSED WORK AND IS NOT A CONTRACT. THE CONTRACT SHALL BE THE AGREEMENT BETWEEN THE OWNER AND THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK.

606, 620, 634
WEST 42ND
STREET
SAVANNAH, GA 31405



EAST ELEVATION



SOUTH ELEVATION - DETAIL



SOUTH ELEVATION



WEST ELEVATION - SOUTH END



WEST ELEVATION - NORTH END

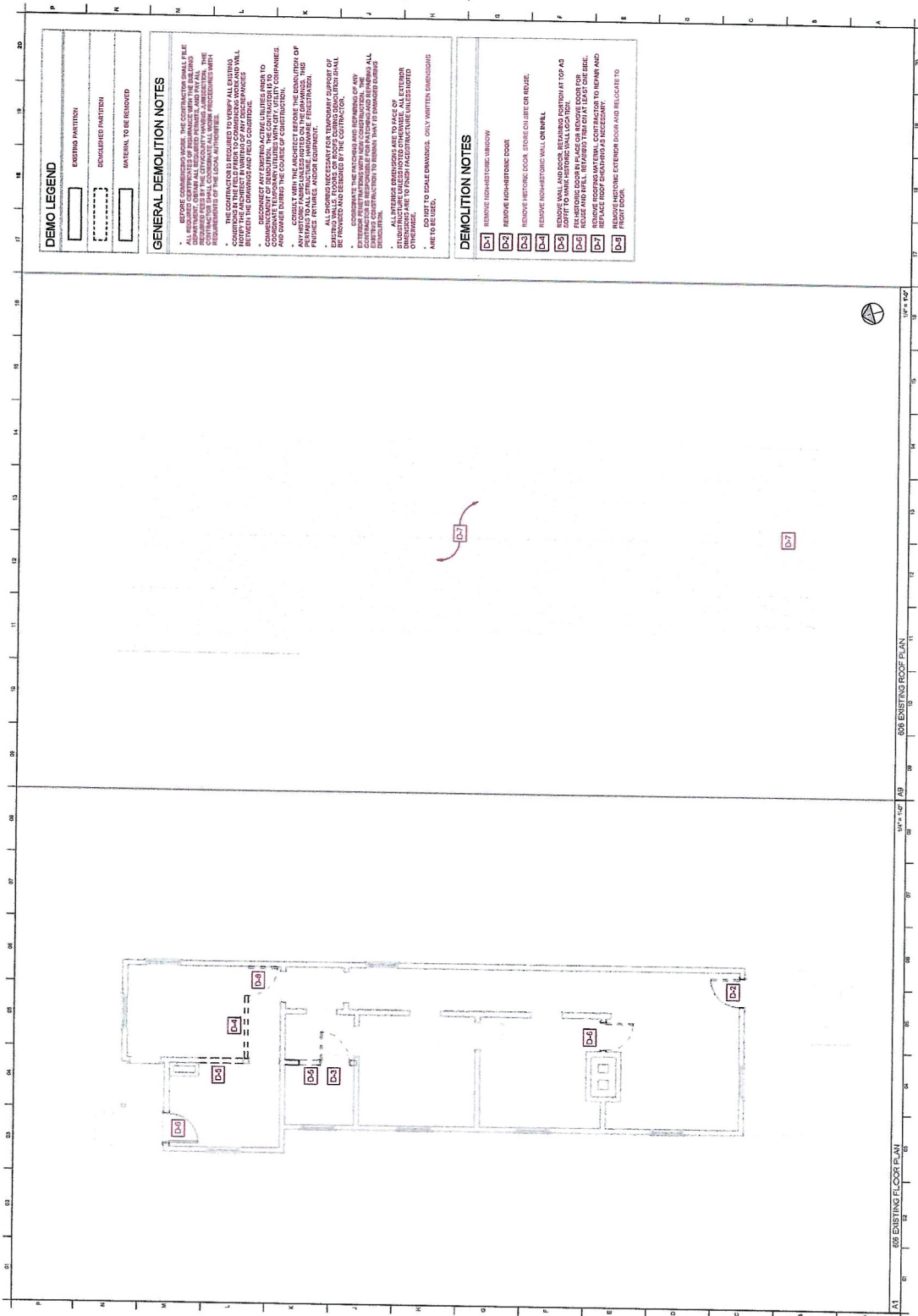


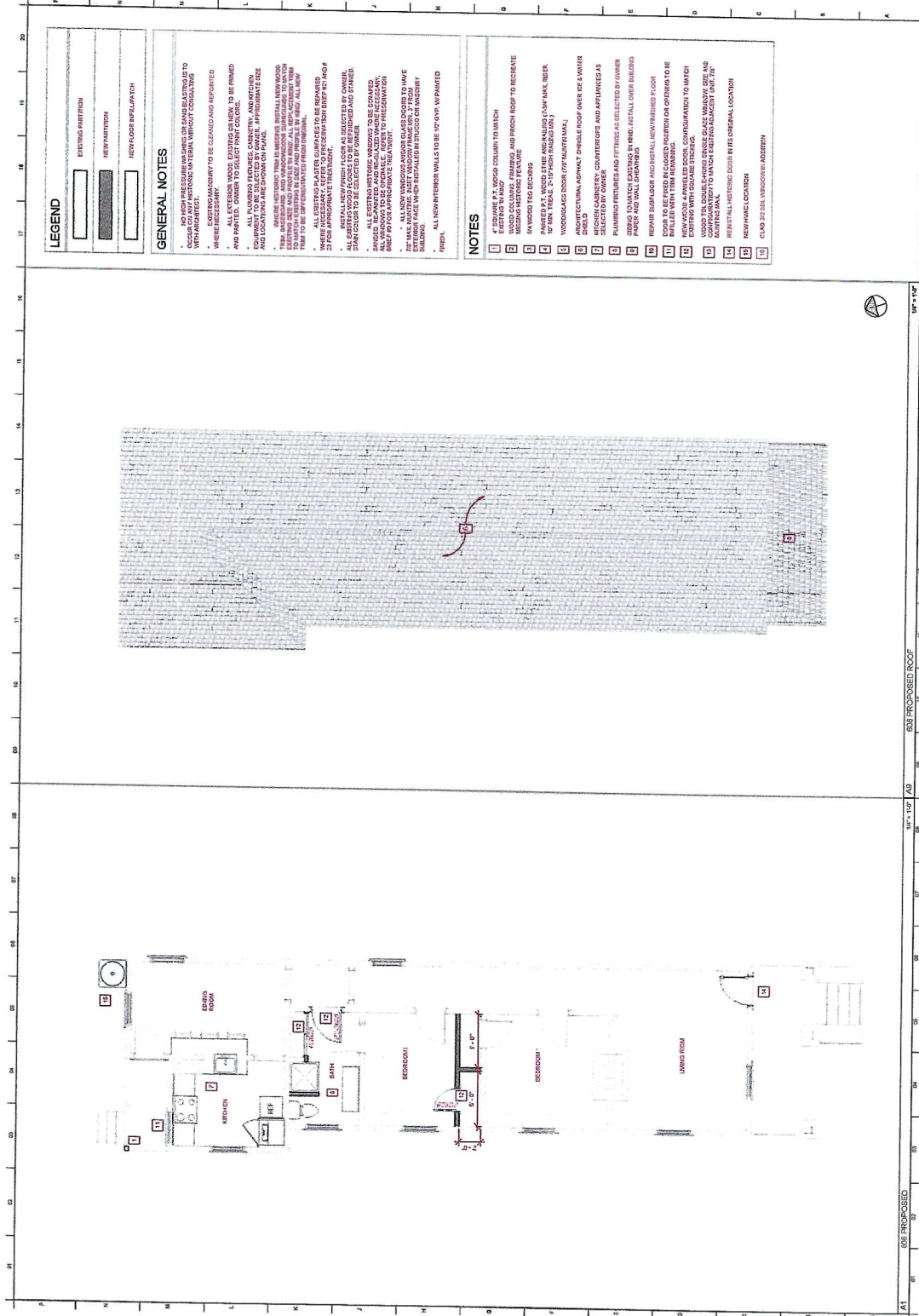
NORTH ELEVATION DETAIL



NORTH ELEVATION

ware
condition
+ preservation





606 W 42ND ST
SOUTH AND NORTH
ELEVATIONS

PROJECT NO.	2215.00
DATE	12.07.2022
SHEET NO.	

A201A

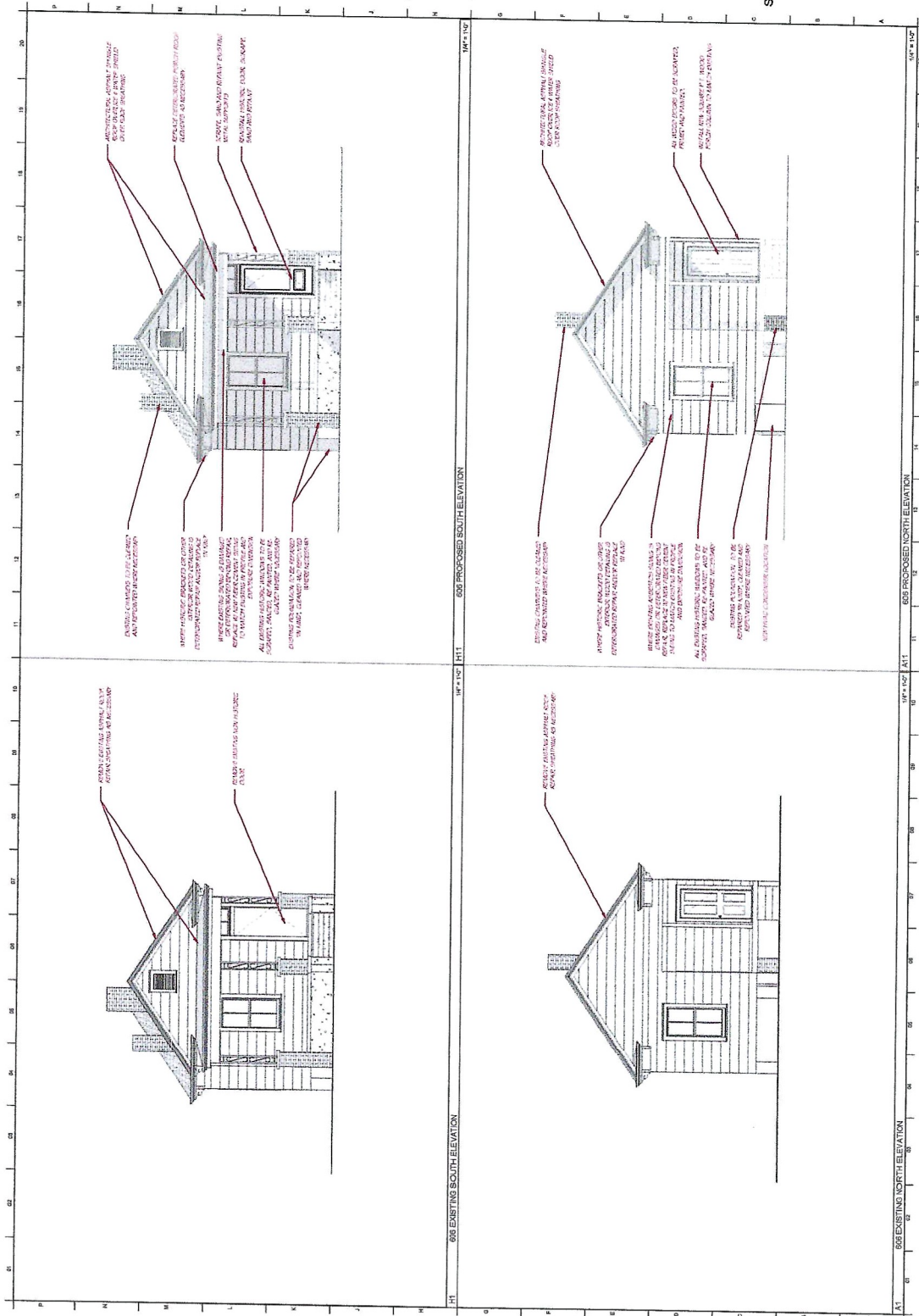


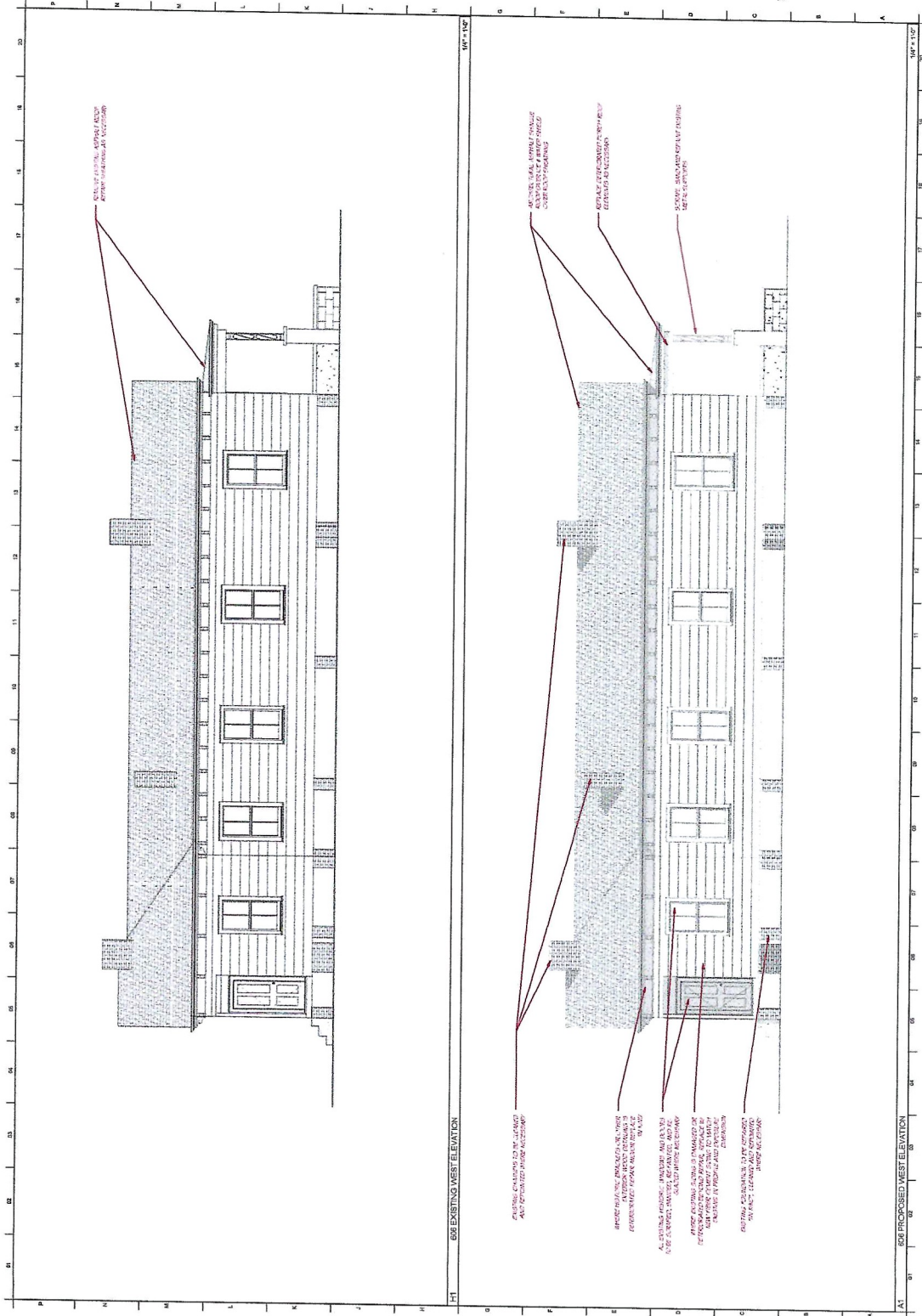
WILEY
architecture
+ preservation

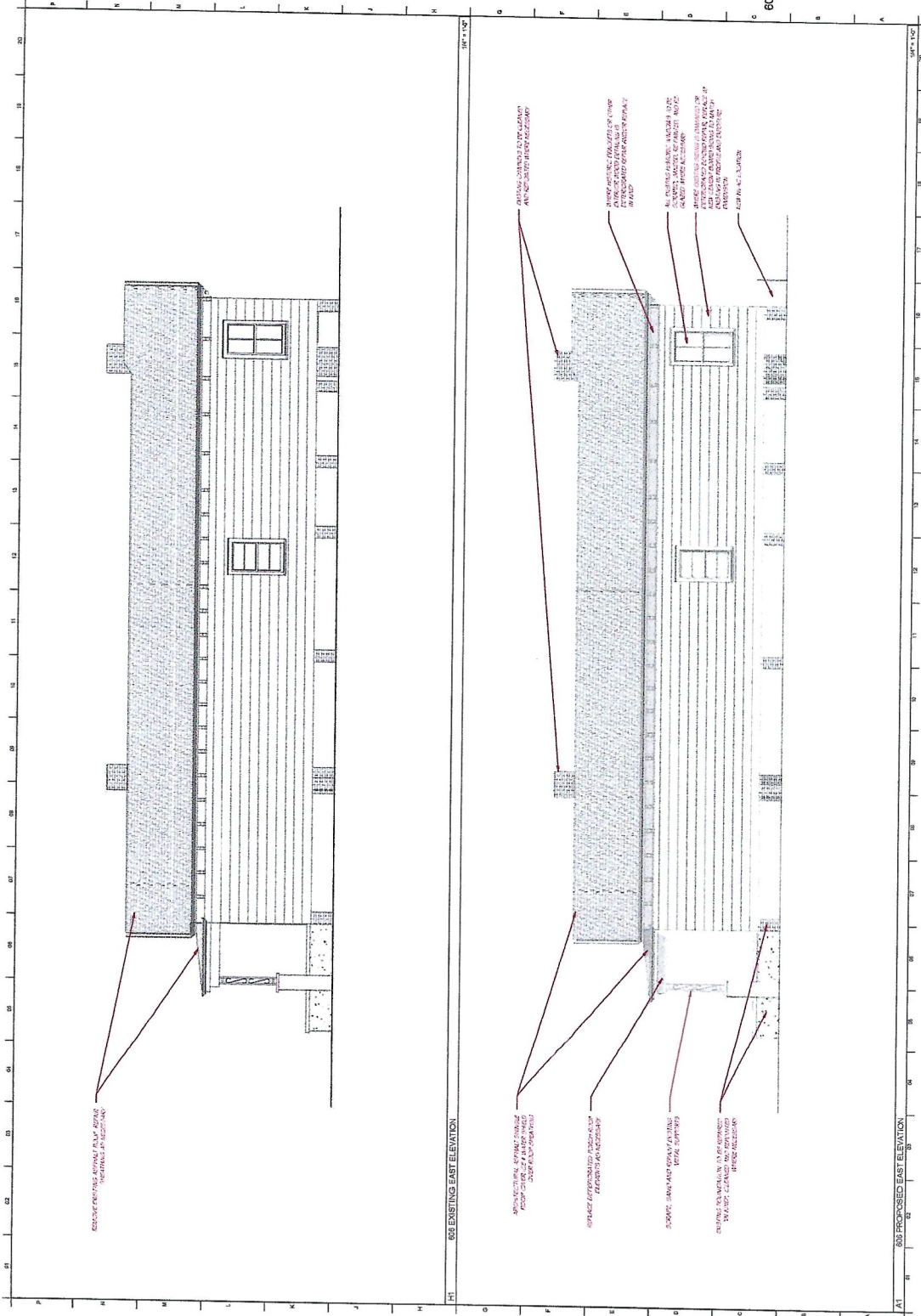
625 EAST 44TH STREET
SAVANNAH, GA 31405
912.508.4822
www.woodarch.com

NORMA WARD, ARCHITECT OF PEACOCK IS NOT PRESENTLY WORKING ON THE PROJECT OF THE PEACOCK HOUSE.

606, 620, 634
WEST 42ND
STREET
SAVANNAH, GA, 31515

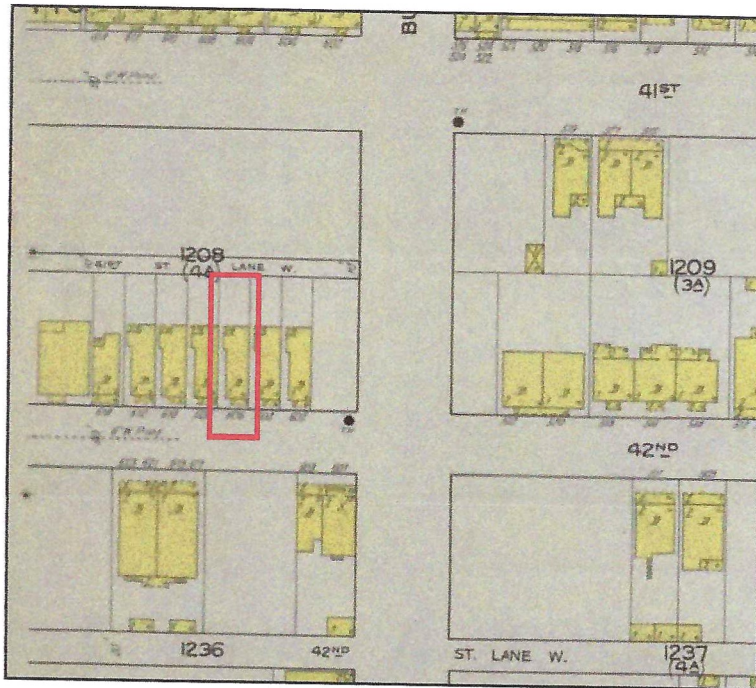






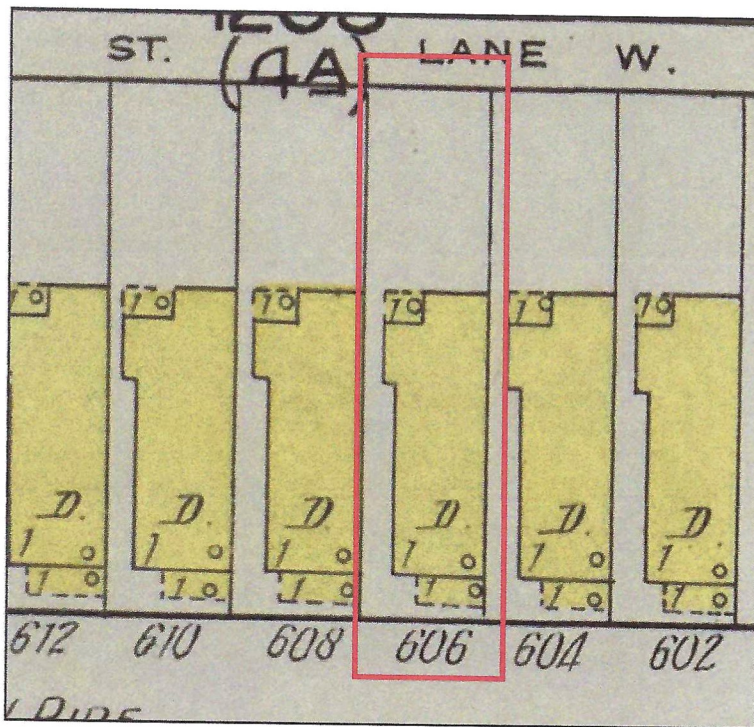
Honza Properties LLC, Shotgun
606 West 42nd Street, Savannah, GA
Cuyler-Brownville Historic District

Illustrated History. North is at the top.



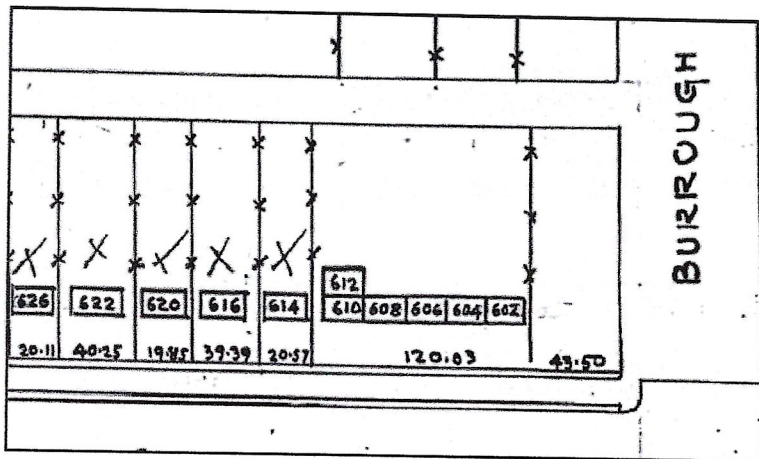
1916

The 1916 Sanborn Fire Insurance Map shows the east half of the 600 block of West 42nd Street near Burroughs. The area is a developing residential neighborhood with one- and two-story, attached and detached, wood frame dwellings. This is the first depiction of the subject property on the map. Sixteen shotgun houses on West 42nd Street were all developed simultaneously in 1900. Soon after ownership of the properties was divided between investors. The houses at 602-612 West 42nd Street were all expanded at the rear prior to the publication of the 1916 Sanborn map and have the same footprint.



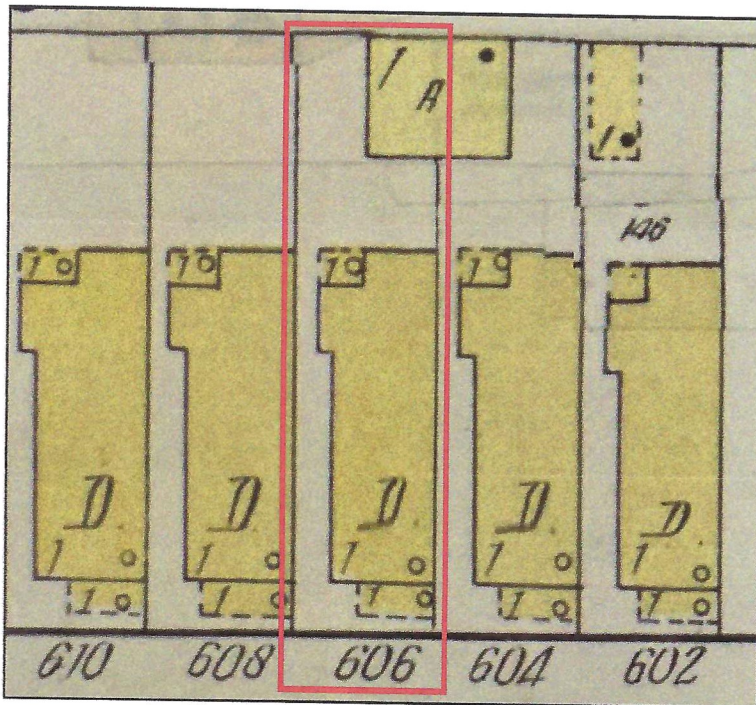
1916

A detail of the 1916 Sanborn shows a one-story, detached, wood frame dwelling, rectangular in shape. It features a partial-width, entry porch and a small recessed porch in the northeast corner. All roofs are finished in tin. The wider portion at the rear is an extension of the 1900 structure added between 1903 and 1916.



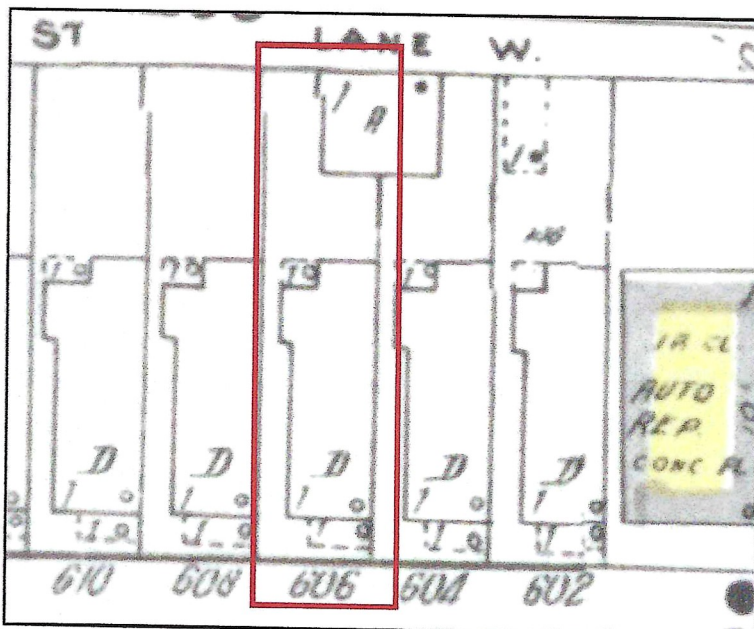
1936

There are no individual cadastral surveys for the shotguns at 602-612 West 42nd Street. However a field sketch detail from the 1936 Cadastral Survey map of Block 4 in Stiles Ward illustrates the building at 606 West 42nd Street as part of a shared parcel with the neighboring shotguns.



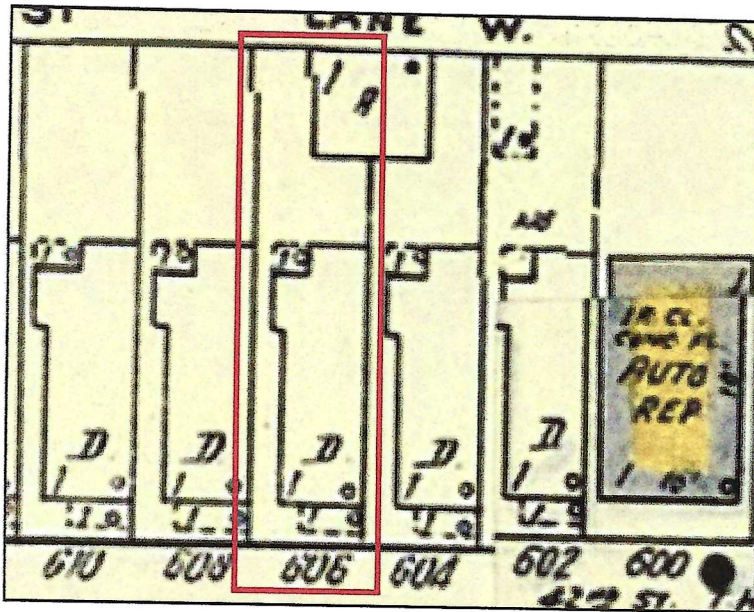
1916-1950

A detail of the 1916 Sanborn Map revised through 1950 shows no physical changes to the structure; however, there is now a wood frame garage with a composition roof along the lane. The structure appears to be shared with 604 West 42nd Street.



1955

A detail of the 1955 Sanborn Map shows no changes.



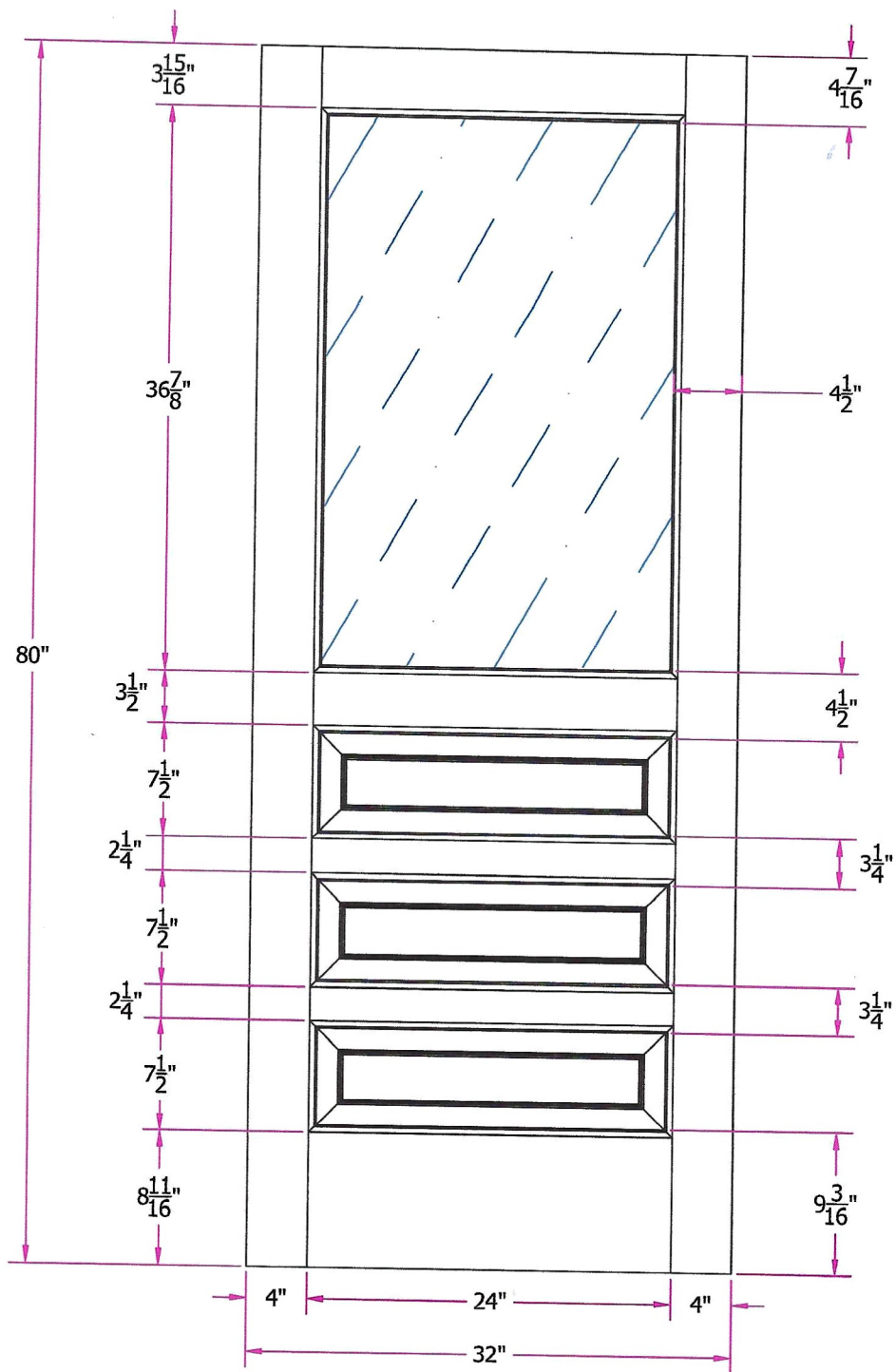
1955-66

A detail of the 1955 Sanborn Map revised through 1966 shows no changes.



2017

One of a row of 16 shotgun houses built circa 1900—originally they all featured elements of Folk Victorian styling with decorative jigsaw brackets on the side of the eaves, a two-light transom over front door, and wood shingles in the gable ends. This example retains the eave brackets and transom. The original wood Folk Victorian style porch was replaced with the existing full width porch with a concrete block foundation and brick piers c.1940. Wood porch column/posts were replaced with existing metal supports c.1960s when asbestos shingles were installed over original clapboard siding. The house maintains its original two-over-two double hung wood windows.



THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS THE PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

Revisions

Rev. #	Description	Date	by Whom

TITLE 7118 2/8 x 6/8
Customer Layout

DRAWING NO. D-7118-208-608-0700

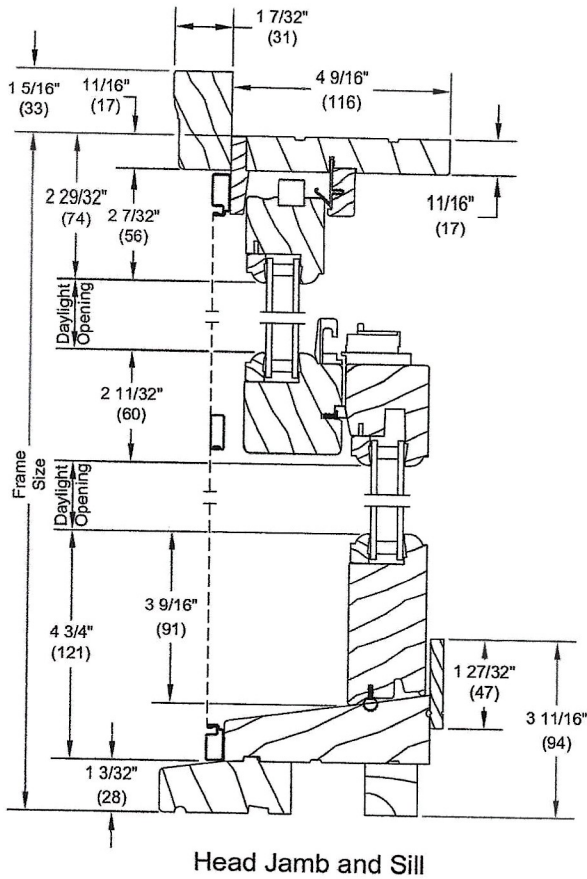
LAYOUT 00 SCALE NTS BORE PATTERN # 7007
DRAWN BY: J. Decker DATE 11/28/2007

Simpson®

Section Details: Operating

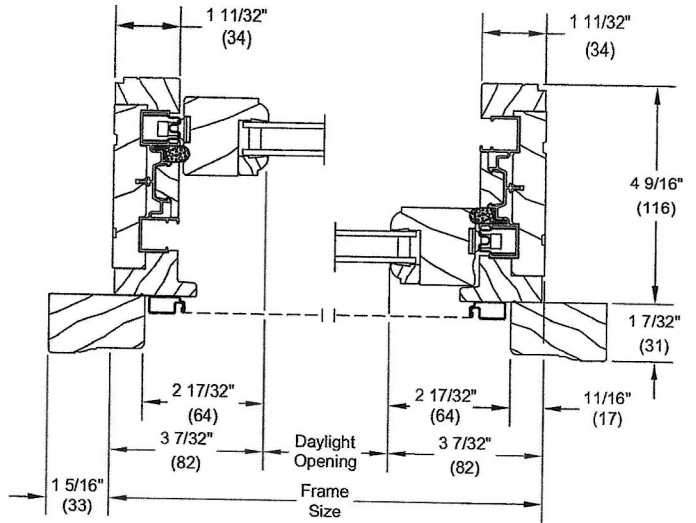
Scale: 3" = 1' 0"

Double Hung



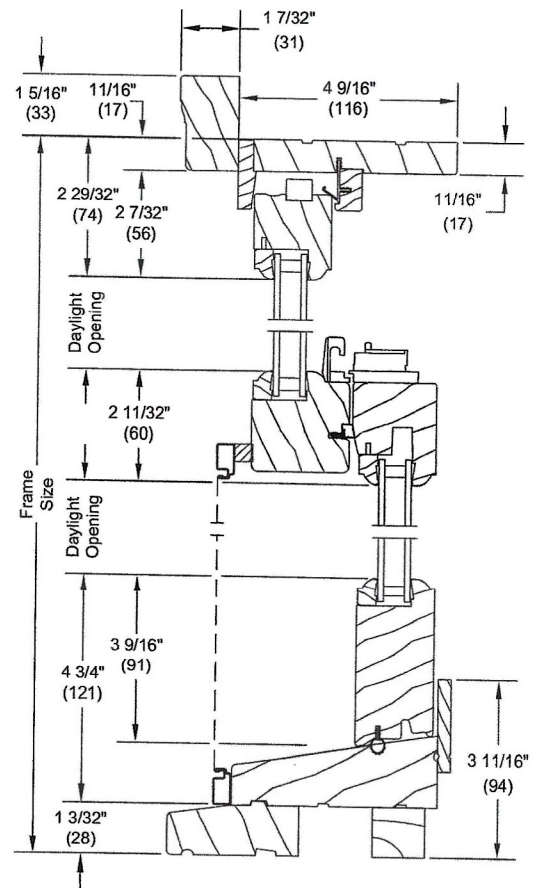
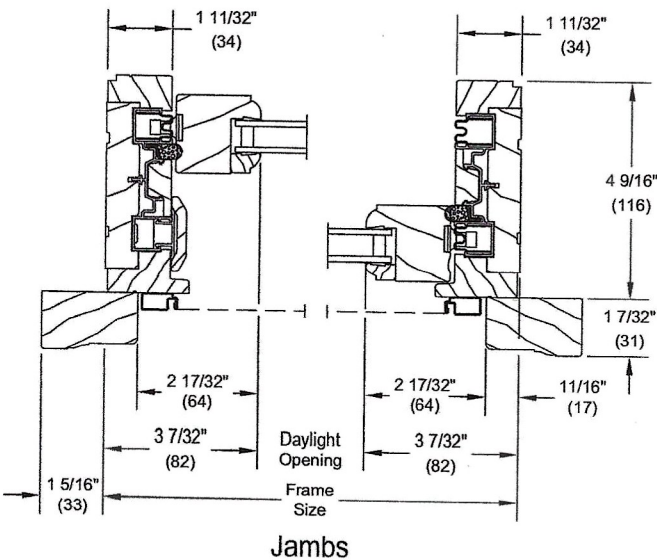
Lower Sash

Upper Sash



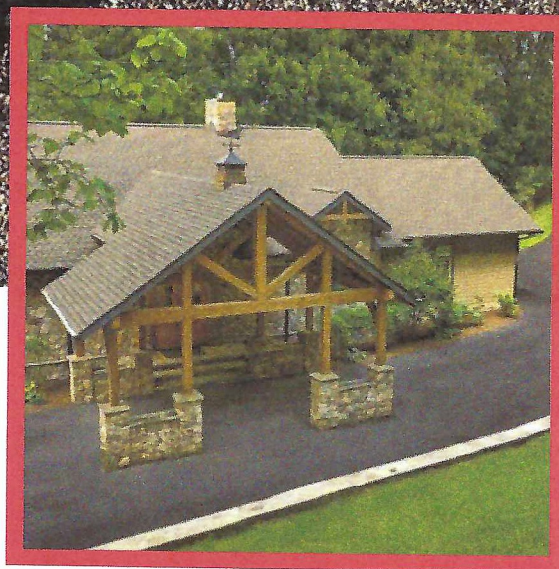
Jambs

Single Hung



Head Jamb and Sill

GAF TimberlineHDZ
High Definition Lifetime Shingles



**Engineered to be first.
Built to last.**

Our #1-selling shingle represents
a legacy of relentless innovation —
delivering the peak performance and
dependability customers trust most.



Benefits:

- **Industry-leading innovation:** Layerlock® Technology powers StrikeZone®, the industry's largest nailing zone. Paired with our legendary Dura Grip™ sealant, these features ensure that the shingles stay in place, even under high wind conditions
- **The industry's strongest wind warranty:** Timberline HDZ® Shingles are eligible for the WindProven™ Limited Wind Warranty,¹ the industry's first wind warranty with no maximum wind-speed limitation, when installed with the required combination of GAF accessories
- **GAF-exclusive algae-fighting technology:** 25-Year StainGuard Plus™ Algae Protection Limited Warranty² powered by proprietary time-release algae-fighting technology
- **Peace of mind:** Timberline HDZ® Shingles come with Lifetime® coverage against manufacturing defects
- **Impact rating:** Timberline HDZ® passes the UL 2218 impact-resistance test with a Class 3 rating and may be eligible for insurance discounts⁴
- **For the best look:** Use TimberTex® premium ridge cap shingles or TimberCrest® premium SBS-modified ridge cap shingles

High Definition® colors:



Bold Definition colors:



Product details:

Product/System Specifics

- Fiberglass asphalt construction
- **Dimensions (approx.):** 13 1/4" x 39 3/8" (337 mm x 1,000 mm)
- **Exposure:** 5 5/8" (143 mm)
- **Bundles/Square:** 3
- **Pieces/Square:** 64
- **Hip/Ridge:** TimberTex®; TimberCrest®
- **Starter:** Pro-Start®; QuickStart®; WeatherBlocker™

Applicable Standards & Protocols:

- Passes UL 2218 Impact-Resistance Test with Class 3 rating
- UL Listed to ANSI/UL 790 Class A
- State of Florida Approved
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018 Type 1
- Meets ASTM D3462³
- Miami-Dade County Product Control Approved
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Meets Texas Department of Insurance Requirements
- **Rated by the CRRC:** Can be used to comply with Title 24 Cool Roof Requirements (some colors)

¹ Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence (or eligible second owner(s)) owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime shingles only. See the *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime shingle and at least 3 qualifying GAF accessories. See the *GAF Roofing System Limited Warranty* for complete coverage and restrictions. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*. Visit gaf.com/LRS for qualifying GAF products.

² 15-year WindProven™ Limited Wind Warranty covers GAF Shingles with LayerLock® Technology only and requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the WindProven™ Limited Wind Warranty, see *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

³ 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

⁴ Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

⁵ UL 2218 Class 3 impact-resistance test performed under controlled laboratory conditions. Insurance discounts may not be available in your area. Where available, insurance discounts may vary. Contact your insurance provider for information.

⁶ Eligibility criteria, terms, and restrictions apply. Visit fortifiedhome.org for details. U.S. only.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



Regional availability

We protect what matters most™

