

## PROJECT DESCRIPTION:

This submittal seeks approval for the rehabilitation of 612 West 36<sup>th</sup> Street in the Cuyler-Brownville Historic District. The building is currently vacant and in need of maintenance/repair.

### **Foundation**

The brick foundation piers will be repointed where necessary. New p.t. wood hog penning will be installed between the foundation piers.

### **Siding and Trim**

The wood siding and trim will be repaired 'in kind' as necessary. All siding and trim will be repainted.

### **Doors and Windows**

The historic windows will be maintained and re-glazed/painted where necessary. One window on the rear facade is proposed to be carefully removed and retained because it is in conflict with a new interior closet. The non-historic front entry door will be replaced with a new wood paneled door. The missing rear entry door will get a new wood paneled door matching the front.

### **Roof**

The deteriorated asphalt shingle roof will be replaced with a new architectural asphalt shingle roof over ice & water shield.

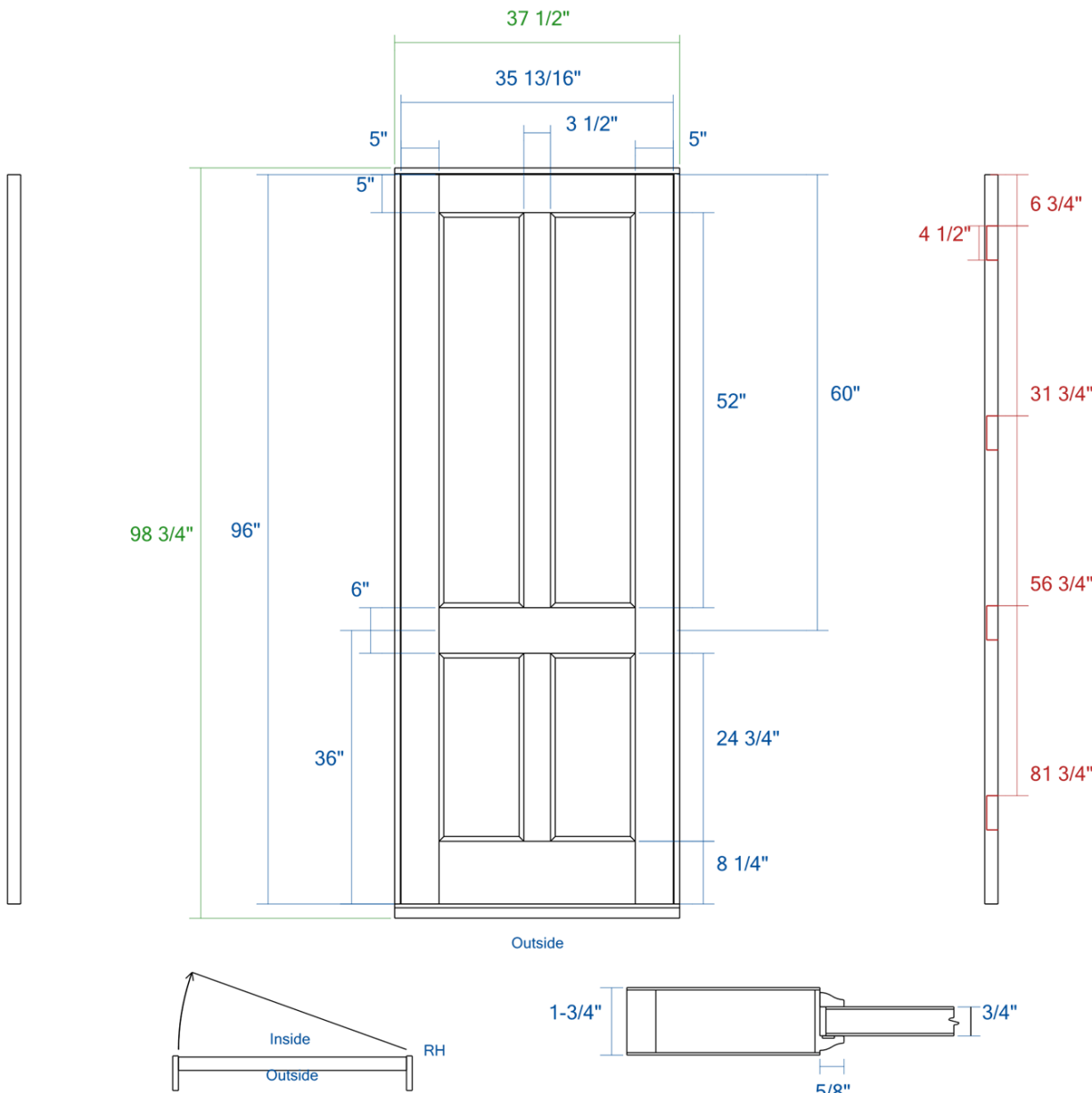
### **Porches**

The front porch stairs will have metal handrails installed. The rear porch will have new wood stairs installed replacing the non-historic concrete stairs. A portion of the rear porch will have insect screening installed.

### **Site**

A new 8'x8' wood storage shed will be installed in the rear yard beside a new 18'x18' concrete parking pad. The mechanical equipment and refuse will be hidden behind a wood screen. The rear yard will be enclosed with a new 5' tall chain link fence.

Entry Door Details



| Door Style | Sticking | Panel | Material | Glass / Insert | Product Type |
|------------|----------|-------|----------|----------------|--------------|
| TS4000     | OG       | C     | Mahogany |                | Entry System |

# DEEP DIMENSION OUTSTANDING PERFORMANCE

## Duration® Shingles offer:

- The high-performance of SureNail® Technology
- A TruDefinition® Color Platform
- A Limited Lifetime Warranty\*<sup>‡</sup> for as long as you own your home
- The protection of a 130-MPH\* wind warranty
- StreakGuard™ Protection with a 25-year Algae Resistance Limited Warranty<sup>3/§</sup>

## UNA NUEVA DIMENSIÓN DESEMPEÑO SOBRESALIENTE

### Las tejas Duration® ofrecen:

- El gran desempeño de la tecnología SureNail®
- La gama de colores TruDefinition®
- Una garantía limitada de por vida\*<sup>‡</sup> mientras sea propietario de la vivienda
- La protección de una garantía contra vientos de hasta 210 km/h (130 mph)\*
- Protección StreakGuard™ con una garantía limitada de 25 años de resistencia a las algas <sup>3/§</sup>



### Don't let black streaks lower the value or curb appeal of your home.

Owens Corning blends specialized copper-lined granules, developed by 3M, a leading producer of roofing granules, into our colorful shingles. This helps resist blue-green algae growth.\*

### No deje que las manchas de algas afecten al valor o aspecto de su vivienda.

En sus coloridas tejas, Owens Corning añade gránulos especiales con recubrimiento de cobre, desarrollados por 3M, un productor líder de gránulos para techos. Esto ayuda a prevenir la proliferación de algas azul-verdosas.\*



### THE FINISHING TOUCH

## OWENS CORNING® HIP & RIDGE SHINGLES

Owens Corning® Hip & Ridge Shingles are uniquely color matched to TruDefinition® Duration® Shingles. The multiple color blends are only available from Owens Corning® Roofing and offer a finished look for the roof.

### EL TOQUE FINAL

## TEJAS DE LIMATESA Y CUMBRERA DE OWENS CORNING®

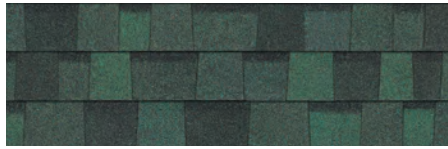
Las tejas de limatesa y cumbrera de Owens Corning® se ofrecen en una exclusiva gama de colores para combinar con las tejas Duration® TruDefinition®. Esta gran variedad de combinaciones de colores es una exclusividad de Owens Corning® Roofing para lograr techos con un acabado único.

TruDefinition®  
**DURATION®**

Shingles with Patented SureNail® Technology | Tejas con tecnología patentada SureNail®



**Brownwood<sup>1</sup>**



**Chateau Green<sup>1</sup>**



**Desert Rose<sup>1</sup>**



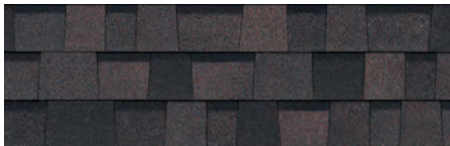
**Driftwood<sup>1</sup>**



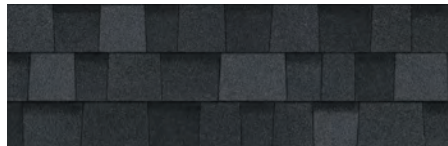
**Estate Gray<sup>1</sup>**



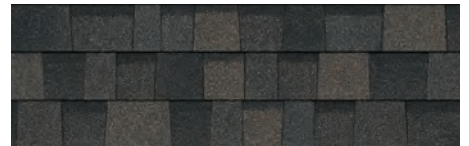
**Harbor Blue<sup>1</sup>**



**Midnight Plum<sup>1</sup>**



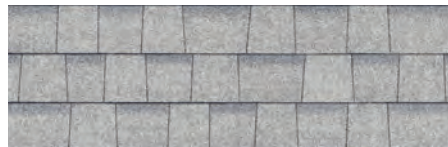
**Onyx Black<sup>1</sup>**



**Peppercorn<sup>1</sup>**



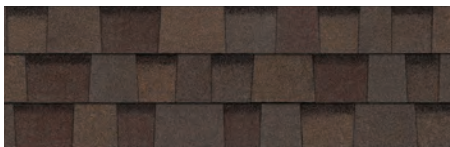
**Quarry Gray<sup>1</sup>**



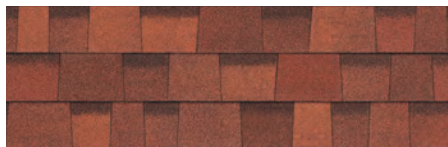
**Shasta White<sup>1</sup>**



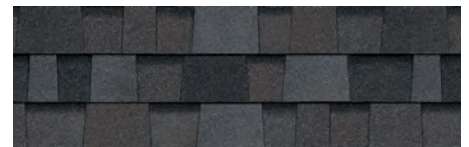
**Slatestone Gray<sup>1</sup>**



**Teak<sup>1</sup>**



**Terra Cotta<sup>1</sup>**



**Williamsburg Gray<sup>1</sup>**

## COLOR DISCLAIMER

As color experts, we know getting the shingle color right is a big part of any roofing purchase. Due to printing color variations, in addition to viewing shingle literature, we suggest you request an actual shingle sample to see how it will appear on your home and with your home's exterior elements in various natural lighting conditions. Lastly, we recommend you verify your color choice by seeing it installed on an actual home; your roofing contractor or supplier can provide a sample and may be able to direct you to a local installation.

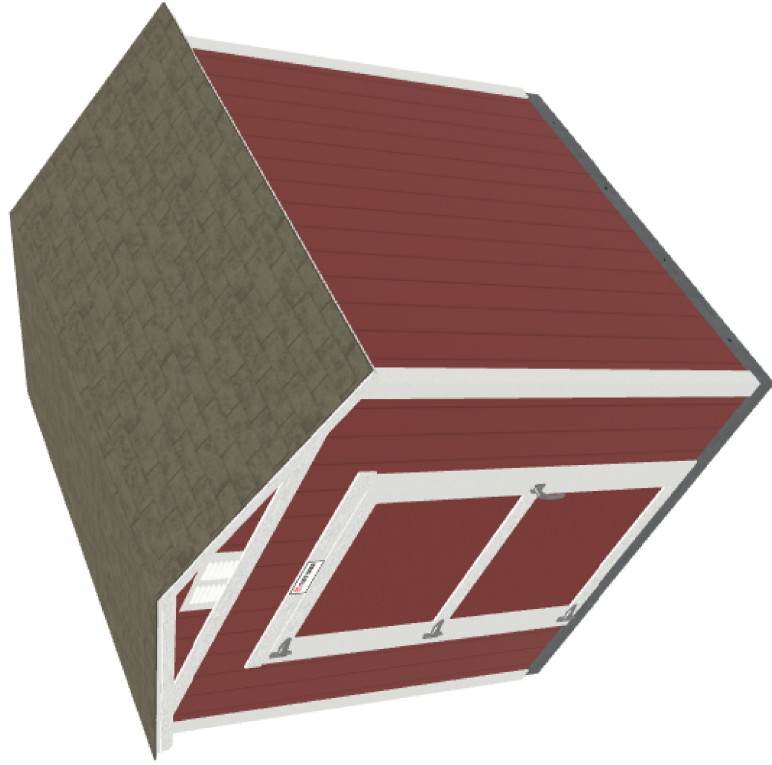
## DESCARGO DE RESPONSABILIDAD SOBRE LOS COLORES

En tanto que especialistas en color, sabemos que obtener el color de teja perfecto es una parte importante en toda compra de techos. Debido a las variaciones en los colores impresos, además de mirar folletos de tejas, le sugerimos que solicite una muestra de la teja para ver como se verá en su hogar y con los elementos externos de la vivienda bajo distintas condiciones de luz natural. Finalmente, le recomendamos que para verificar su elección de colores, vea cómo lucen las tejas ya instaladas en una vivienda; su contratista de techos o su proveedor le pueden dar una muestra e incluso indicarle dónde ver un techo ya instalado.

\$4,436.80 USD

Details

TR-800 - 8' wide by 8' long



SELECT A ROOF TYPE



Ranch



Barn



Lean-To

SELECT A STYLE



TR-800



TR-700



SR-600



Sundance  
Ranch  
Garage

MINIMUM SIZE 8' x 6' MAXIMUM SIZE 16' x 24'

Width (ft) 8 by Length (ft) 8

VISUAL SIZE SELECTION HELP

Building Type, Style, & Size

Doors, Windows & Vents

Walls

Paint

Roof

Floor & Anchors

Interior

Finalize Configuration & Job Details

# 612 WEST 36TH STREET -REHABILITATION

Culyer-Brownville Historic District

## HPC DRAWING SET



### PROJECT TEAM:

CLIENT:  
CIVIS  
JUAN UZCATEGUI  
JUZCATEGUI@CIVIS.ORG

ARCHITECT:  
WARD ARCHITECTURE + PRESERVATION  
JOSH WARD  
625 EAST 44TH STREET  
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912.596.4882  
JWARD@WARDARCH.COM



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### DRAWING INDEX:

| SHEET | SHEET NAME          |
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| G101  | SITE PLAN           |

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| D201 | NORTH AND SOUTH ELEVATIONS - EXISTING |
| D202 | EAST AND WEST ELEVATIONS - EXISTING   |

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JOSHUA WARD, ARCHITECT OF RECORD, IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE, AND THAT THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

612 WEST 36TH  
STREET

SAVANNAH, GA 31415

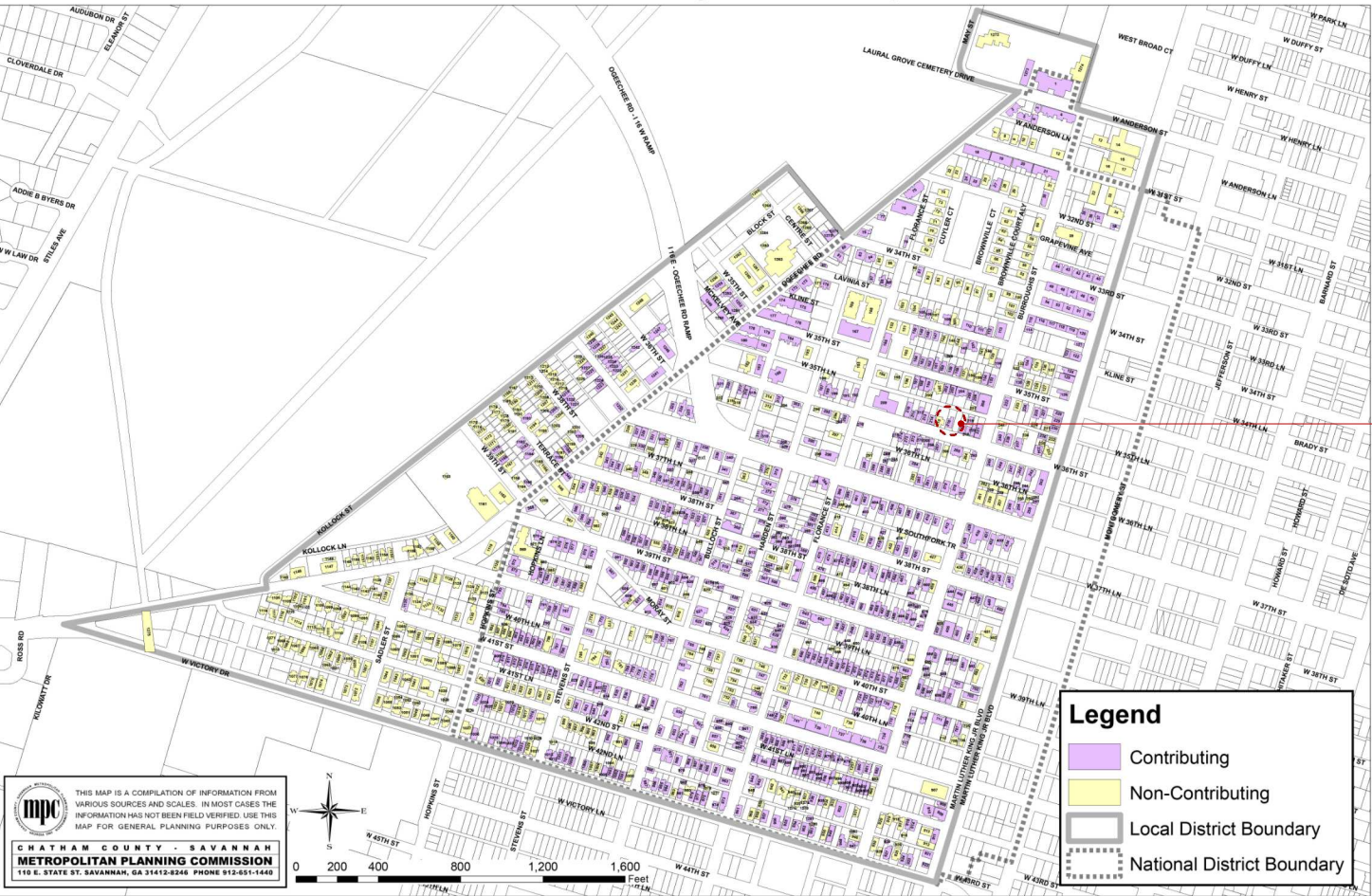
COVER SHEET

PROJECT NO. 2612.00  
DATE 05.27.26  
SHEET NO.

G000

CUYLER BROWNVILLE HISTORIC DISTRICT Contributing Resources Map

Updated: September 1, 2021



SITE



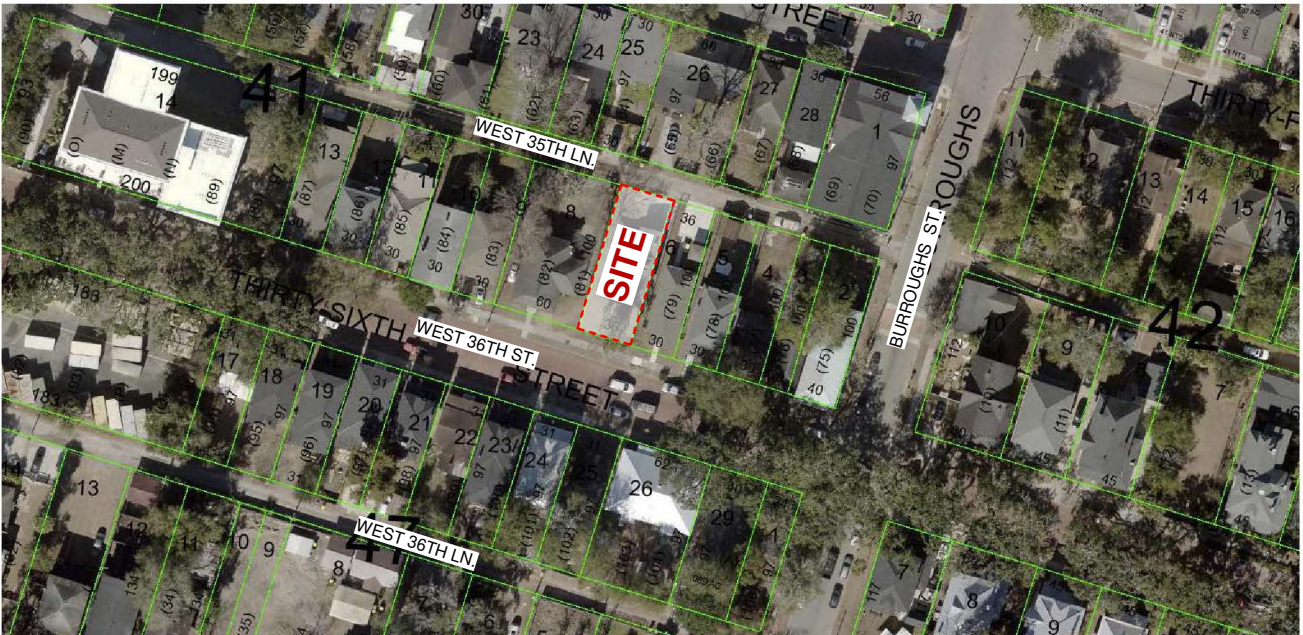
625 EAST 44TH STREET  
SAVANNAH, GA 31405  
912.596.4882

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612 WEST 36TH STREET

SAVANNAH, GA 31415



- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE:  
2024 INTERNATIONAL RESIDENTIAL CODE  
2024 INTERNATIONAL EXISTING BUILDING CODE  
2024 INTERNATIONAL MECHANICAL CODE  
2024 INTERNATIONAL PLUMBING CODE  
2023 NATIONAL ELECTRICAL CODE  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
2024 INTERNATIONAL FIRE CODE  
FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS AND THE BEST TRADE PRACTICES.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE CITY OF SAVANNAH.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALLS/PARTITIONS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED, OR CONSULT THE ARCHITECT FOR CLARIFICATION.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- EACH CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER CONTRACTORS (PLUMBING, ELECTRICAL, MECHANICAL, FIRE PROTECTION).
- EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE OTHER CONTRACTORS AND SUPPLIERS.
- EACH CONTRACTOR SHALL DO CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB IN EACH PRIME CONTRACT.
- PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAVANNAH AND THE 2024 INTERNATIONAL BUILDING CODE.
- DUCTS, PIPES AND CONDUITS PASSING THROUGH RATED CONSTRUCTION SHALL HAVE SPACES NOT EXCEEDING 1/2 INCH PACKED WITH MINERAL WOOL AND CLOSED OFF WITH CLOSE FITTING METAL ESCUTCHEONS. AGGREGATE AREA OF SUCH OPENINGS SHALL NOT EXCEED 25 SQUARE INCHES IN ANY 100 SQ. FT. OF WALL OR FLOOR AREA UNLESS PROTECTED BY RATED SELF-CLOSING DEVICES.
- CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC., SHALL BE FIRESTOPPED (EXCEPT WHERE CONCEALED SPACE IS SPRINKLERED) NON-COMBUSTIBLE MATERIAL THAT CAN BE SHAPED, FITTED AND PERMANENTLY SECURED IN POSITION. FIRE SEAL SHALL MATCH RATING OF WALL.
- CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN SUCH PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS.
- PENETRATION OF OPENINGS IN WALLS, PARTITIONS OR FLOORS, FOR PIPE SLEEVES, FIRE EXTINGUISHERS, TOILET ACCESSORIES, ELECTRIC DEVICES, ETC., SHALL BE PLACED, SEALED, LINED OR OTHERWISE ISOLATED TO MAINTAIN THE REQUIRED S.T.C. RATING.

GENERAL INFORMATION

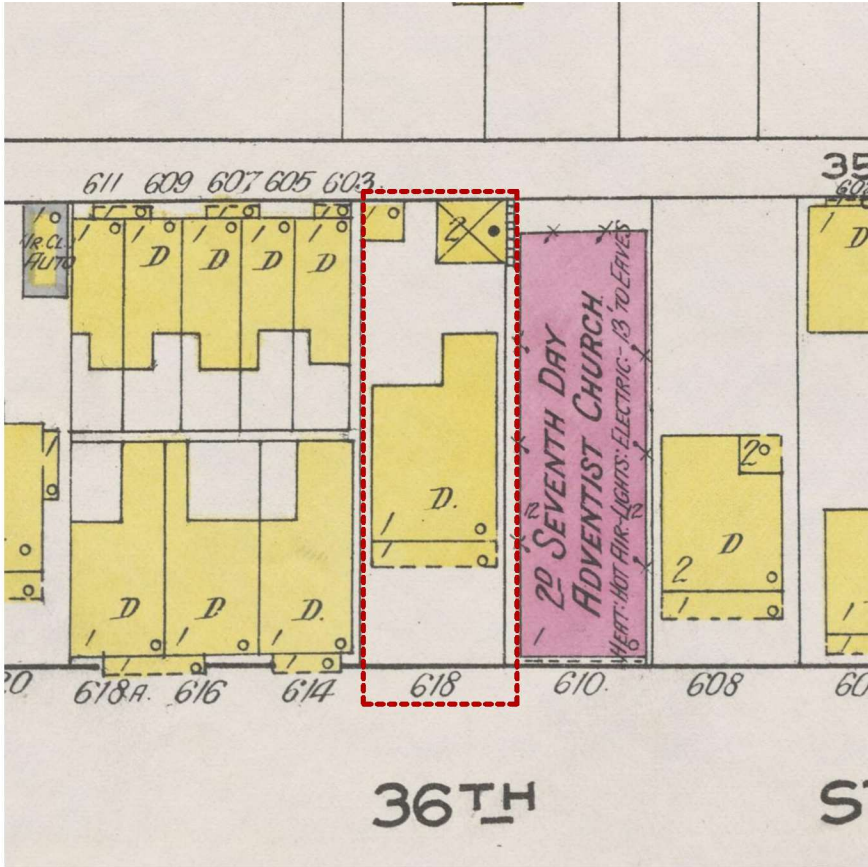
PROJECT NO. 2612.00

DATE 05.27.26

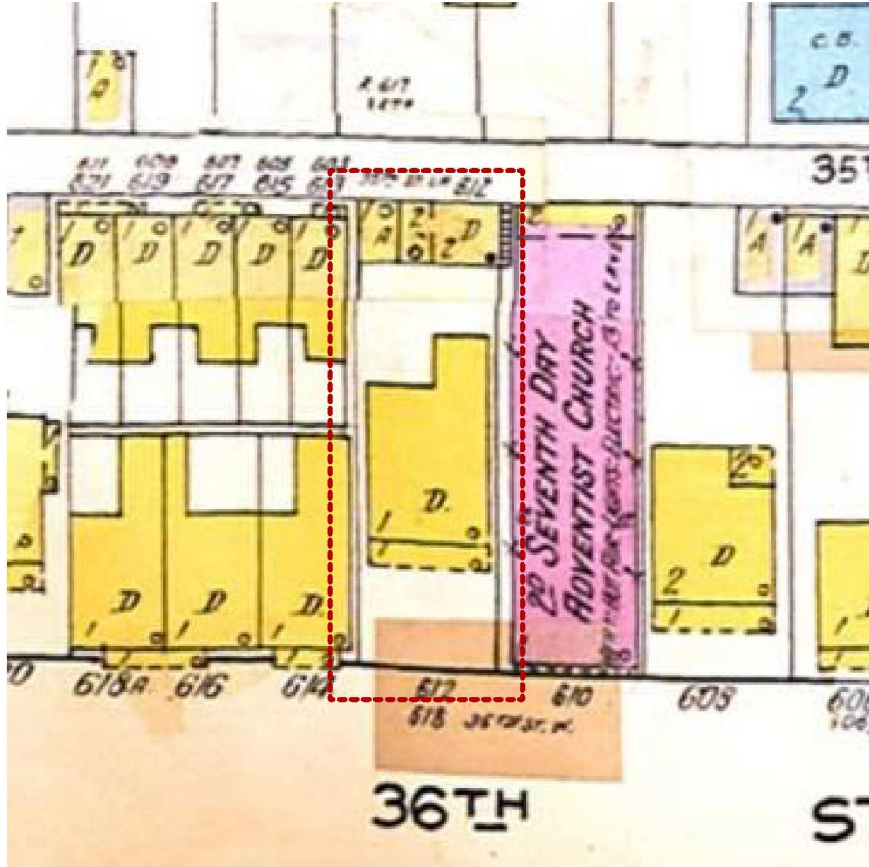
SHEET NO.

G001

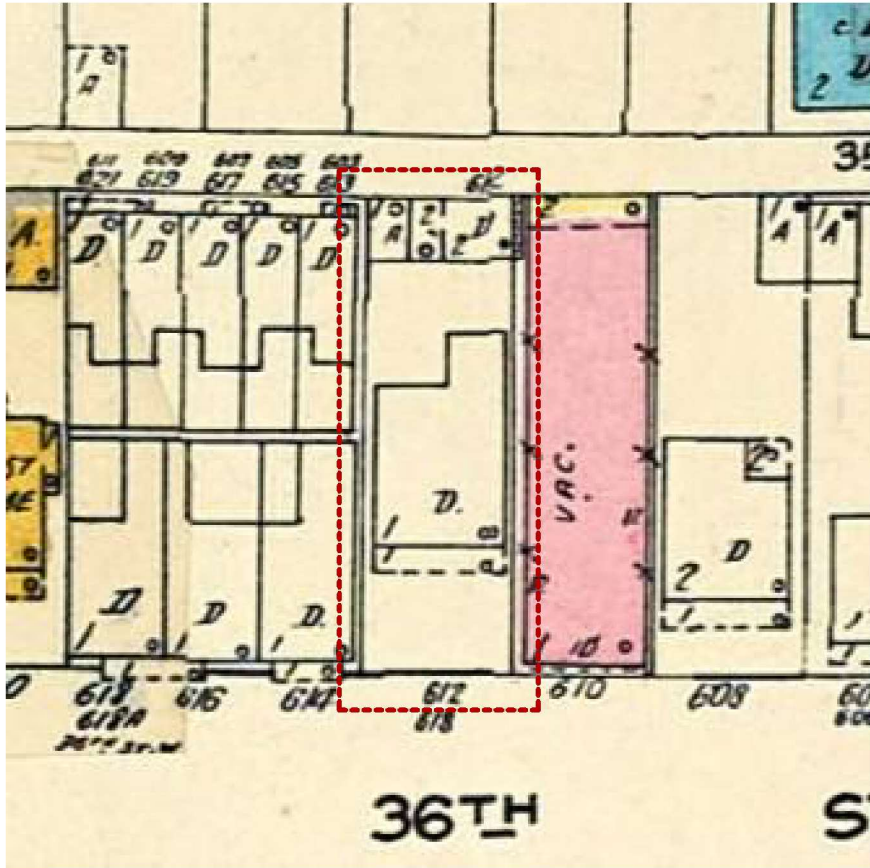
1916



1916-1953



1955-1966



612 WEST 36TH STREET

SAVANNAH, GA 31415

SITE HISTORY

PROJECT NO. 2612.00  
DATE 05.27.26  
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G002



ward  
architecture  
+preservation

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612 WEST 36TH  
STREET

SAVANNAH, GA 31415

SITE PHOTOS

PROJECT NO. 2612.00

DATE 05.27.26

SHEET NO.

G003

5/25/2026 11:27:45 AM

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## SAVANNAH, GA 31415

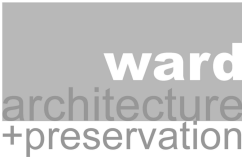
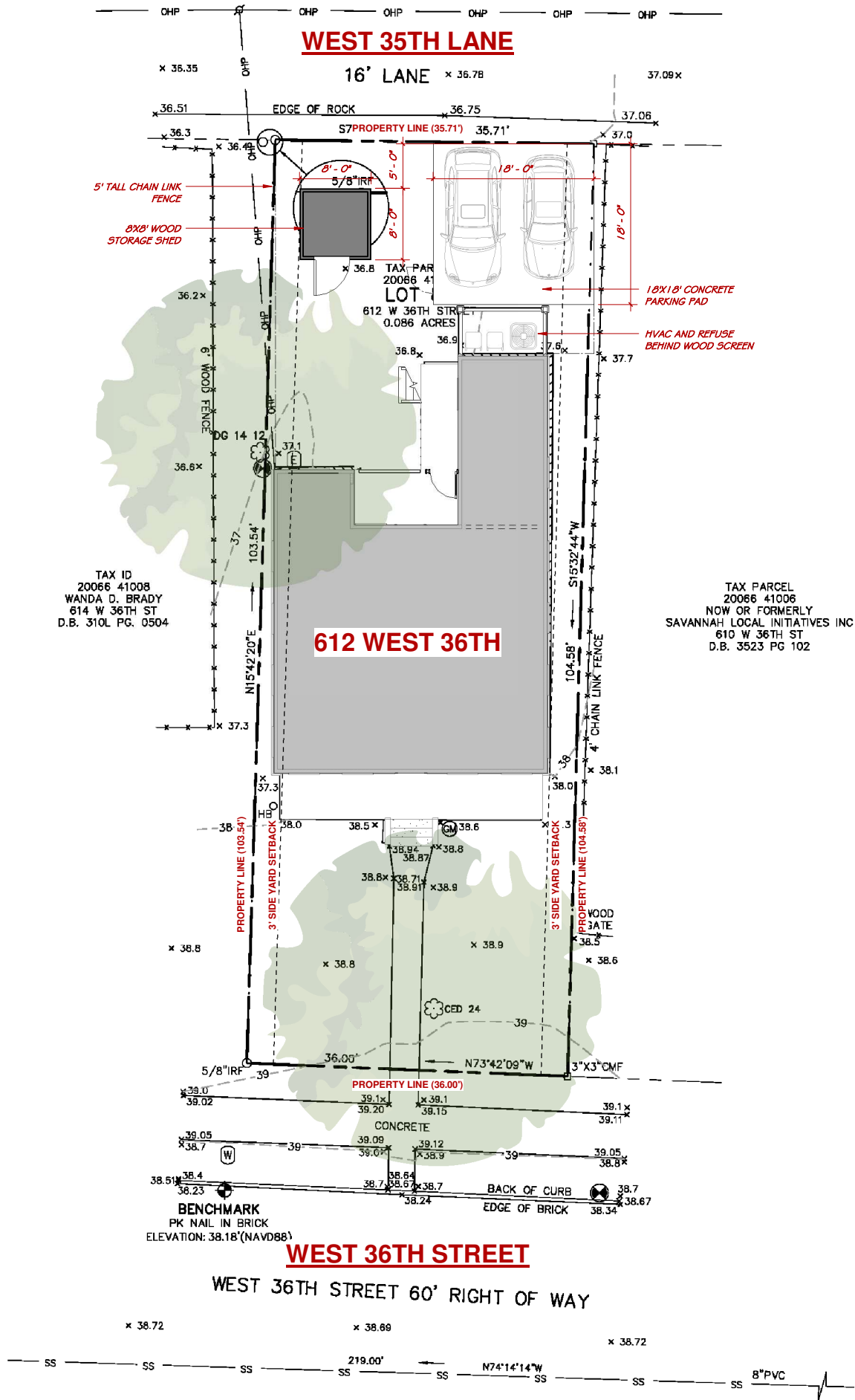
SHEET NO.

# G100

5/25/2026 11:27:46 AM

 $1/8" = 1'-0"$

**612 WEST 36TH STREET**  
*PIN #:* 20066 41007  
*ZONING:* TR-1  
*LOT AREA:* 3,746 SF EXISTING  
*BUILDING COVERAGE:* 50% MAX. BUILDING COVERAGE ALLOWED PER CITY CODE OF ORDINANCE TABLE 5.9.5  
EXISTING: 32% (1,200/3,746)  
PROPOSED: 33% (1,264/3,746)



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**612 WEST 36TH STREET**

SAVANNAH, GA 31415

SITE PLAN

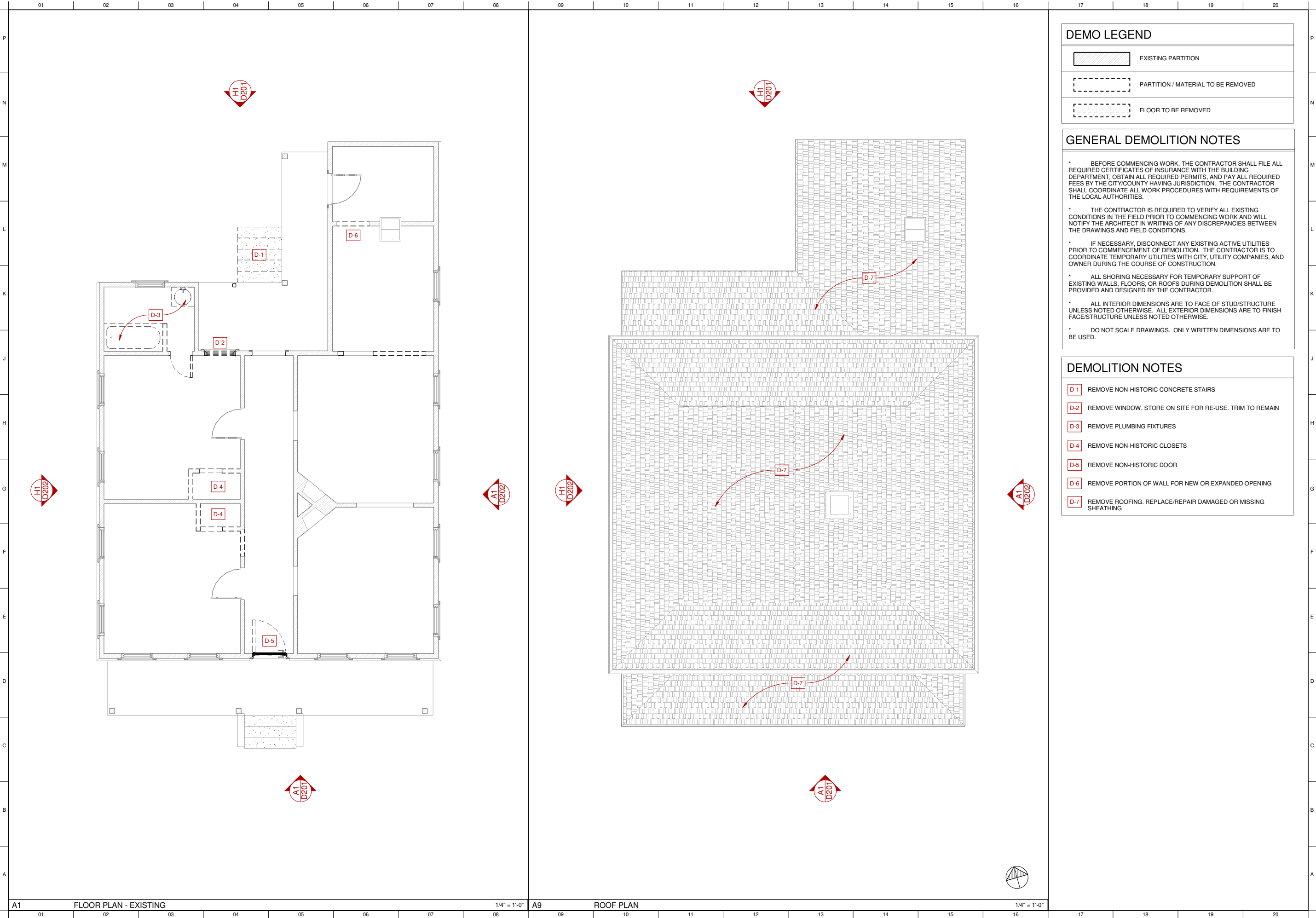
PROJECT NO. 2612.00  
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**G101**



1/8" = 1'-0"

5/25/2026 11:27:46 AM



| DEMO LEGEND |                                    |
|-------------|------------------------------------|
| <div></div> | EXISTING PARTITION                 |
| <div></div> | PARTITION / MATERIAL TO BE REMOVED |
| <div></div> | FLOOR TO BE REMOVED                |

- GENERAL DEMOLITION NOTES
- \*

BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL REQUIRED FEES BY THE CITY/COUNTY HAVING JURISDICTION. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF THE LOCAL AUTHORITIES.

\*

THE CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND WILL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS.

\*

IF NECESSARY, DISCONNECT ANY EXISTING ACTIVE UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. THE CONTRACTOR IS TO COORDINATE TEMPORARY UTILITIES WITH CITY, UTILITY COMPANIES, AND OWNER DURING THE COURSE OF CONSTRUCTION.

\*

ALL SHORING NECESSARY FOR TEMPORARY SUPPORT OF EXISTING WALLS, FLOORS, OR ROOFS DURING DEMOLITION SHALL BE PROVIDED AND DESIGNED BY THE CONTRACTOR.

\*

ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/STRUCTURE UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS NOTED OTHERWISE.

\*

DO NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

- DEMOLITION NOTES
- D-1

REMOVE NON-HISTORIC CONCRETE STAIRS

D-2

REMOVE WINDOW. STORE ON SITE FOR RE-USE. TRIM TO REMAIN

D-3

REMOVE PLUMBING FIXTURES

D-4

REMOVE NON-HISTORIC CLOSETS

D-5

REMOVE NON-HISTORIC DOOR

D-6

REMOVE PORTION OF WALL FOR NEW OR EXPANDED OPENING

D-7

REMOVE ROOFING. REPLACE/REPAIR DAMAGED OR MISSING SHEATHING



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612 WEST 36TH STREET

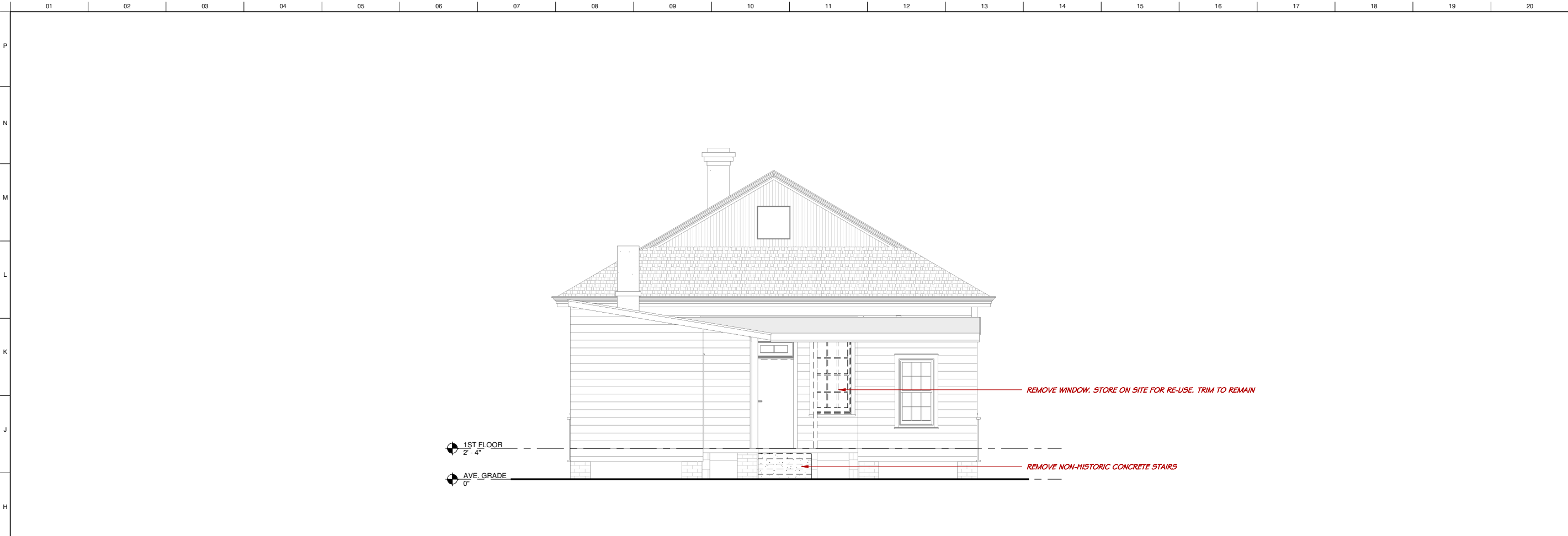
SAVANNAH, GA 31415

EXISTING FLOOR AND ROOF PLAN

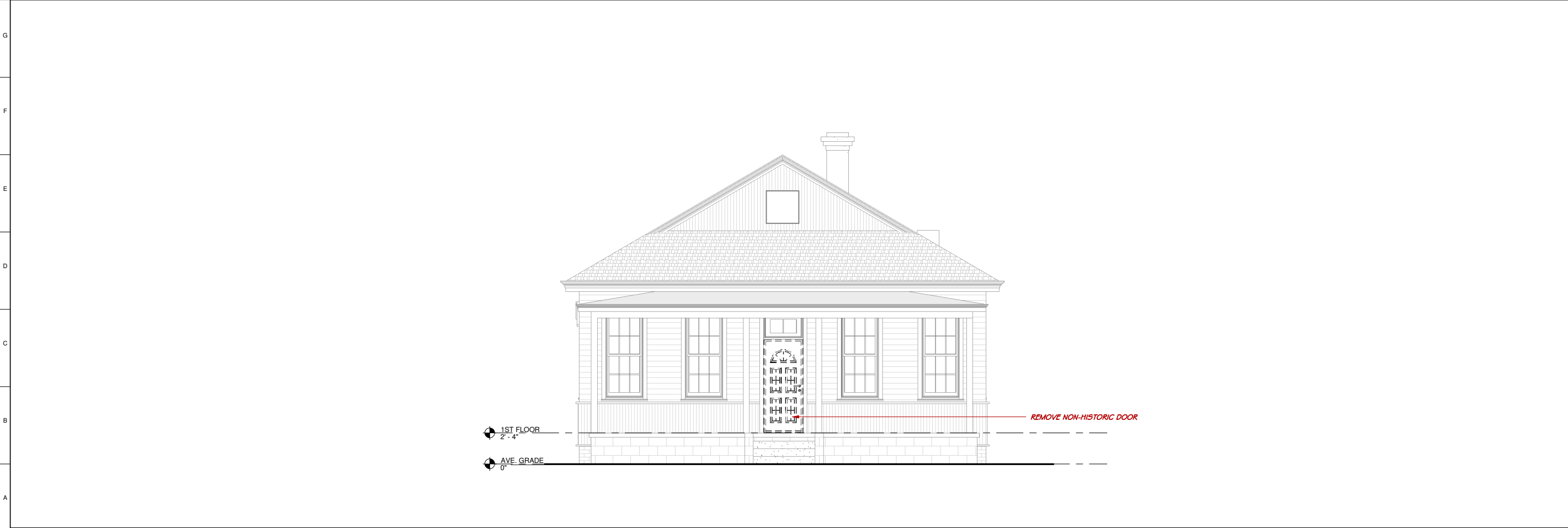
PROJECT NO. 2612.00  
DATE 05.27.26  
SHEET NO.

D101

5/25/2026 11:27:41 AM



H1 NORTH ELEVATION - EXISTING 1/4" = 1'-0"



A1 SOUTH ELEVATION - EXISTING 1/4" = 1'-0"



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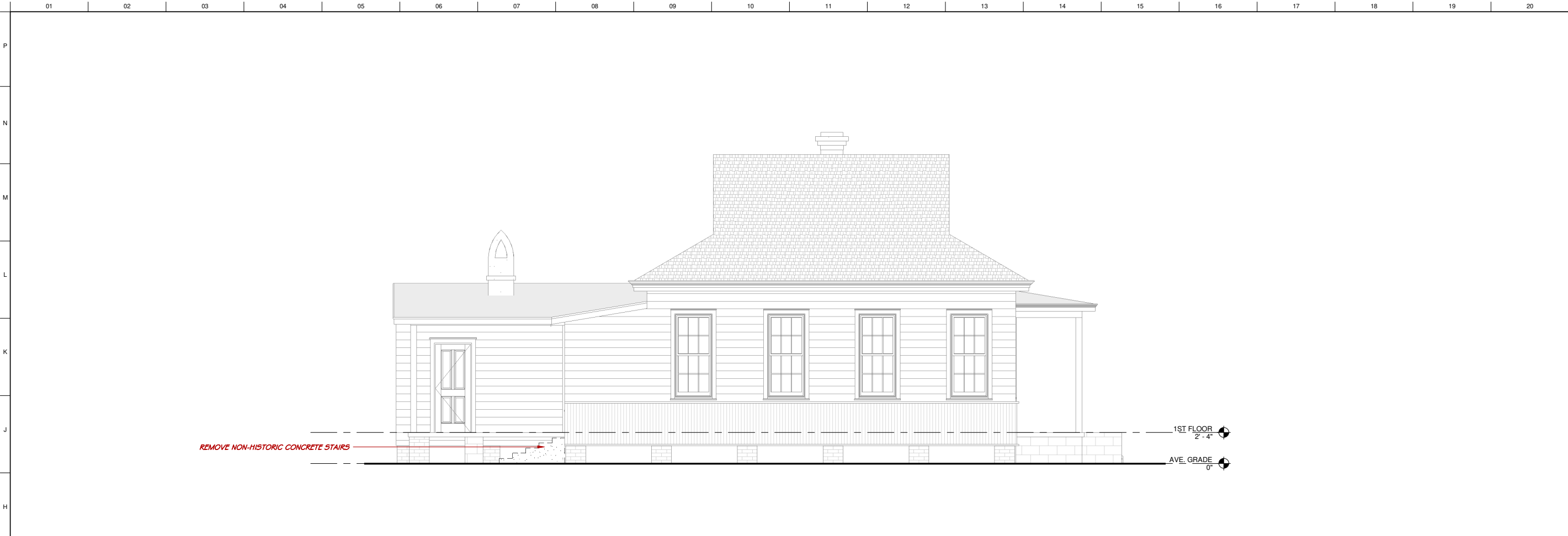
612 WEST 36TH STREET

SAVANNAH, GA 31415

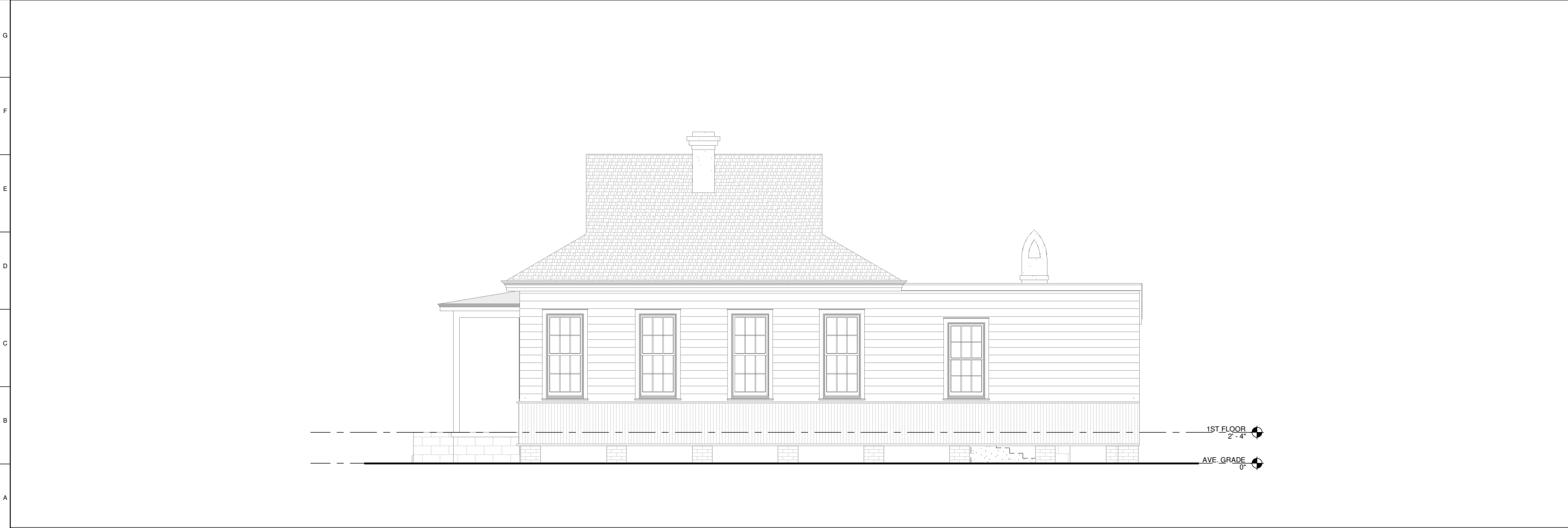
NORTH AND SOUTH ELEVATIONS - EXISTING

PROJECT NO. 2612.00  
DATE 05.27.26  
SHEET NO.

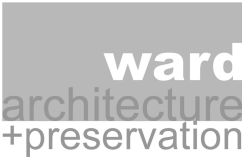
D201



H1 EAST ELEVATION - EXISTING 1/4" = 1'-0"



A1 WEST ELEVATION - EXISTING 1/4" = 1'-0"



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SAVANNAH, GA 31415

EAST AND WEST ELEVATIONS - EXISTING

PROJECT NO. 2612.00

DATE 05.27.26

SHEET NO.

D202

0102030405060708091011121314151617181920

P  
N  
M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A

DOOR SCHEDULE

| DOOR | ROOM NAME   | WIDTH    | HEIGHT  | DOOR |           | FRAME |          | COMMENTS |
|------|-------------|----------|---------|------|-----------|-------|----------|----------|
|      |             |          |         | TYPE | MATERIAL  | TYPE  | MATERIAL |          |
| 1    | CORRIDOR    | 3' - 0"  | 7' - 0" | A    | WD        |       | WD       |          |
| 2    | CORRIDOR    | 3' - 0"  | 6' - 8" | A    | WD        |       | WD       |          |
| 3    | BATH        | 2' - 4"  | 6' - 8" | A    | WD OR MDF |       | WD       |          |
| 4    | BATH        | 2' - 4"  | 6' - 8" | A    | WD OR MDF |       | WD       | POCKET   |
| 5    | CLOSET      | 2' - 4"  | 6' - 8" | A    | WD OR MDF |       | WD       | POCKET   |
| 6    | CLOSET      | 3' - 0"  | 7' - 0" | B    | WD OR MDF |       | WD       | DBL      |
| 7    | CLOSET      | 3' - 0"  | 7' - 0" | B    | WD OR MDF |       | WD       | DBL      |
| 8    | MASTER BATH | 2' - 0"  | 6' - 8" | A    | WD OR MDF |       | WD       |          |
| 9    | KITCHEN     | 2' - 10" | 6' - 8" | A    | WD OR MDF |       | WD       |          |

DOOR NOTES

1. COORDINATE FRAME, JAMB, HEAD, AND SILL WIDTH WITH ACTUAL WALL WIDTH/SIZE.

2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROUGH OPENINGS.

3. MANUFACTURER TO VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION.

4. CONTRACTOR TO REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION.

5. COORDINATE KEYING WITH OWNER.

6. ALL EXTERIOR DOORS WITH GLASS TO HAVE 7/8" MAX. MUNTINS, SIMULATING TRADITIONAL PUTTY GLAZE.

7. ALL EXTERIOR DOORS IN MASONRY OPENINGS TO BE SET BACK A MINIMUM 3" FROM FACE OF BUILDING.

VARIES

A

3' - 0"

B

0102030405060708091011121314151617181920

P  
N  
M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A

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DOOR SCHEDULE

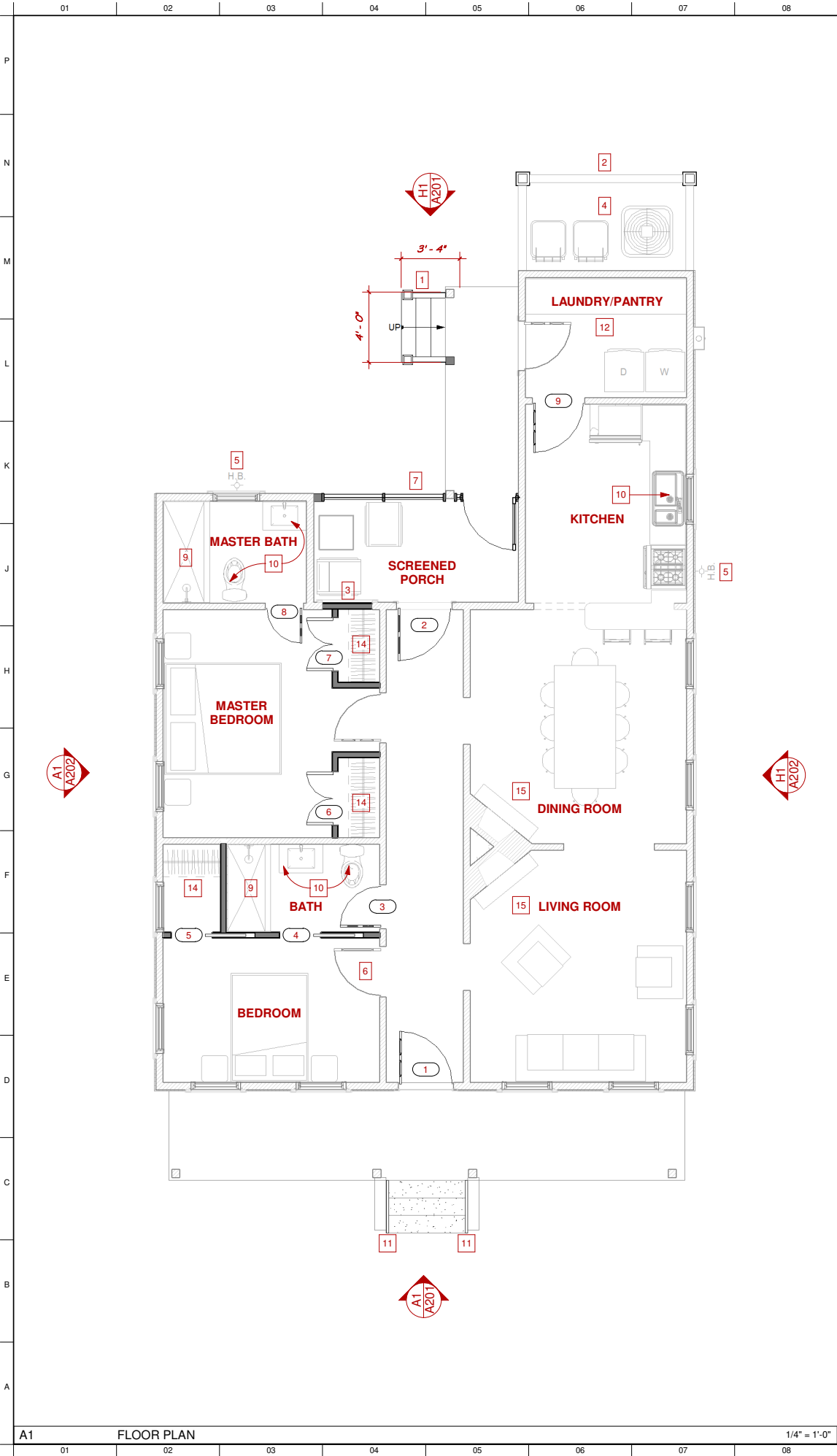
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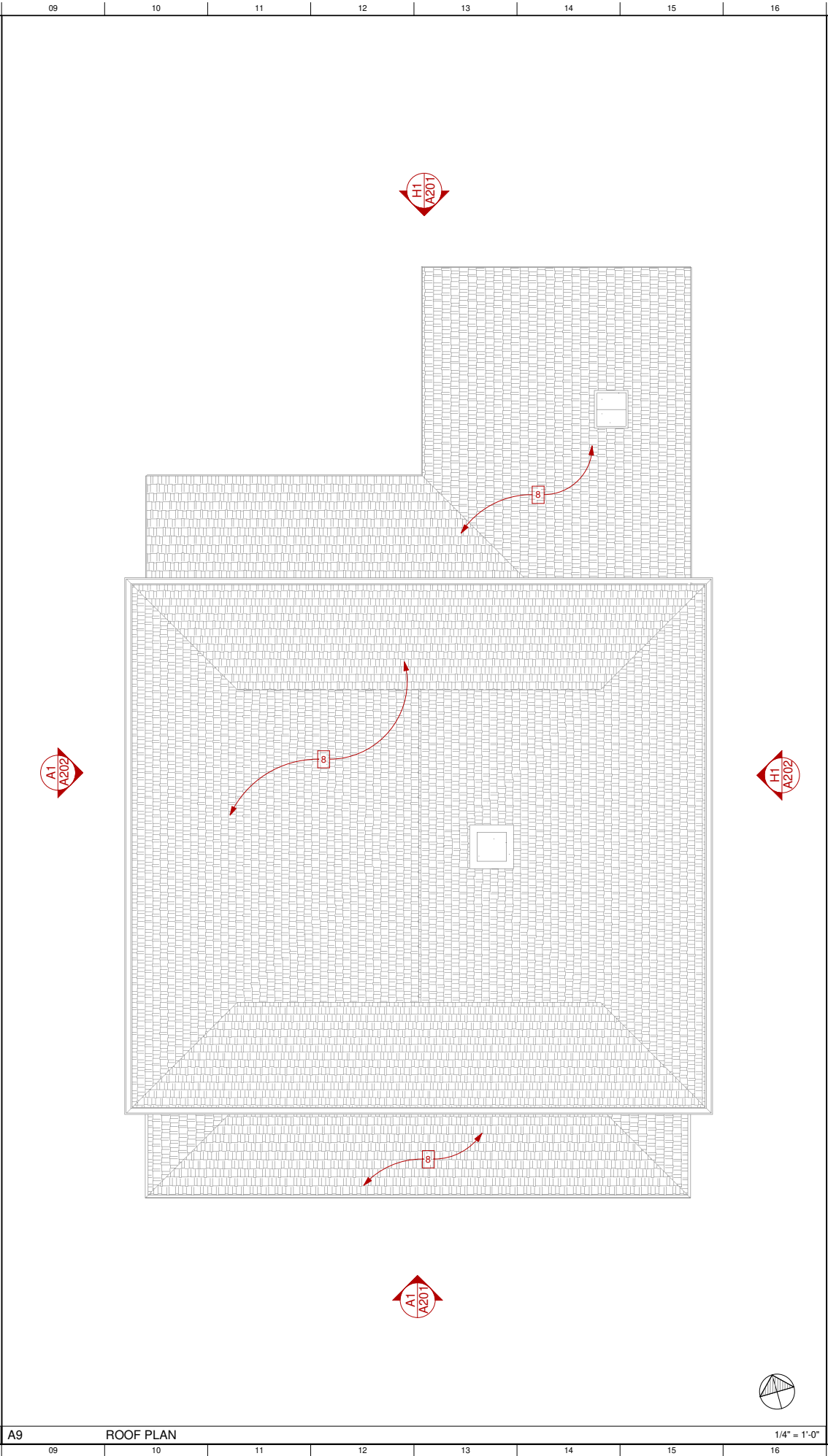
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FLOOR PLAN



ROOF PLAN

LEGEND

NEW PARTITION

GENERAL NOTES

- \* ALL EXTERIOR WOOD TRIM AND/OR FIBER CEMENT SIDING, TO BE PRIMED AND PAINTED. CLIENT TO SELECT PAINT COLORS. ALL FIBER CEMENT TO BE SMOOTH, NOT TEXTURED.
- \* ALL PLUMBING FIXTURES, CABINETRY, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER/ARCHITECT. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.
- \* ALL WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS. INSET WINDOW FRAME MIN. 3" FROM EXTERIOR FACE WHEN INSTALLED IN STUCCO OR MASONRY BUILDING.
- \* ALL INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH UNLESS NOTED OTHERWISE (USE MOISTURE RESISTANT GYP BOARD IN BATHROOMS, WET BAR, LAUNDRY, AND KITCHEN, ETC.)
- \* ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/STRUCTURE UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS NOTED OTHERWISE.
- \* DO NOT TO SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

NOTES

1. INSTALL PAINTED P.T. WOOD STAIR (7-3/4" MAX. RISER, 10" MIN. TREAD W/ 2'-10" HIGH RAILING) W/ 6" SQUARE NEWEL POST W/ CAP AND BASE TRIM
2. INSTALL P.T. 1X4 (SPACED 1" APART) SCREEN
3. INSTALL SMOOTH FIBER CEMENT LAP SIDING W/ 5" EXPOSURE (JAMES HARDIE "SMOOTH" OR APPROVED EQUAL) AND MITERED CORNERS. TRIM TO REMAIN
4. REFUSE/HVAC LOCATION
5. INSTALL HOSE BIB
6. REVERSE DOOR SWING
7. INSTALL BLACK FIBERGLASS INSECT SCREEN AND P.T. FRAME
8. INSTALL ARCHITECTURAL ASPHALT SHINGLE ROOF OVER ICE & WATER SHIELD (OWENS CORNING "DURATION - QUARRY GRAY" OR APPROVED EQUAL)
9. INSTALL TILE SHOWER W/ SOAP NICHE AND TEMPERED GLASS PANEL/DOOR ENCLOSURE. TILE AS SELECTED BY CLIENT
10. INSTALL CABINETRY, COUNTERTOPS, AND FIXTURES AS SELECTED BY CLIENT
11. INSTALL METAL HANDRAIL (2'-10" HIGH RAILING)
12. INSTALL BUILT-IN TALL CABINETRY/STORAGE. COORDINATE FINISH AND HARDWARE W/ CLIENT
13. NOT USED
14. INSTALL WOOD CLOSET SYSTEM AS SELECTED BY OWNER
15. INSTALL MDF MANTEL ("MARSHALL" BY PEARL MANTELS BASIS OF DESIGN)
16. INSTALL TANKLESS WATER HEATER



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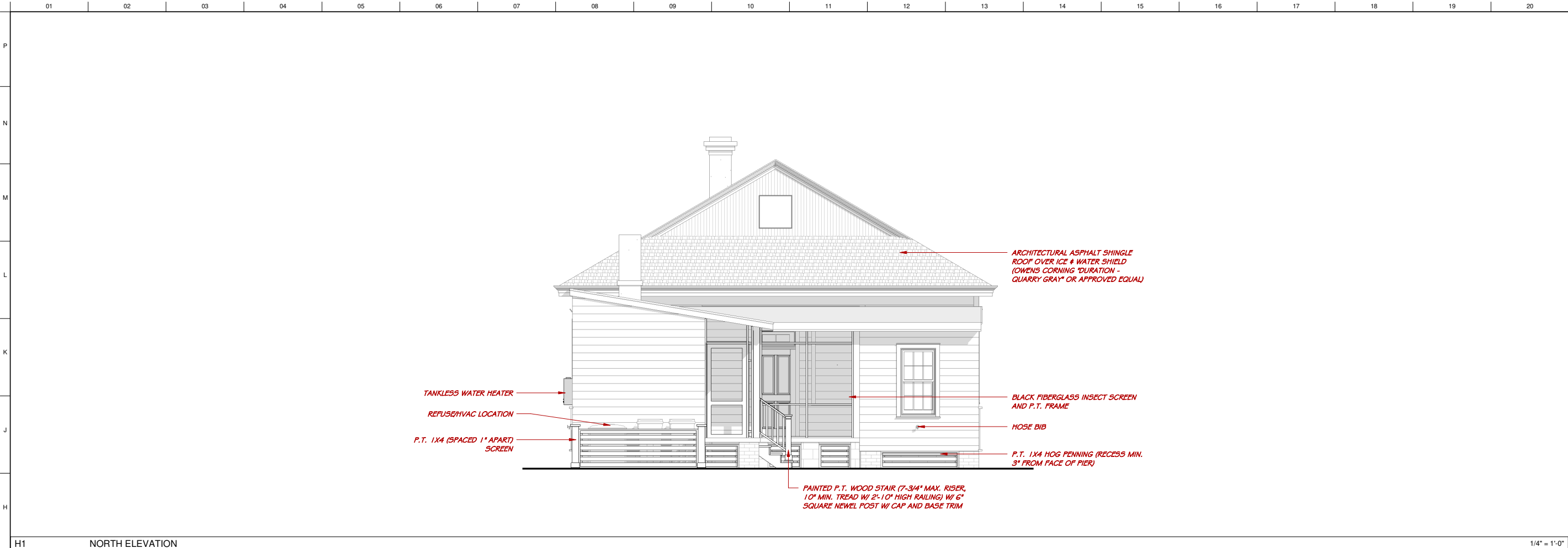
FLOOR AND ROOF PLAN

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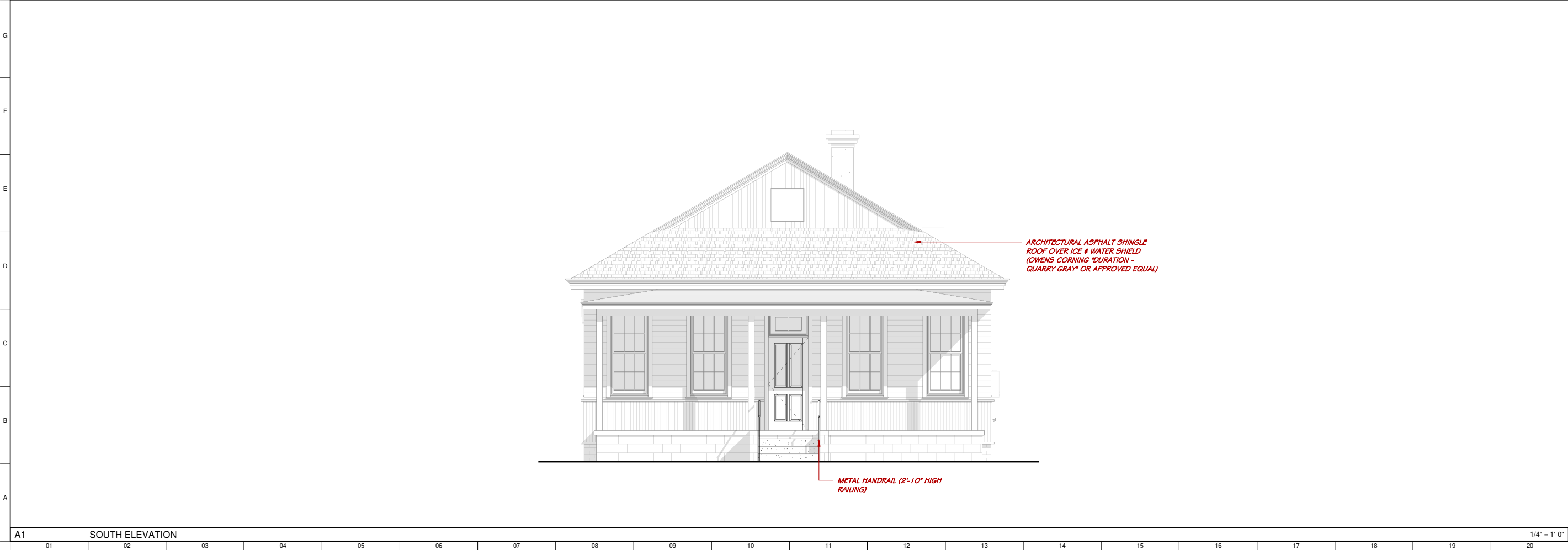
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H1 NORTH ELEVATION 1/4" = 1'-0"



A1 SOUTH ELEVATION 1/4" = 1'-0"



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NORTH AND SOUTH ELEVATIONS

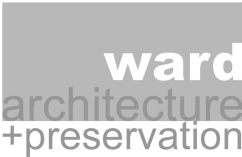
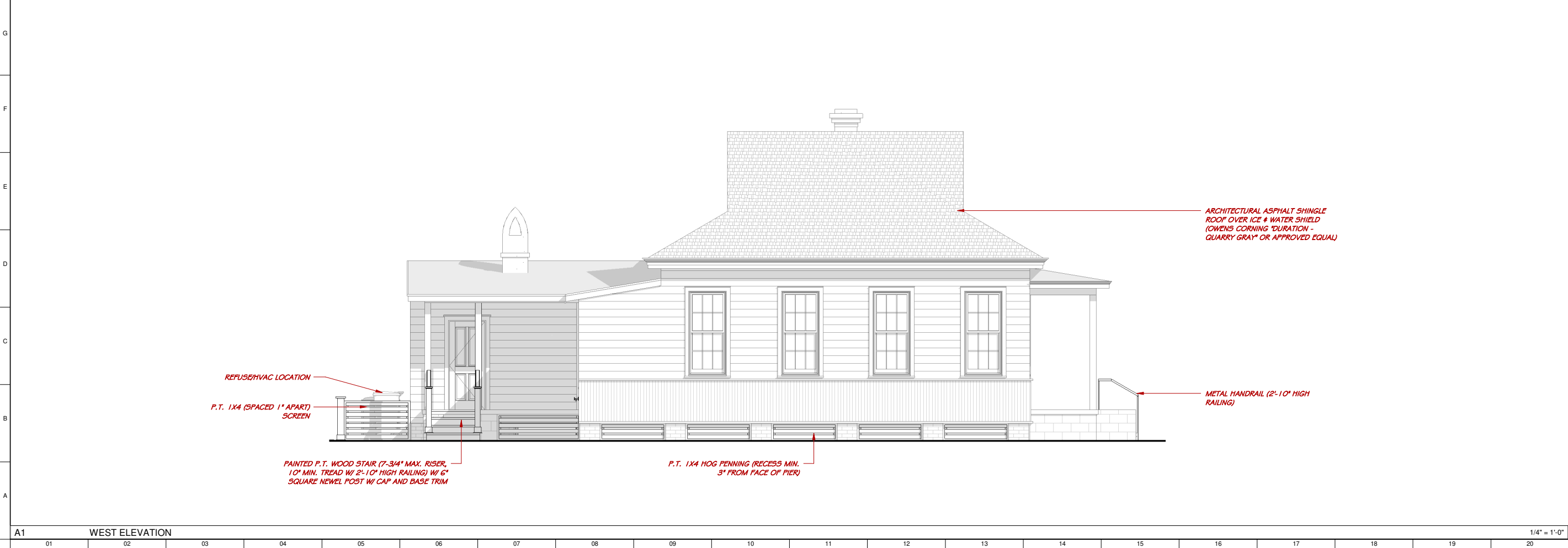
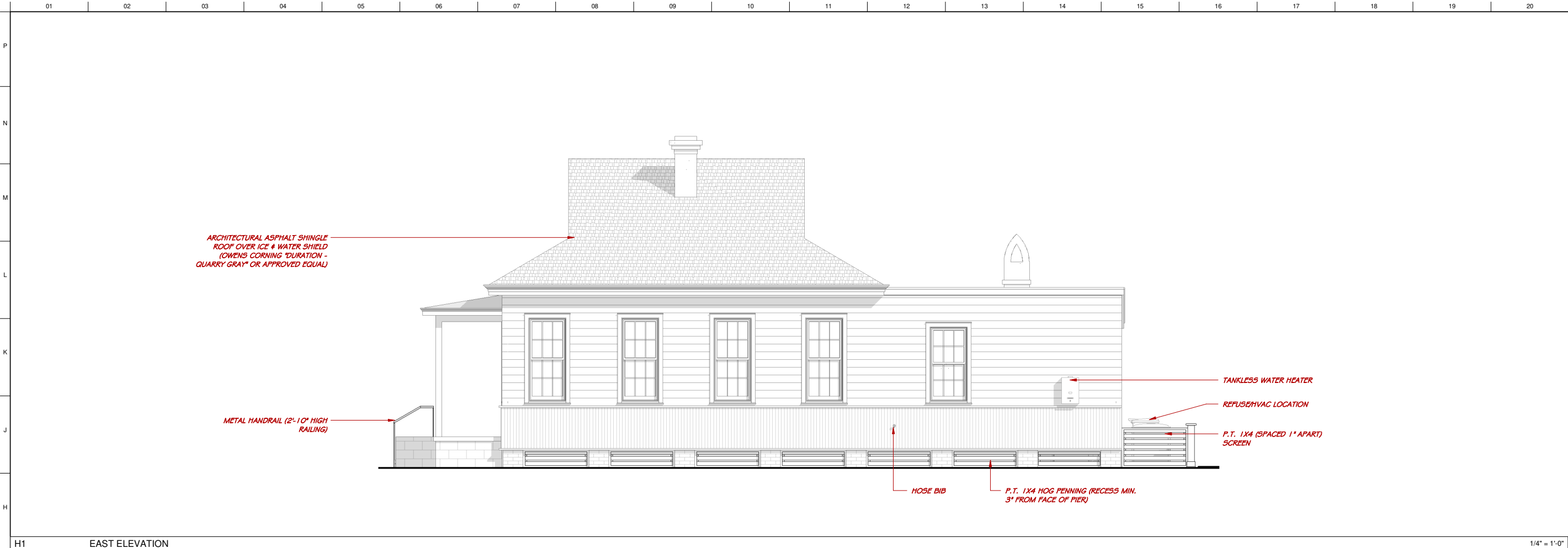
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EAST AND WEST  
ELEVATIONS

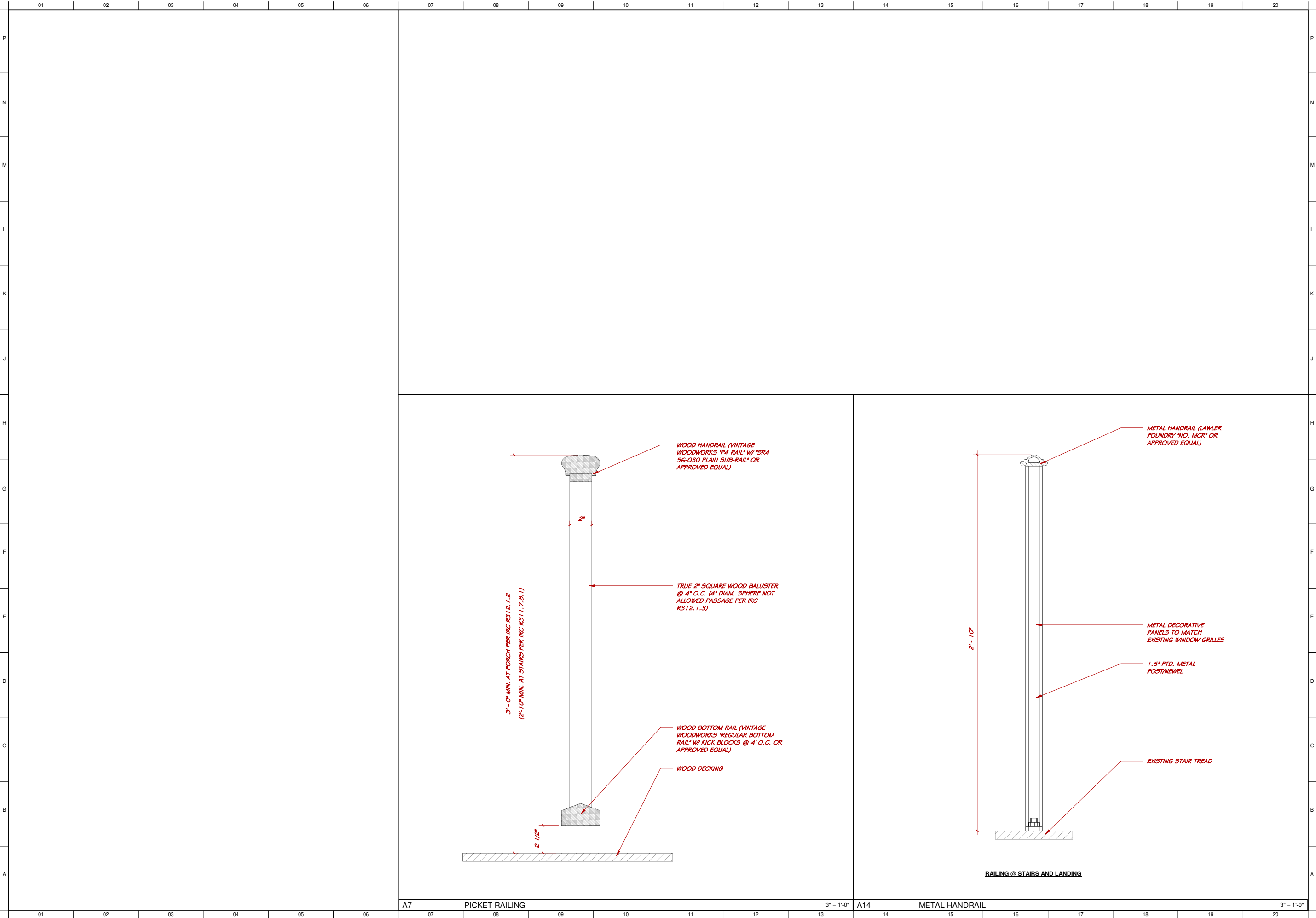
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DETAILS

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