

**Bid Proposal for
Telfair Arms
(Porch Repairs)
Savannah, GA
Page Three**

DETAILED SCOPE OF WORK

- During demolition and construction the contractor shall protect the existing areas of the building from damage caused by weather, fire, or any other source of damage to the existing building including theft.
- During the renovation of this project, the contractor may encounter additional work requiring replacement that was not detected during the design phase of this work. The contractor shall contact the architect and report any such findings for additional instructions.
- The existing balcony structure will be receiving new beams to replace existing damaged beams. Existing building to be braced and shored to allow the installation and construction of the new beams, see structural drawings for shoring and bracing.
- Repair cast iron column base, refinish and paint to match existing color.
- Protect existing screen fencing from shoring, jacking and bracing work of existing structure; cross-reference structural drawings. Existing screen fencing may need to be disassembled, moved and stored for re-installation to allow access for shoring, jacking and bracing of existing structure. Care shall be taken by the contractor to protect all existing HVAC heat pumps that will remain in operation for the duration of this construction project.
- Clean and paint existing columns. Paint shall match existing colors and locations, as close as possible.
- Remove existing frieze board, molding and trim and replace frieze board, molding and trim to match existing carpentry size, shape, wood specie and paint color.

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DETAILED SCOPE OF WORK (CONT'D)

- Existing balcony guardrail shall be disassembled, removed and disposed of legally. Replace existing guardrail to match existing carpentry size, shape, wood specie and paint color. Contractor shall field measure and record top guardrail, guardrail trim guardrail spindle boards and bottom rails for fabrication of new guardrail components. New guardrail components shall match existing components exactly. New guardrails shall be painted to match existing guardrail colors and locations. Contractor shall complete one complete "mock-up" panel between 2 existing columns on the second floor balcony. Upon completion of the "mock-up", the architect shall review the "mock-up" to confirm that the "mock-up" matches the existing historic design. Upon acceptance of the "mock-up" by the architect, the contractor shall continue the replacement of the guardrail using the "mock-up" panel for the replacement of the remainder of the guardrails.
- Existing wood columns to be scraped to removed existing loose paint, sanded, cleaned, and prepared to received new paint to match existing colors.
- Existing wood brackets to be scraped to remove existing loose paint, sanded, cleaned, and prepared to receive new paint to match existing colors.
- Existing bird deterrent spikes to be removed and stored prior to beginning paint. Replace bird deterrent spikes after painting is completed.
- Existing horizontal wood trim board to be scraped to removed loose paint, sanded, cleaned, and prepared to receive new paint to match existing colors.
- Existing beam wood trim board to be scraped to removed loose paint, sanded, cleaned and prepared to receive new paint to match existing colors.
- Existing wood fascia and decorative wood trim to be scraped to removed loose paint, sand ed, cleaned and prepared to receive new paint to match existing colors.

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DETAILED SCOPE OF WORK (CONT'D)

- Existing flat seam metal roofing to remain. Existing flat seam metal roof to be clean and prepared to receive new paint to match existing color.
- Existing 5/4" wood floor trim board to be replaced with new wood trim board to match existing wood trim board specie, size, shape and painted to match existing color.
- Existing wood column base and shoe mould trim to be dismantled, removed and disposed. Replace wood column base and shoe mould trim with matching wood specie, size and detail to match existing.
- Existing painted wood fascia and decorative trim to be scraped to removed loose paint, sanded, cleaned and prepared to receive new paint to match existing colors.
- Existing roof and gutter system to remain undisturbed.
- Existing building to remain undisturbed
- Existing damaged wood beam sides and bottom trim to be replaced back to undamaged existing material and painted to match existing wood beam side and bottom trim
- Edge of asphalt paving. Existing asphalt paving to remain. Contractor to repair or replace asphalt paving damaged by work to existing conditions.
- Existing sandy soil with mulch cover to be replaced to existing condition upon completion of the work.
- Existing wood floor decking to be cleaned and repainted to match existing color.
- Approximate location of existing damaged tongue and groove floor decking to be dismantled, removed and disposed of by legal means.

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DETAILED SCOPE OF WORK (CONT'D)

- Existing quarter round trim to be cleaned and painted, color to match existing.
- New quarter round trim to match existing size, shape & species. Paint new quarter round trim to match existing color.
- New tongue and groove floor decking to match the existing floor decking. New decking shall match the existing decking in size, shape, wood species and shall be installed using concealed fasteners. New decking to receive a wood primer and two coats of exterior grade latex enamel finish, color to match existing
- Replace existing horizontal & vertical rotten wood trim and rotten wood cornice trim and with new wood trim to match existing trim in size shape, and color
- Clean and paint existing column cap to match existing color. Replace existing horizontal rotten wood trim and replace with new wood trim to match existing size and color.
- Existing fire sprinkler lines to be re-hung using existing hangers at original locations with existing hanger devices. Paint all printer piping and hangers to match existing. Protect all sprinkler heads during painting to prevent painting the sprinkler heads.
- Install 1x3-1/4" PT ceiling boards to new 2x6 pressure treated ceiling joists. New ceiling boards to be painted white.
- Clean and paint existing wood crown trim and fascia to match existing color. Investigate conditions of existing wood crown trim and fascia for rot /damage. Replace all rotten or damaged wood with new wood trim to match existing. Paint new wood to match existing color.

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DETAILED SCOPE OF WORK (CONT'D)

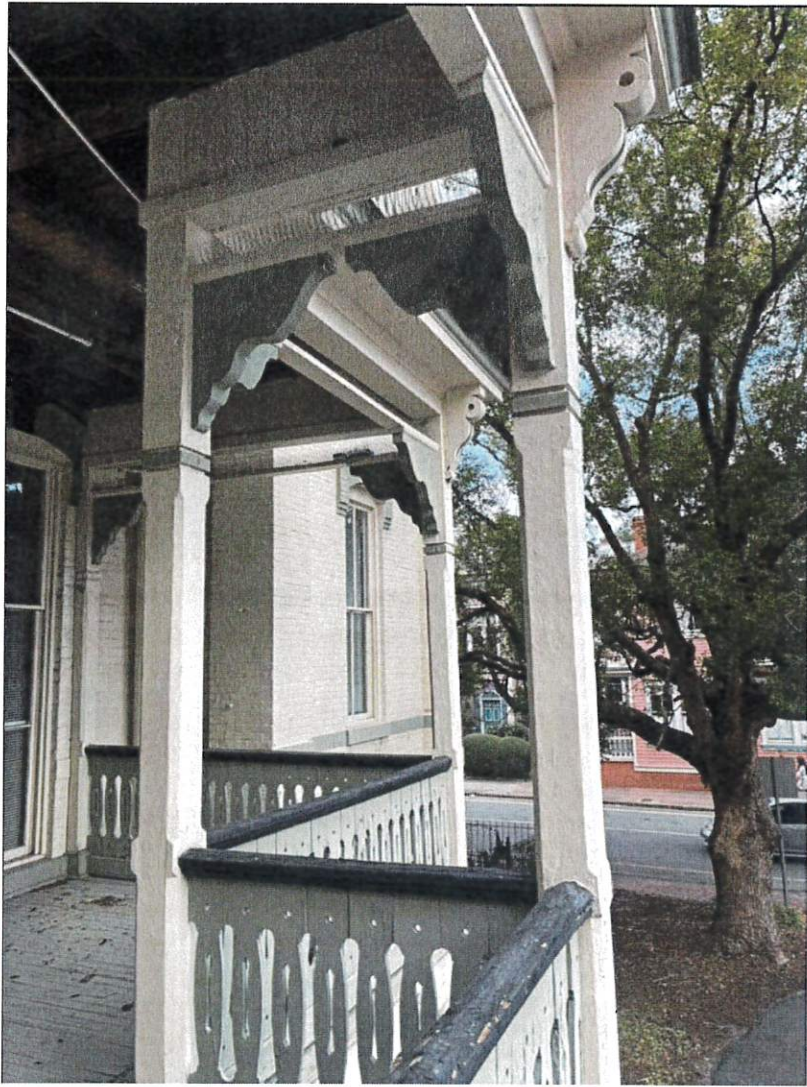
- Clean and paint existing wood soffit to match exiting color. Investigate existing soffit for rot /damage. Replace existing rotten or damaged soffit with new wood soffit to match existing. Paint new soffit to match existing color.
- Clean and paint existing wood horizontal trim and wood beam trim. Investigate existing rotten/damaged wood horizontal trim and beam trim and replace existing rotten or damaged wood trim with new wood trim to match existing in size, shape and color
- Clean and paint existing wood brackets to match existing colors. Clean and paint existing wood soffit and crown mould trim to match exiting color. Investigate existing soffit and crown mould for Rot/damage. Replace existing rotten or damaged soffit and crown mould with new wood soffit to match existing. Paint new soffit and crown mould to match existing color.
- Clean and paint existing wood beam trim to match existing. Investigate existing wood beam trim for rotted /damaged wood. Replace existing rotten/damaged wood with new wood to match in size, shape and color.
- Existing light fixture, junction box, conduit and wiring to be disconnected at the electrical panel, dismantled, removed and disposed of legally
- Approximate location of existing metal outlet box and conduit with wire to be disconnected back to panel, disassembled, removed and legally disposed of.
- Existing dropped ceiling and bulkhead to remain. Existing ceiling and bulkhead to be painted to match existing color.
- Existing out of plumb & twisted column and column cap to be adjusted square and into plumb (if possible).
- Repair wall finish where damaged by demolition and repaint to match existing finish.









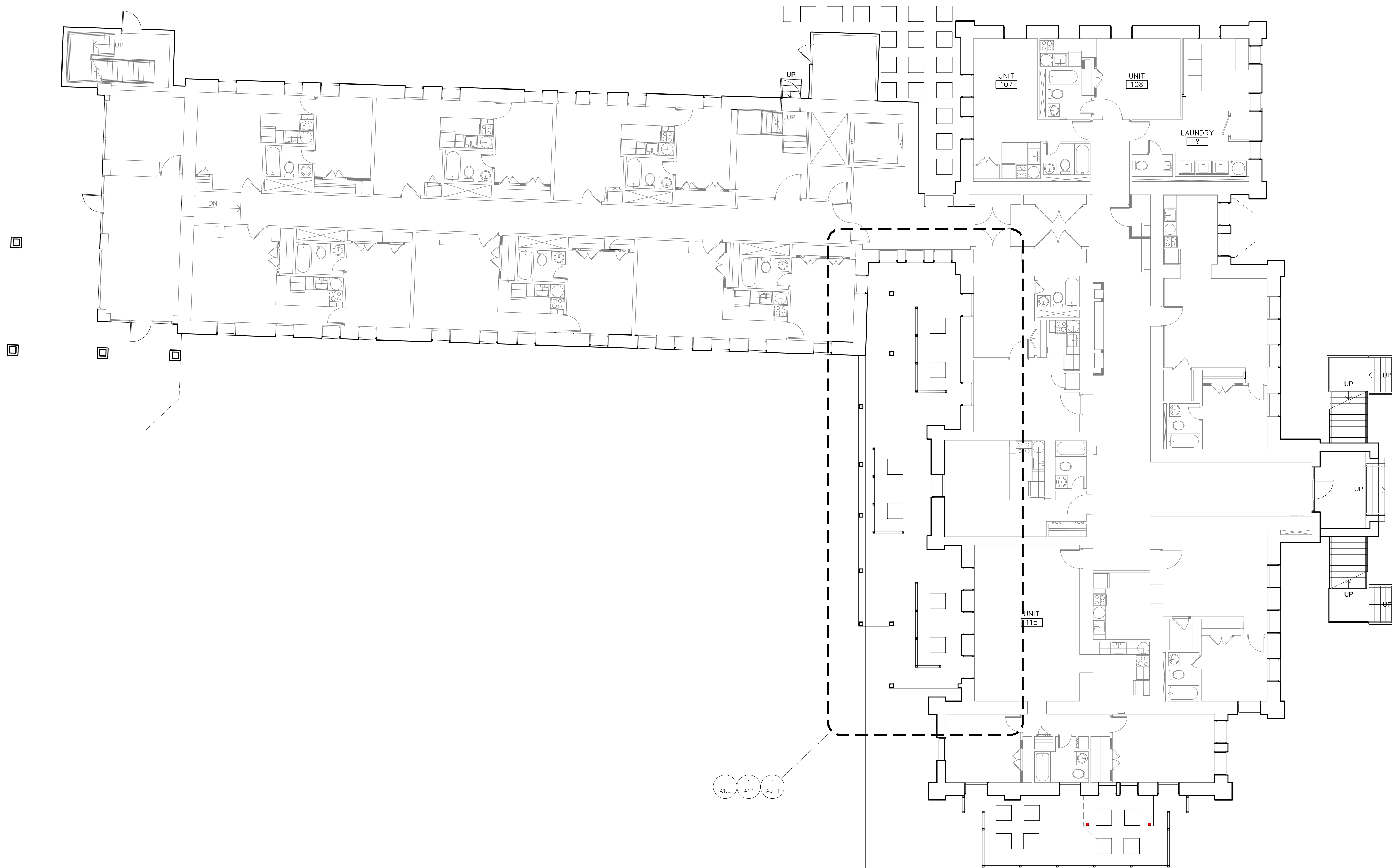






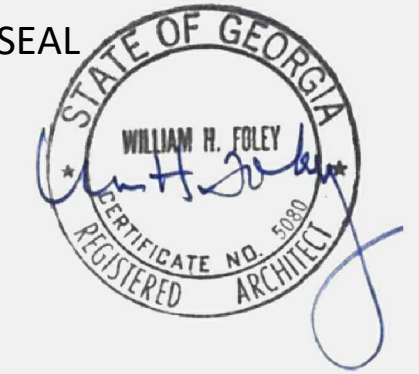






1 OVERALL 1st FLOOR PLAN
SCALE: 1/8" = 1'-0"

CONSULTANT



ARCHITECT

FOLEY DESIGN

21 Puritan Mill | 950 Lowery Blvd. NW | Atlanta, Georgia 30318 | (404) 765-1299

ADDRESS

TELFAR ARMS
APARTMENTS REPAIRS
SAVANNAH, GEORGIA

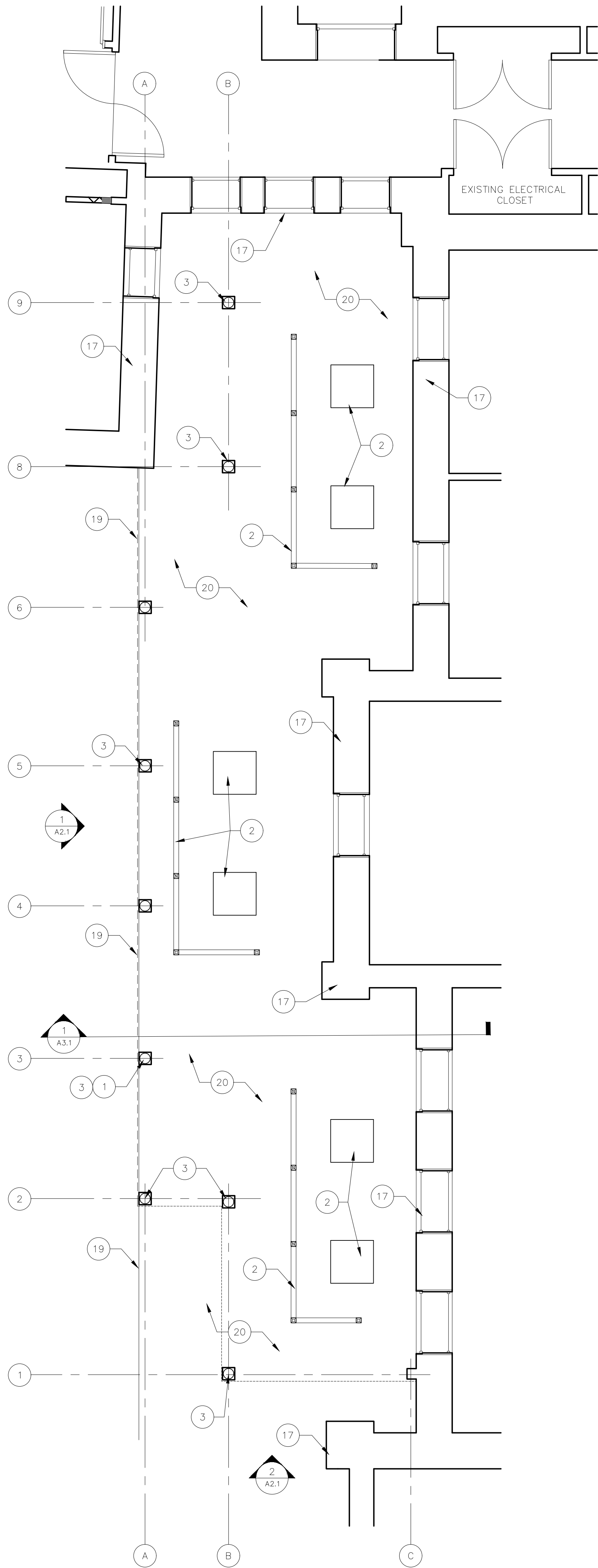
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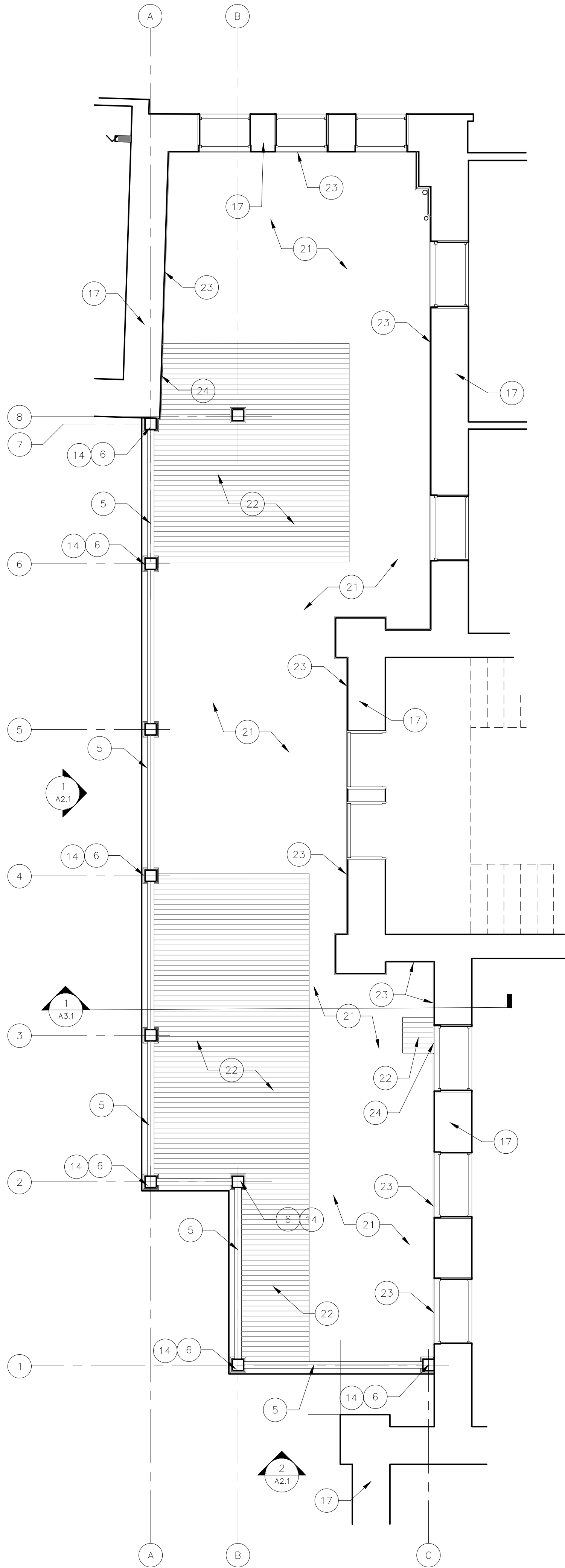
OVERALL
FIRST FLOOR
PLAN

Date: 05/07/25
Project No.: 202404

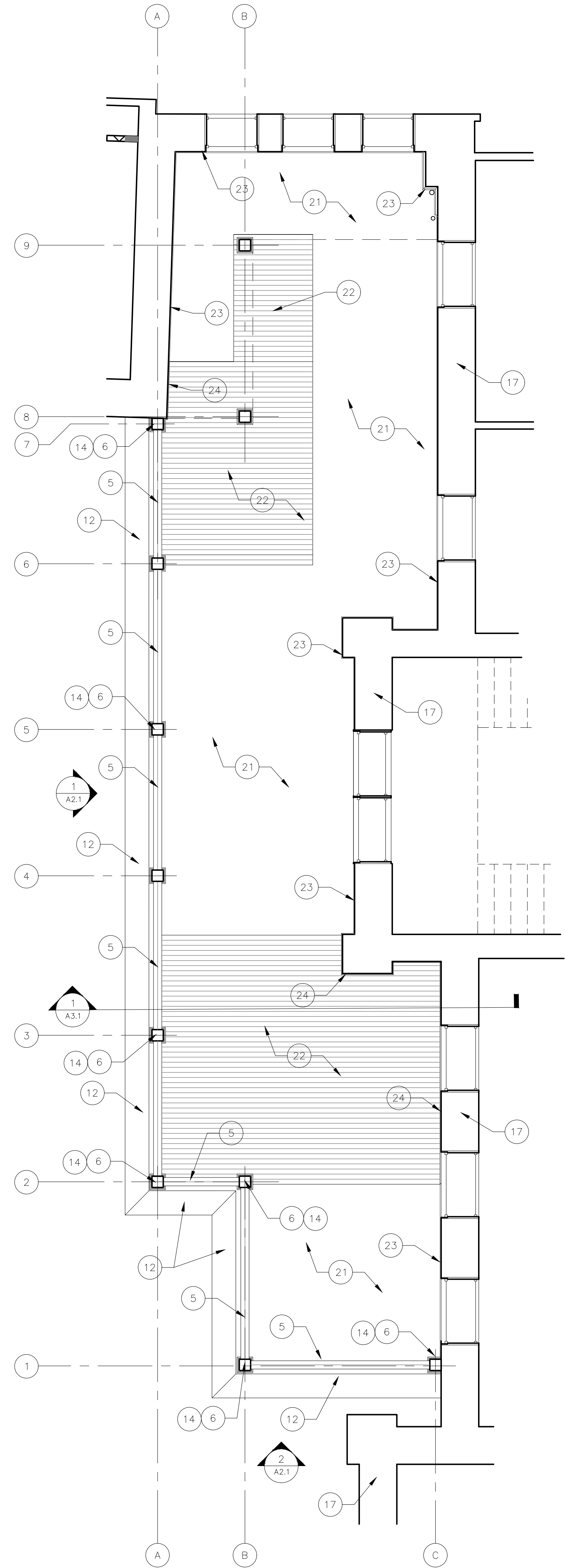
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1 FIRST FLOOR (GROUND LEVEL) DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



1 THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

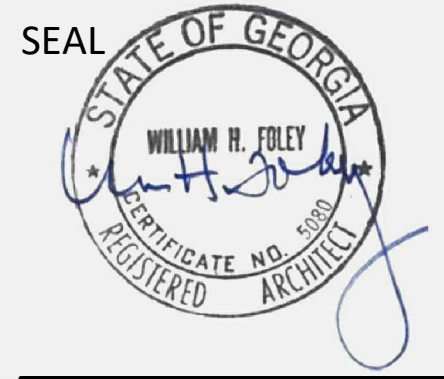
GENERAL CONSTRUCTION NOTES:

1. TELFAIR ARMS APARTMENTS IS AN EXISTING HISTORIC BUILDING AND IS CONSIDERED A CONTRIBUTING BUILDING BY THE CITY OF SAVANNAH, GEORGIA'S METROPOLITAN PLANNING COMMISSION FOR ITS HISTORIC VALUE AND HISTORY. THE WORK TO BE PERFORMED ON THIS PROJECT WILL BE REVIEWED BY THE METROPOLITAN PLANNING COMMISSION FOR COMPLIANCE WITH THEIR STANDARDS SET FORTH BY THEIR REVIEW. NO VARIATIONS ARE ALLOW WITHOUT THE APPROVAL OF THE ARCHITECT AND THE METROPOLITAN PLANNING COMMISSION, NOT EVEN THE SLIGHTEST DETAIL.
2. CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE WORK REQUIRED AND THE SURROUNDING AREAS.
3. DURING DEMOLITION AND CONSTRUCTION THE CONTRACTOR SHALL PROTECT THE EXISTING AREAS OF THE BUILDING FROM DAMAGE CAUSED BY WEATHER, FIRE, OR ANY OTHER SOURCE OF DAMAGE TO THE EXISTING BUILDING INCLUDING THEFT.
4. DURING THE RENOVATION OF THIS PROJECT, THE CONTRACTOR MAY ENCOUNTER ADDITIONAL WORK REQUIRING REPLACEMENT THAT WAS NOT DETECTED DURING THE DESIGN PHASE OF THIS WORK. THE CONTRACTOR SHALL CONTACT THE ARCHITECT AND REPORT ANY SUCH FINDINGS FOR ADDITIONAL INSTRUCTIONS.
5. THE EXISTING BALCONY STRUCTURE WILL BE RECEIVING NEW BEAMS TO REPLACE EXISTING DAMAGED BEAMS. EXISTING BUILDING TO BE BRACED AND SHORED TO ALLOW THE INSTALLATION AND CONSTRUCTION OF THE NEW BEAMS. SEE STRUCTURAL DRAWINGS FOR SHORING AND BRACING.
6. DEMO KEYNOTES APPLY TO THIS SHEET ONLY.

DEMO & NEW PLAN CONSTRUCTION KEYNOTES

1. REPAIR CAST IRON COLUMN BASE, REFINISH AND PAINT TO MATCH EXISTING COLOR.
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3. CLEAN AND PAINT EXISTING COLUMNS. PAINT SHALL MATCH EXISTING COLORS AND LOCATIONS.
4. REMOVE EXISTING FRIEZE BOARD, MOLDING AND TRIM AND REPLACE FRIEZE BOARD, MOLDING AND TRIM TO MATCH EXISTING CARPENTRY SIZE, SHAPE, WOOD SPECIE AND PAINT COLOR.
5. EXISTING BALCONY GUARDRAIL SHALL BE DISASSEMBLED, REMOVED AND DISPOSED OF LEGALLY. REPLACE EXISTING GUARDRAIL TO MATCH EXISTING CARPENTRY SIZE, SHAPE, WOOD SPECIE AND PAINT COLOR. CONTRACTOR SHALL FIELD MEASURE AND RECORD TOP GUARDRAIL, GUARDRAIL TRIM, GUARDRAIL SPINDLE BOARDS AND BOTTOM RAILS FOR FABRICATION OF NEW GUARDRAIL COMPONENTS. NEW GUARDRAIL COMPONENTS SHALL MATCH EXISTING COMPONENTS EXACTLY. NEW GUARDRAILS SHALL BE PAINTED TO MATCH EXISTING GUARDRAIL COLORS AND LOCATIONS. CONTRACTOR SHALL COMPLETE ONE COMPLETE "MOCK-UP" PANEL BETWEEN 2 EXISTING COLUMNS ON THE SECOND FLOOR BALCONY. UPON COMPLETION OF THE "MOCK-UP", THE ARCHITECT SHALL REVIEW THE "MOCK-UP" TO CONFIRM THAT THE "MOCK-UP" MATCHES THE EXISTING HISTORIC DESIGN. UPON ACCEPTANCE OF THE "MOCK-UP" BY THE ARCHITECT, THE CONTRACTOR SHALL CONTINUE THE REPLACEMENT OF THE GUARDRAIL USING THE "MOCK-UP" PANEL FOR THE REPLACEMENT OF THE REMAINDER OF THE GUARDRAILS.
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CONSULTANT



ARCHITECT

FOLEY DESIGN
21 Puritan Mill 950 Lowery Blvd. NW Atlanta, Georgia 30318 | (404) 785-1299

ADDRESS

TELFAR ARMS
APARTMENTS REPAIRS
SAVANNAH, GEORGIA
NAME

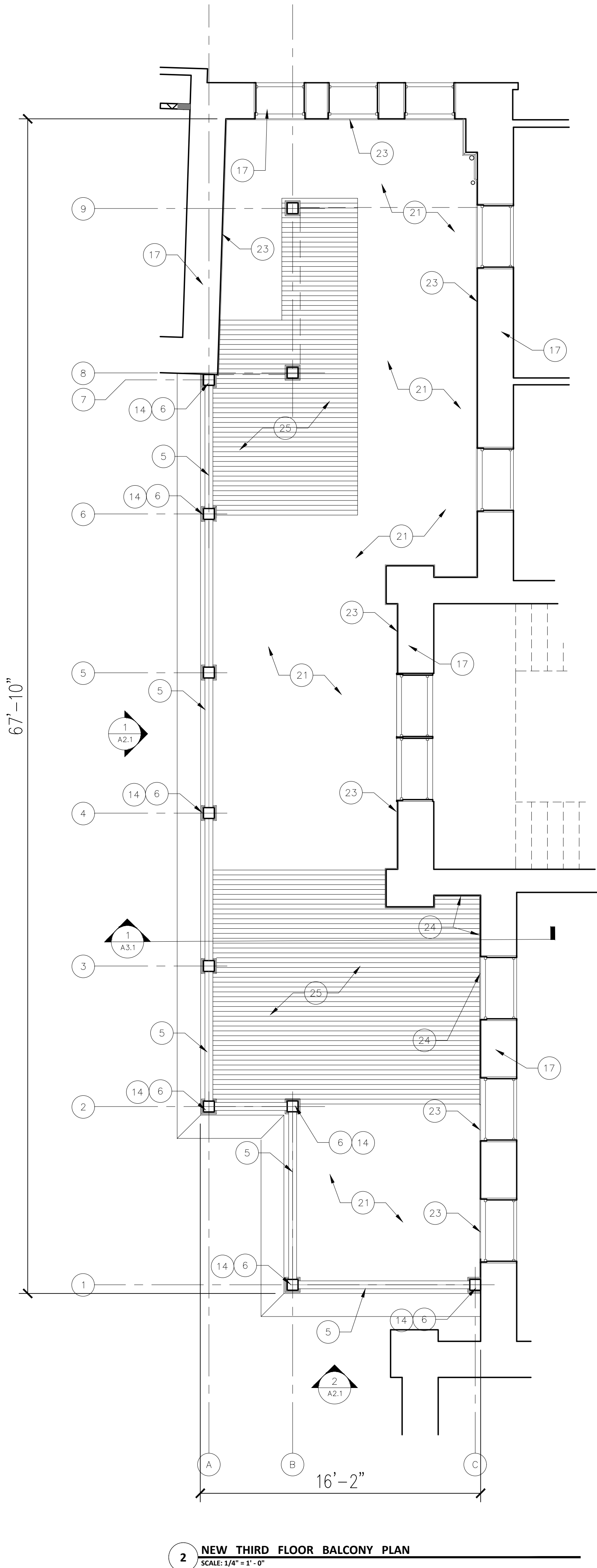
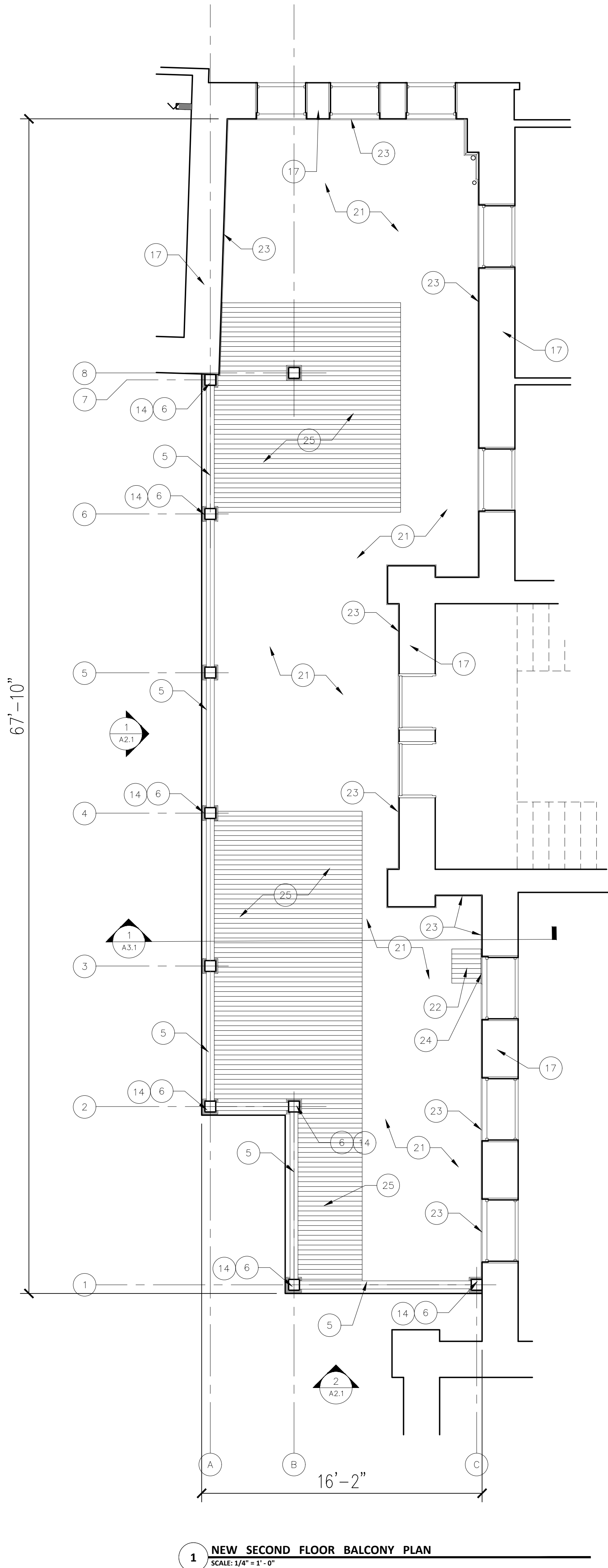
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Sheet Title:

BALCONY
DEMO
PLANS

Date: 05/07/25
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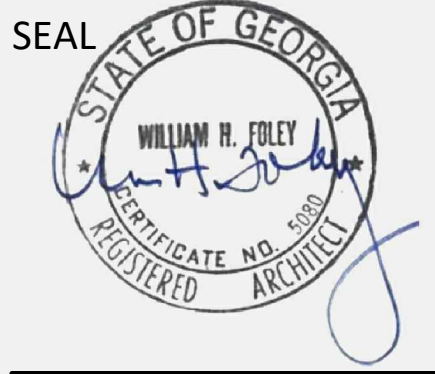
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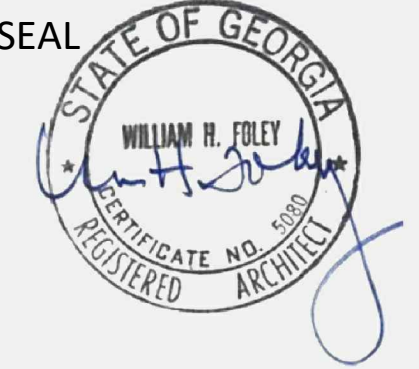
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Date: 05/07/25
Project No.: 202404

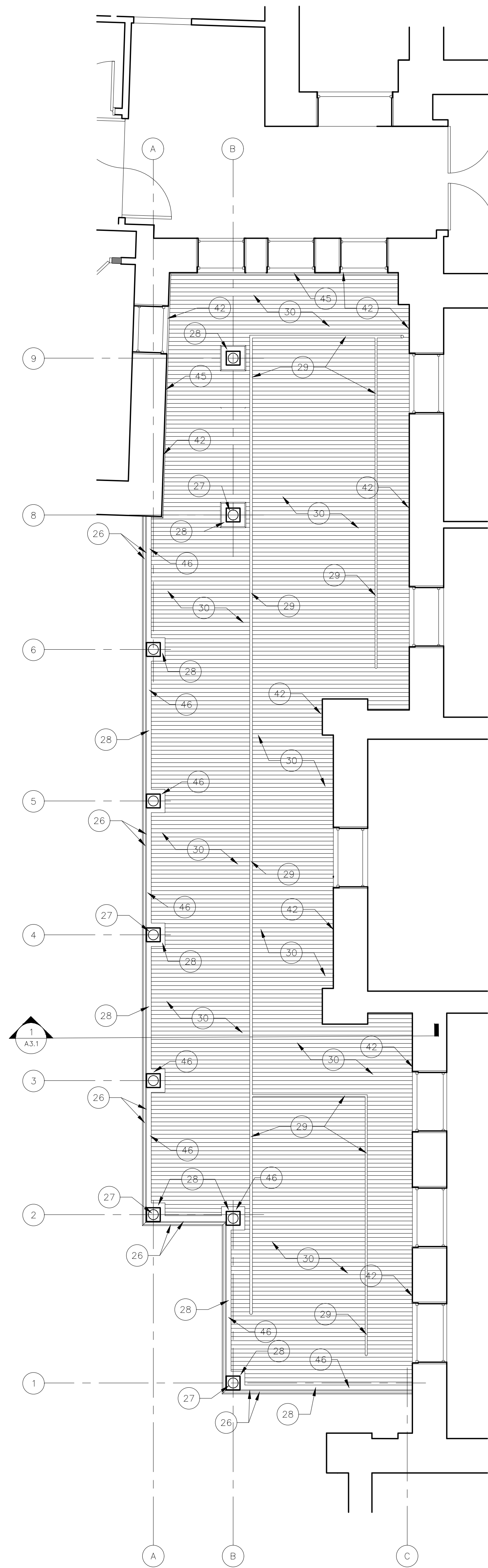
A1.2

GENERAL CONSTRUCTION NOTES:

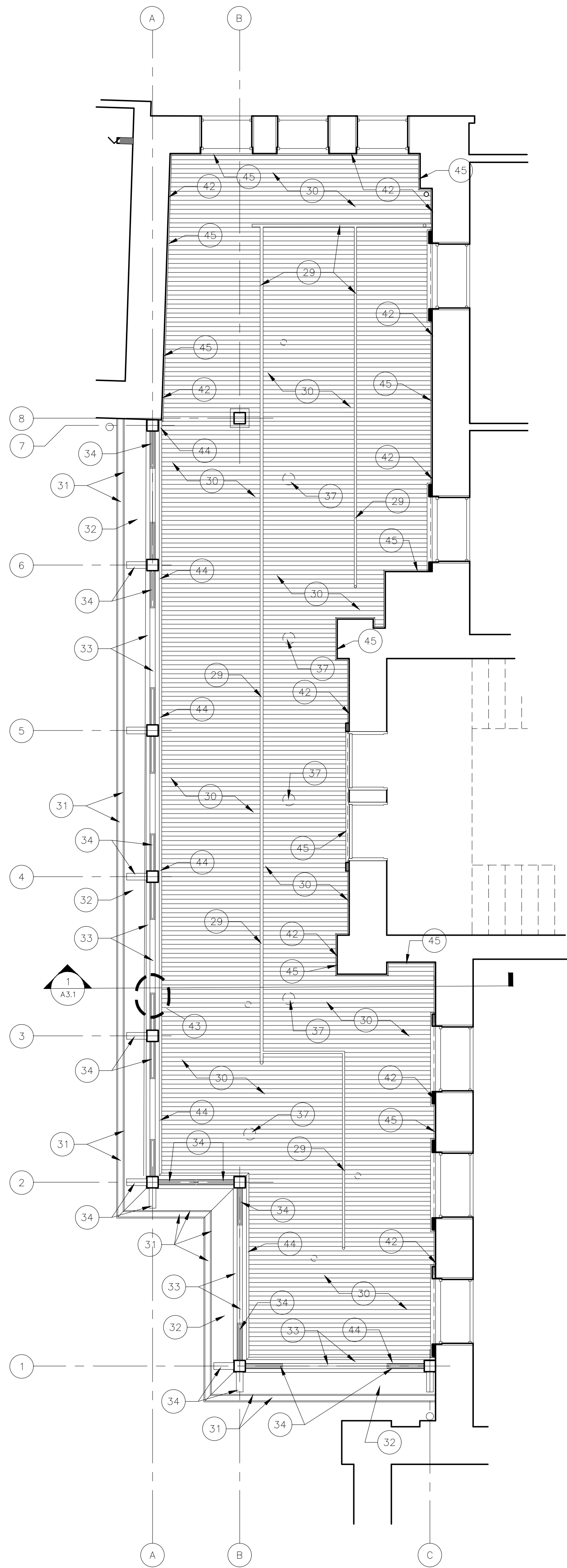
- TELFAIR ARMS APARTMENTS IS AN EXISTING HISTORIC BUILDING AND IS CONSIDERED A CONTRIBUTING BUILDING BY THE CITY OF SAVANNAH, GEORGIA'S METROPOLITAN PLANNING COMMISSION FOR ITS HISTORIC VALUE AND HISTORY. THE WORK TO BE PERFORMED ON THIS PROJECT WILL BE REVIEWED BY THE METROPOLITAN PLANNING COMMISSION FOR COMPLIANCE WITH THEIR STANDARDS SET FORTH BY THEIR REVIEW. NO VARIATIONS ARE ALLOW WITHOUT THE APPROVAL OF THE ARCHITECT AND THE METROPOLITAN PLANNING COMMISSION, NOT EVEN THE SLIGHTEST DETAIL.
- CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE WORK REQUIRED AND THE SURROUNDING AREAS.
- DURING DEMOLITION AND CONSTRUCTION THE CONTRACTOR SHALL PROTECT THE EXISTING AREAS OF THE BUILDING FROM DAMAGE CAUSED BY WEATHER, FIRE, OR ANY OTHER SOURCE OF DAMAGE TO THE EXISTING BUILDING INCLUDING THEFT.
- DURING THE RENOVATION OF THIS PROJECT, THE CONTRACTOR MAY ENCOUNTER ADDITIONAL WORK REQUIRING REPLACEMENT THAT WAS NOT DETECTED DURING THE DESIGN PHASE OF THIS WORK. THE CONTRACTOR SHALL CONTACT THE ARCHITECT AND REPORT ANY SUCH FINDINGS FOR ADDITIONAL INSTRUCTIONS.

NEW RCP CONSTRUCTION KEYNOTES

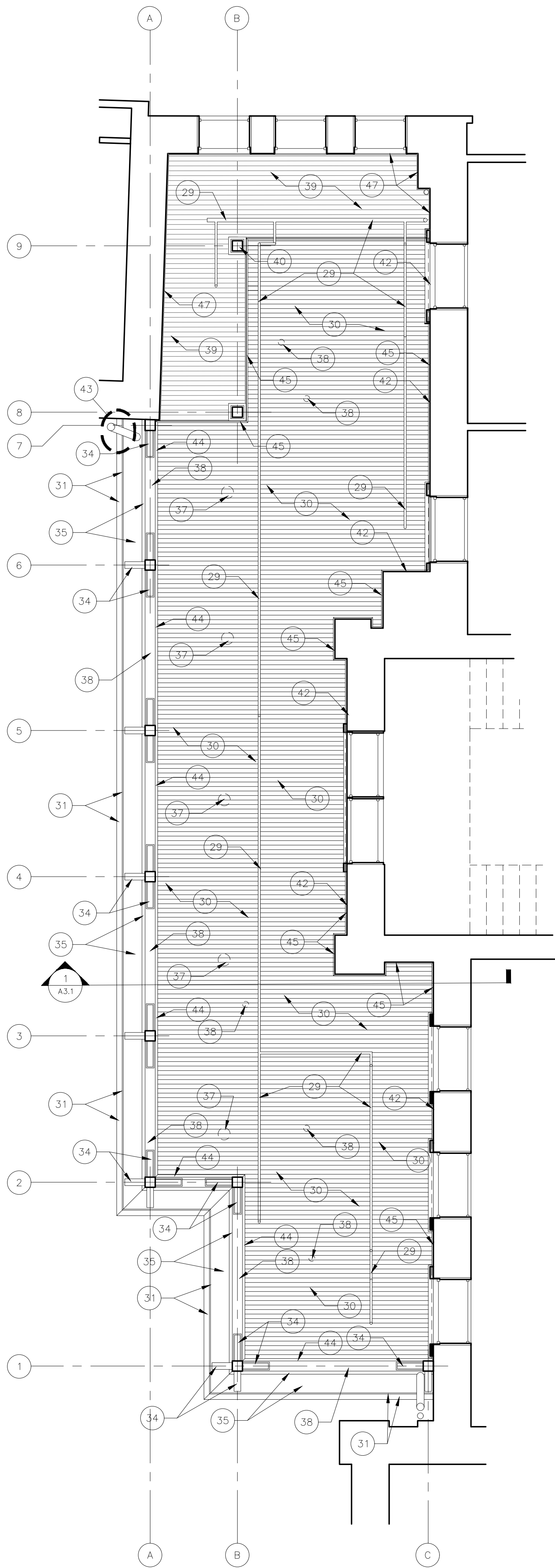
- REPLACE EXISTING HORIZONTAL & VERTICAL ROTTEN WOOD TRIM AND ROTTEN WOOD CORNICE TRIM AND WITH NEW WOOD TRIM TO MATCH EXISTING TRIM IN SIZE, SHAPE, AND COLOR.
- CLEAN AND PAINT EXISTING COLUMN CAP TO MATCH EXISTING COLOR.
- REPLACE EXISTING HORIZONTAL ROTTEN WOOD TRIM AND REPLACE WITH NEW WOOD TRIM TO MATCH EXISTING SIZE AND COLOR.
- EXISTING FIRE SPRINKLER LINES TO BE RE-HUNG USING EXISTING HANGERS AT ORIGINAL LOCATIONS WITH EXISTING HANGER DEVICES. PAINT ALL PRINTER PIPING AND HANGERS TO MATCH EXISTING. PROTECT ALL SPRINKLER HEADS DURING PAINTING TO PREVENT PAINTING THE SPRINKLER HEADS.
- NEW VINYL CEILING SYSTEM TO BE INSTALLED ON NEW PRESSURE TREATED FRAMING. COLOR TO BE WHITE.
- CLEAN AND PAINT EXISTING WOOD CROWN TRIM AND FASCIA TO MATCH EXISTING COLOR. INVESTIGATE CONDITIONS OF EXISTING WOOD CROWN TRIM AND FASCIA FOR ROT/DAMAGE. REPLACE ALL ROTTEN OR DAMAGED WOOD WITH NEW WOOD TRIM TO MATCH EXISTING. PAINT NEW WOOD TO MATCH EXISTING COLOR.
- CLEAN AND PAINT EXISTING WOOD SOFFIT TO MATCH EXISTING COLOR. INVESTIGATE EXISTING SOFFIT FOR ROT/DAMAGE. REPLACE EXISTING ROTTEN OR DAMAGED SOFFIT WITH NEW WOOD SOFFIT TO MATCH EXISTING. PAINT NEW SOFFIT TO MATCH EXISTING COLOR.
- CLEAN AND PAINT EXISTING WOOD HORIZONTAL TRIM AND WOOD BEAM TRIM. INVESTIGATE EXISTING ROTTEN/DAMAGED WOOD HORIZONTAL TRIM AND BEAM TRIM AND REPLACE EXISTING ROTTEN OR DAMAGED WOOD TRIM WITH NEW WOOD TRIM TO MATCH EXISTING IN SIZE, SHAPE AND COLOR.
- CLEAN AND PAINT EXISTING WOOD BRACKETS TO MATCH EXISTING COLORS.
- CLEAN AND PAINT EXISTING WOOD SOFFIT AND CROWN MOULD TRIM TO MATCH EXISTING COLOR. INVESTIGATE EXISTING SOFFIT AND CROWN MOULD FOR ROT/DAMAGE. REPLACE EXISTING ROTTEN OR DAMAGED SOFFIT AND CROWN MOULD WITH NEW WOOD SOFFIT TO MATCH EXISTING. PAINT NEW SOFFIT AND CROWN MOULD TO MATCH EXISTING COLOR.
- CLEAN AND PAINT EXISTING WOOD BEAM TRIM TO MATCH EXISTING. INVESTIGATE EXISTING WOOD BEAM TRIM FOR ROTTEN/DAMAGED WOOD. REPLACE EXISTING ROTTEN/DAMAGED WOOD WITH NEW WOOD TO MATCH IN SIZE, SHAPE AND COLOR.
- EXISTING LIGHT FIXTURE, JUNCTION BOX, CONDUIT AND WIRING TO BE DISCONNECTED AT THE ELECTRICAL PANEL, DISMANTLED, REMOVED AND DISPOSED OF LEGALLY.
- APPROXIMATE LOCATION OF EXISTING METAL OUTLET BOX AND CONDUIT WITH WIRE TO BE DISCONNECTED BACK TO PANEL, DISASSEMBLED, REMOVED AND LEGALLY DISPOSED OF.
- EXISTING DROPPED CEILING AND BULKHEAD TO REMAIN. EXISTING CEILING AND BULKHEAD TO BE PAINTED TO MATCH EXISTING COLOR.
- EXISTING OUT OF PLUMB & TWISTED COLUMN AND COLUMN CAP TO BE ADJUSTED SQUARE AND INTO PLUMB.
- EXISTING ELECTRICAL PANEL CLOSET
- REPAIR WALL FINISH WHERE DAMAGED BY DEMOLITION AND REPAINT TO MATCH EXISTING FINISH.
- CUT OUT, REMOVE AND DISPOSE OF ROTTEN WOOD TRIM. REPLACE WITH NEW TRIM BOARD TO MATCH EXISTING AND REPAINT TO MATCH EXISTING COLOR.
- NEW CONTINUOUS PRESSURE TREATED RB-70 WOOD CROWN MOLD. PAINT WHITE TO MATCH EXISTING.
- NEW CONTINUOUS PRESSURE TREATED RB-103 WOOD QTR. ROUND TRIM. PAINT TO MATCH EXISTING.
- NEW CONTINUOUS PRESSURE TREATED 1x3-1/4" WOOD TRIM BOARD. PAINT TO MATCH EXISTING.



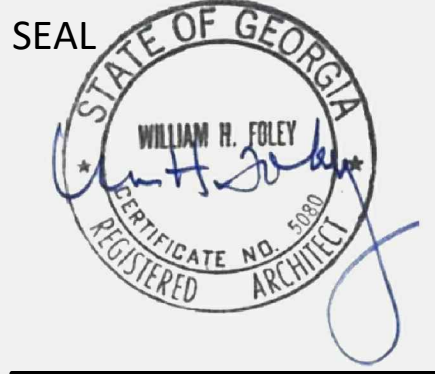
1 FIRST FLOOR (GROUND LEVEL) REFLECTED CLG. PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



ARCHITECT

FOLEY DESIGN

21 Puritan Mill | 950 Lowery Blvd. NW | Atlanta, Georgia 30318 | (404) 765-1299

ADDRESS

TELFAR ARMS
APARTMENTS REPAIRS
SAVANNAH, GEORGIA
NAME

NO.	DATE	DESCRIPTION
1	-/-/-	-
2	-/-/-	-
3	-/-/-	-
4	-/-/-	-
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Sheet Title:

EXTERIOR
ELEVATIONS

Date: 05/07/25
Project No.: 202404

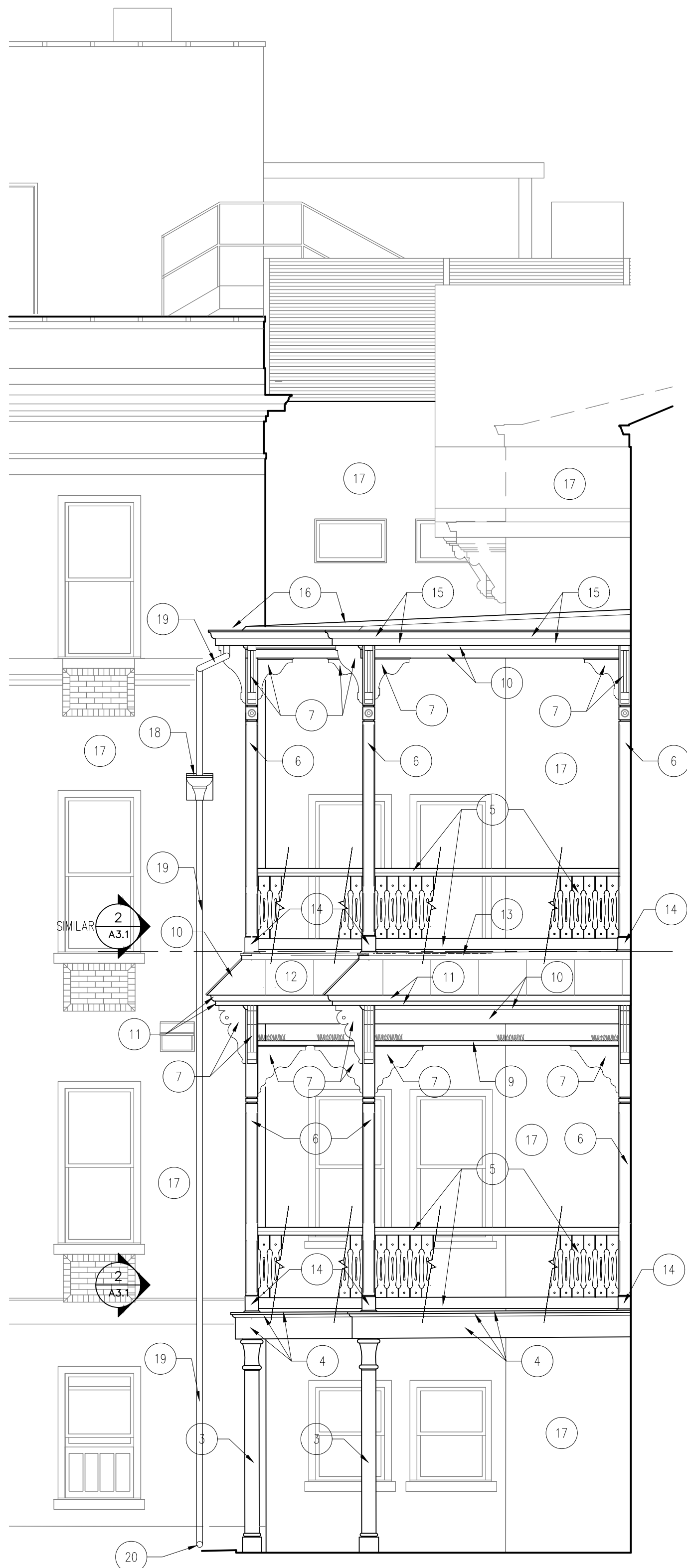
A2.1

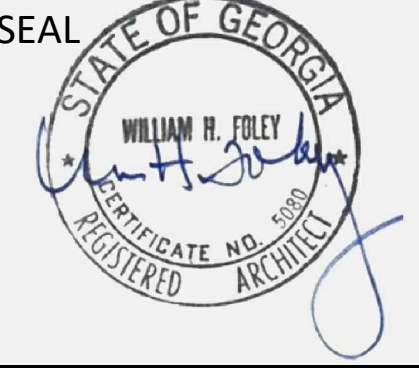
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- THE EXISTING BALCONY STRUCTURE WILL BE RECEIVING NEW BEAMS TO REPLACE EXISTING DAMAGED BEAMS, EXISTING BUILDING TO BE BRACED AND SHORED TO ALLOW THE INSTALLATION AND CONSTRUCTION OF THE NEW BEAMS, SEE STRUCTURAL DRAWINGS FOR SHORING AND BRACING.
- DEMO KEYNOTES APPLY TO THIS SHEET ONLY.

DEMO & NEW PLAN CONSTRUCTION KEYNOTES

- REPAIR CAST IRON COLUMN BASE, REFRESH AND PAINT TO MATCH EXISTING COLOR.
- PROTECT EXISTING SCREEN FENCING FROM SHORING, JACKING AND BRACING WORK OF EXISTING STRUCTURE; CROSS-REFERENCE STRUCTURAL DRAWINGS. EXISTING SCREEN FENCING MAY NEED TO BE DISASSEMBLED, MOVED AND STORED FOR RE-INSTALLATION TO ALLOW ACCESS FOR SHORING, JACKING AND BRACING OF EXISTING STRUCTURE. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL EXISTING HVAC HEAT PUMPS THAT WILL REMAIN IN OPERATION FOR THE DURATION OF THIS CONSTRUCTION PROJECT.
- CLEAN AND PAINT EXISTING COLUMNS. PAINT SHALL MATCH EXISTING COLORS AND LOCATIONS.
- REMOVE EXISTING FRIEZE BOARD, MOLDING AND TRIM TO MATCH EXISTING CARPENTRY SIZE, SHAPE, WOOD SPECIE AND PAINT COLOR.
- EXISTING BALCONY GUARDRAIL SHALL BE DISASSEMBLED, REMOVED AND DISPOSED OF LEGALLY. REPLACE EXISTING GUARDRAIL TO MATCH EXISTING CARPENTRY SIZE, SHAPE, WOOD SPECIE AND PAINT COLOR. CONTRACTOR SHALL FIELD MEASURE AND RECORD TOP GUARDRAIL, GUARDRAIL TRIM, GUARDRAIL SPINDLE BOARDS AND BOTTOM RAILS FOR FABRICATION OF NEW GUARDRAIL COMPONENTS. NEW GUARDRAIL COMPONENTS SHALL MATCH EXISTING COMPONENTS EXACTLY. NEW GUARDRAILS SHALL BE PAINTED TO MATCH EXISTING GUARDRAIL COLORS AND LOCATIONS. CONTRACTOR SHALL COMPLETE ONE COMPLETE "MOCK-UP" PANEL BETWEEN 2 EXISTING COLUMNS ON THE SECOND FLOOR BALCONY. UPON COMPLETION OF THE "MOCK-UP", THE ARCHITECT SHALL REVIEW THE "MOCK-UP" TO CONFIRM THAT THE "MOCK-UP" MATCHES THE EXISTING HISTORIC DESIGN. UPON ACCEPTANCE OF THE "MOCK-UP" BY THE ARCHITECT, THE CONTRACTOR SHALL CONTINUE THE REPLACEMENT OF THE GUARDRAIL USING THE "MOCK-UP" PANEL FOR THE REPLACEMENT OF THE REMAINDER OF THE GUARDRAILS.
- EXISTING WOOD COLUMNS TO BE SCRAPED TO REMOVED EXISTING LOOSE PAINT, SANDED, CLEANED, AND PREPARED TO RECEIVE NEW PAINT TO MATCH EXISTING COLORS.
- EXISTING WOOD BRACKETS TO BE SCRAPED TO REMOVE EXISTING LOOSE PAINT, SANDED, CLEANED, AND PREPARED TO RECEIVE NEW PAINT TO MATCH EXISTING COLORS.
- EXISTING BIRD DETERRENT SPIKES TO BE REMOVED AND STORED PRIOR TO BEGINNING PAINT. REPLACE BIRD DETERRENT SPIKES AFTER PAINTING IS COMPLETED.
- EXISTING HORIZONTAL WOOD TRIM BOARD TO BE SCRAPED TO REMOVED LOOSE PAINT, SANDED, CLEANED, AND PREPARED TO RECEIVE NEW PAINT TO MATCH EXISTING COLORS.
- EXISTING BEAM WOOD TRIM BOARD TO BE SCRAPED TO REMOVED LOOSE PAINT, SANDED, CLEANED AND PREPARED TO RECEIVE NEW PAINT TO MATCH EXISTING COLORS.
- EXISTING WOOD FASCIA AND DECORATIVE WOOD TRIM TO BE SCRAPED TO REMOVED LOOSE PAINT, SANDED, CLEANED AND PREPARED TO RECEIVE NEW PAINT TO MATCH EXISTING COLORS.
- EXISTING FLAT SEAM METAL ROOFING TO REMAIN. EXISTING FLAT SEAM METAL ROOF TO BE CLEAN AND PREPARED TO RECEIVE NEW PAINT TO MATCH EXISTING COLOR.
- EXISTING 1/2 WOOD FLOOR TRIM BOARD TO BE REPLACED WITH NEW WOOD TRIM BOARD TO MATCH EXISTING WOOD TRIM BOARD SPECIE, SIZE, SHAPE AND PAINTED TO MATCH EXISTING COLOR.
- EXISTING WOOD COLUMN BASE AND SHOE MOULD TRIM TO BE DISMANTLED, REMOVED AND DISPOSED. REPLACE WOOD COLUMN BASE AND SHOE MOULD TRIM WITH MATCHING WOOD SPECIE, SIZE AND DETAIL TO MATCH EXISTING.
- EXISTING PAINTED WOOD FASCIA AND DECORATIVE TRIM TO BE SCRAPED TO REMOVED LOOSE PAINT, SANDED, CLEANED AND PREPARED TO RECEIVE NEW PAINT TO MATCH EXISTING COLORS.
- EXISTING ROOF AND GUTTER SYSTEM TO REMAIN UNDISTURBED.
- EXISTING BUILDING TO REMAIN UNDISTURBED.
- EXISTING DAMAGED WOOD BEAM SIDES AND BOTTOM TRIM TO BE REPLACED BACK TO UNDAUNAGED EXISTING MATERIAL AND PAINTED TO MATCH EXISTING WOOD BEAM SIDE AND BOTTOM TRIM.
- EDGE OF ASPHALT PAVING. EXISTING ASPHALT PAVING TO REMAIN. CONTRACTOR TO REPAIR OR REPLACE ASPHALT PAVING DAMAGED BY WORK TO EXISTING CONDITIONS.
- EXISTING SANDY SOIL WITH MULCH COVER TO BE REPLACED TO EXISTING CONDITION UPON COMPLETION OF THE WORK.
- EXISTING WOOD FLOOR DECKING TO BE CLEANED AND REPAINTED TO MATCH EXISTING COLOR.
- APPROXIMATE LOCATION OF EXISTING DAMAGED TONGUE AND GROOVE FLOOR DECKING TO TO BE DISMANTLED, REMOVED AND DISPOSED OF BY LEGAL MEANS.
- EXISTING QUARTER ROUND TRIM TO BE CLEANED AND PAINTED, COLOR TO MATCH EXISTING.
- NEW QUARTER ROUND TRIM TO MATCH EXISTING SIZE, SHAPE & SPECIES. PAINT NEW QUARTER ROUND TRIM TO MATCH EXISTING COLOR.
- NEW TONGUE AND GROOVE FLOOR DECKING TO MATCH THE EXISTING FLOOR DECKING. NEW DECKING SHALL MATCH THE EXISTING DECKING IN SIZE, SHAPE, WOOD SPECIES AND SHALL BE INSTALLED USING CONCEALED FASTENERS. NEW DECKING TO RECEIVE A WOOD PRIMER AND TWO COATS OF EXTERIOR GRADE LATEX ENAMEL FINISH, COLOR TO MATCH EXISTING.





ARCHITECT



21 Puritan Mill | 950 Lowery Blvd. NW | Atlanta, Georgia 30318 | (404) 765-1299

ADDRESS

TELFAR ARMS
APARTMENTS REPAIRS

SAVANNAH, GEORGIA
NAME

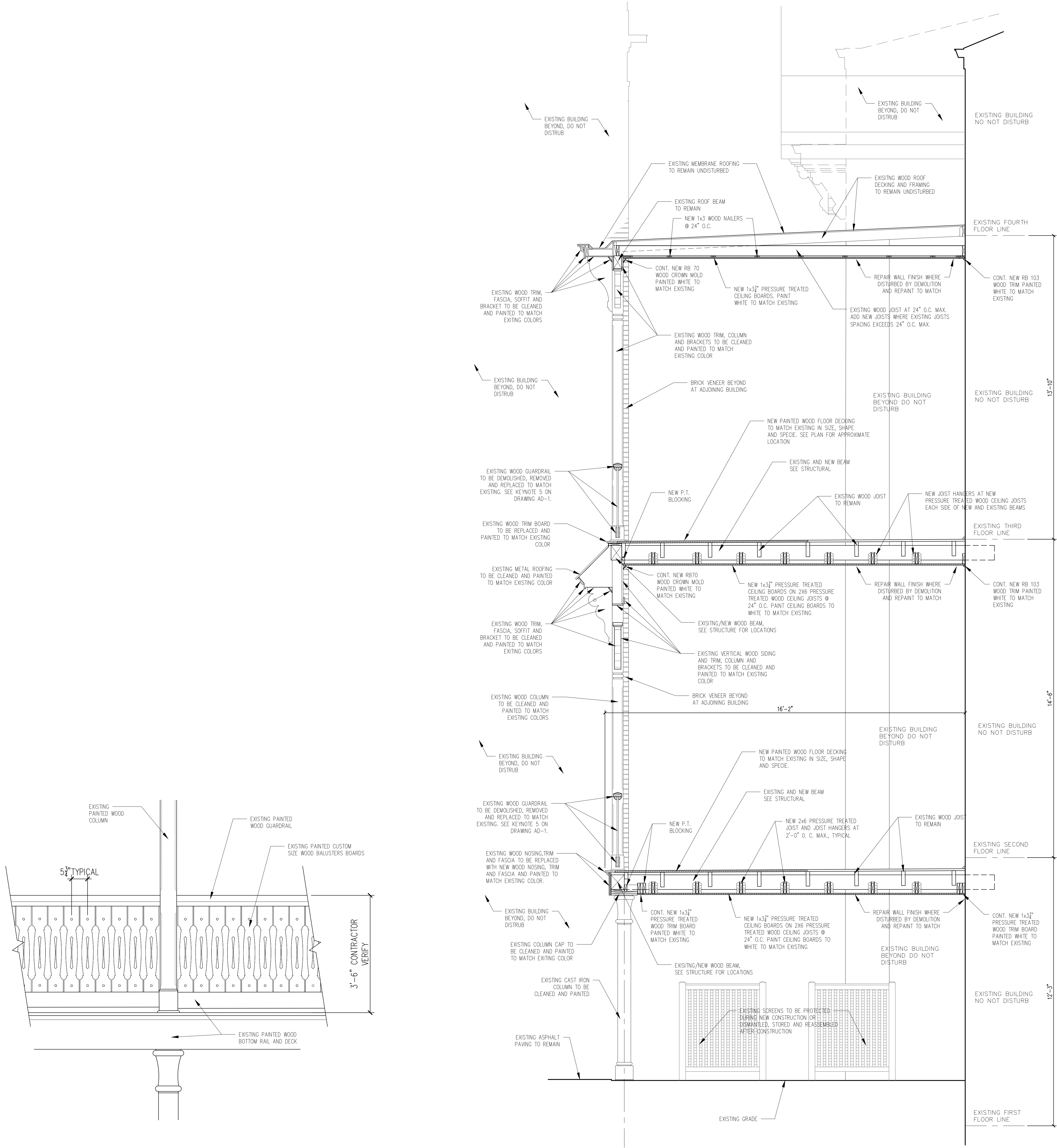
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Sheet Title:

WALL
SECTIONS &
DETAILS

Date: 05/07/25
Project No.: 202404

A3.1



2 EXISTING BALCONY GUARDRAIL ELEVATION
SCALE: 3/4" = 1'-0"

1 WALL SECTION AT BALCONY
SCALE: 1/2" = 1'-0"

THARPE

ENGINEERING GROUP

1020 DRAVTON ST. | STE 202 | SAVANNAH, GA 31401
WWW.THARPEENGINEERING.COM | 912.349.7603

TEG PROJ: 24.062 | DRAWN: JSV | CHECKED: JTK



ARCHITECT

FOLEY DESIGN

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ADDRESS

TELFAR ARMS
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SAVANNAH, GEORGIA
NAME

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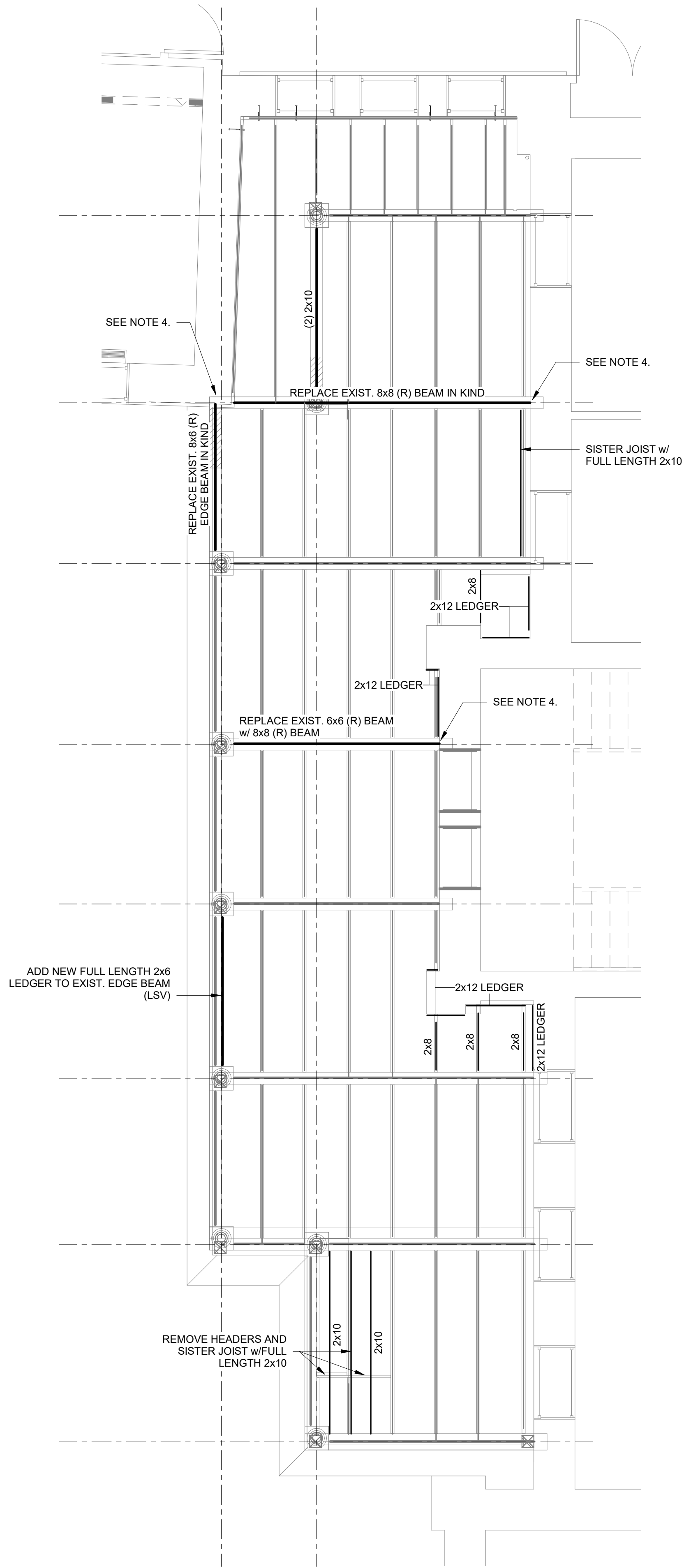
Sheet Title:

FRAMING
PLANS

Date: 04/11/2025
Project No.: 202404

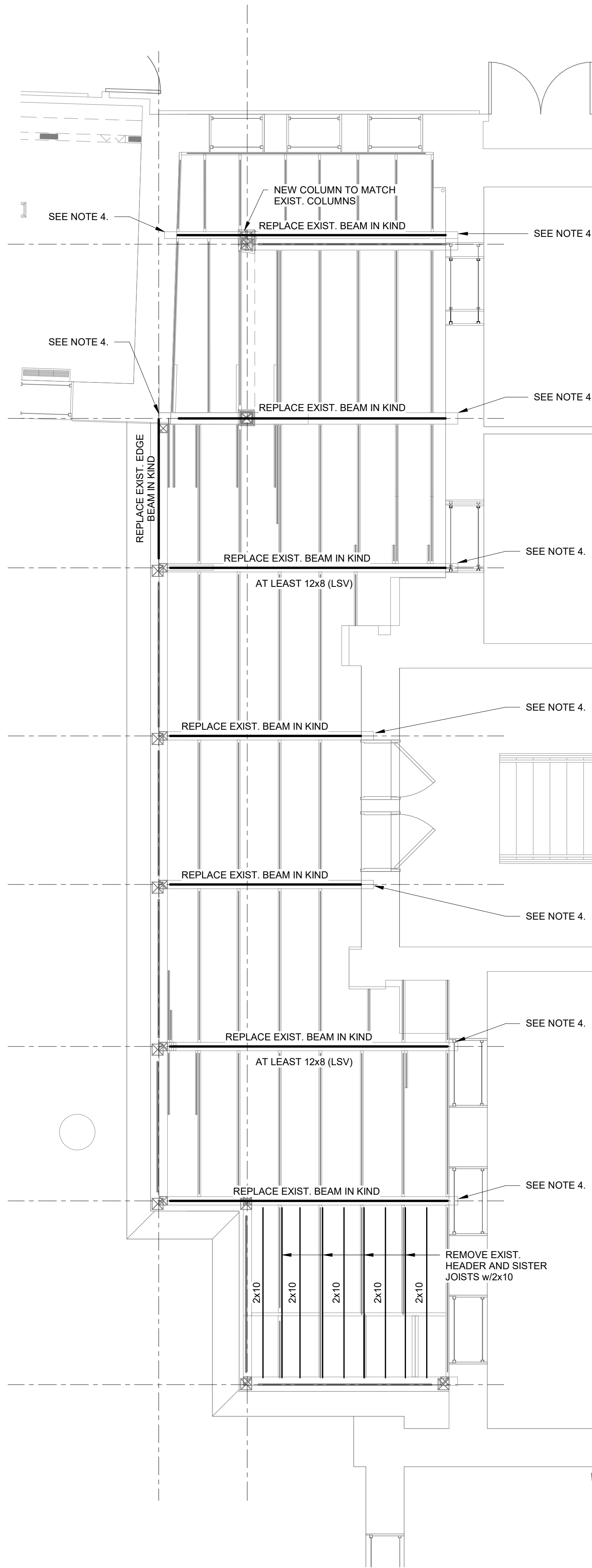
S101

LEVEL EXISTING
BALCONY FRAMING



- NOTE:**
1. REPLACE ALL MISSING OR ROTTEN HARDWOOD FLOORING AS REQUIRED AFTER FRAMING MEMBERS ARE REPLACED/REINFORCED.
 2. ALL WOOD EXPOSED TO THE ELEMENTS SHALL BE PRESSURE TREATED.
 3. HEAVY TIMBER TO BE SOUTHER PINE NO. 1 DENSE.
 4. POCKET NEW HEAVY TIMBER BEAMS INTO PREVIOUS BEARING POCKETS WITHIN EXISTING WALL.

LEVEL EXISTING
BALCONY FRAMING



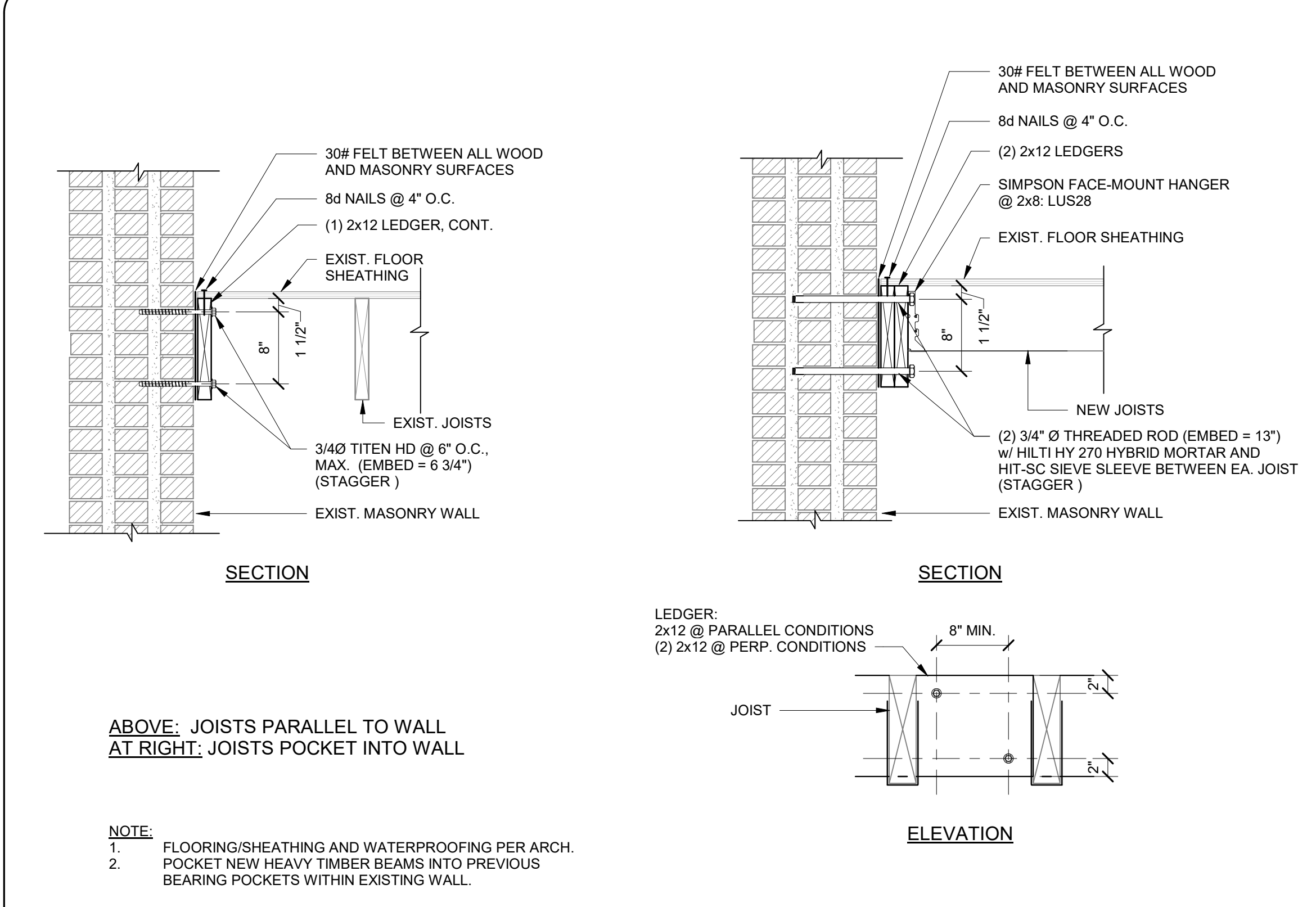
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 4. POCKET NEW HEAVY TIMBER BEAMS INTO PREVIOUS BEARING POCKETS WITHIN EXISTING WALL.



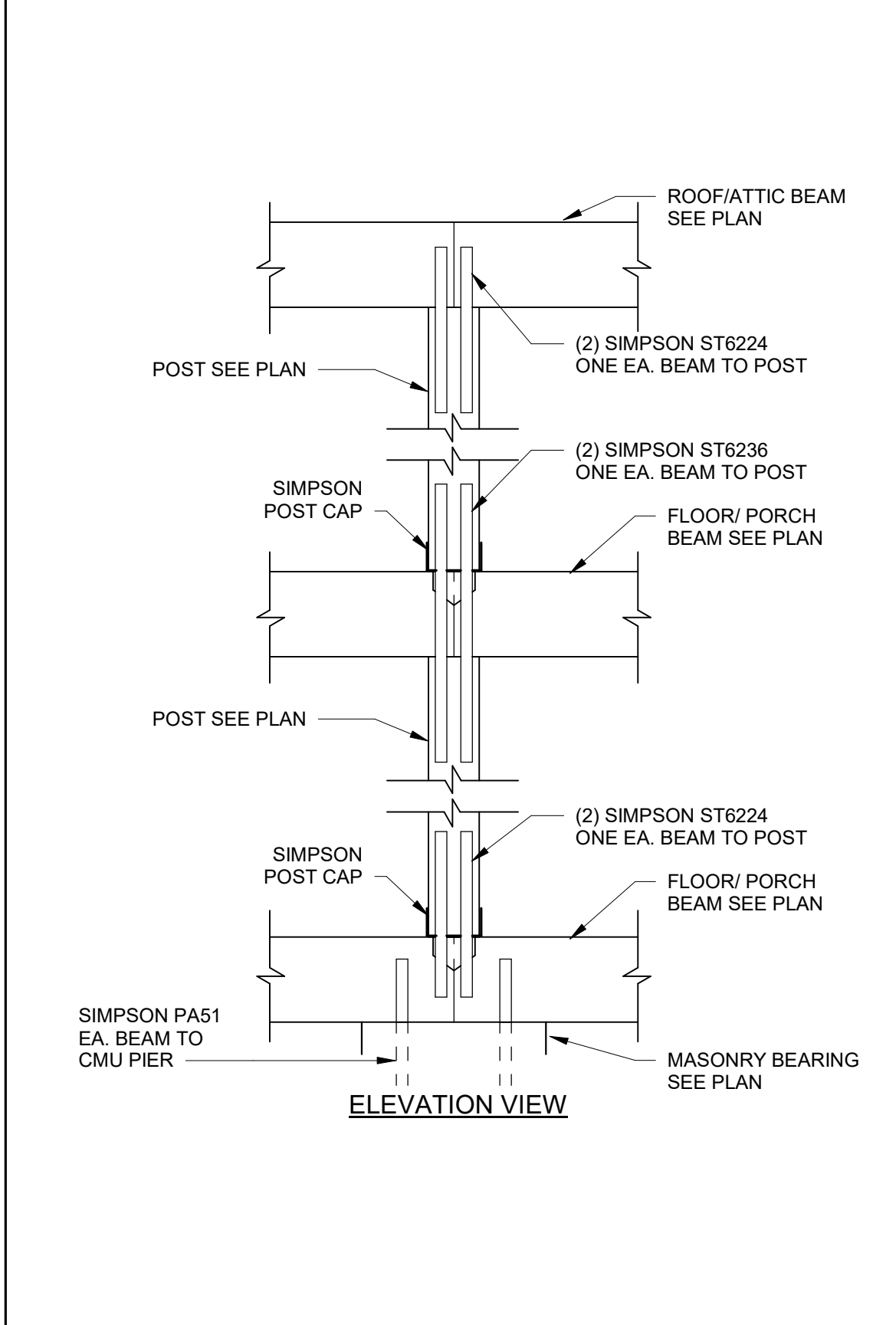
A 2nd FLOOR FRAMING PLAN
1/4" = 1'-0"



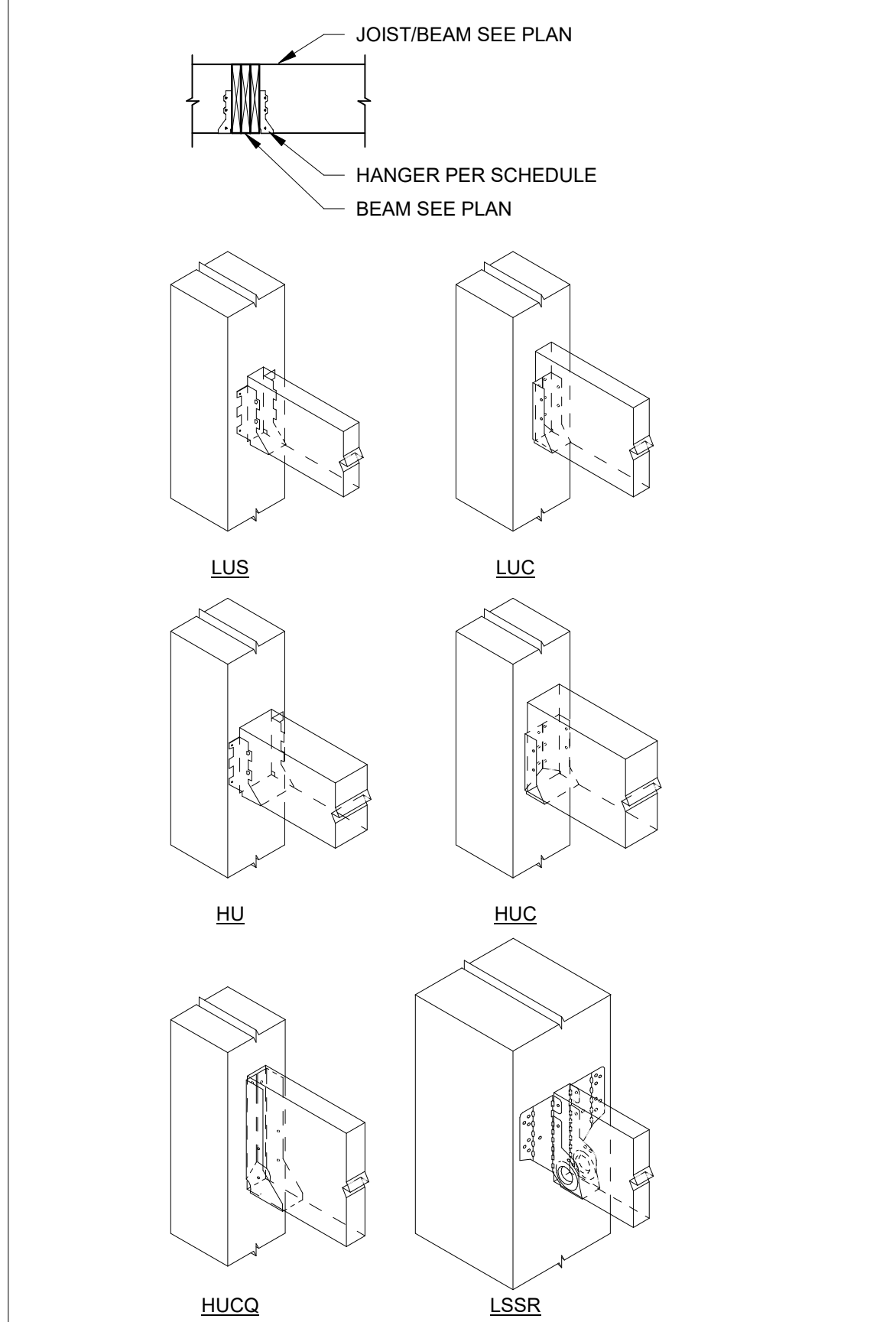
B 3rd FLOOR FRAMING PLAN
1/4" = 1'-0"



A TYPICAL SHEAR TRANSFER @ EXISTING JOISTS TO EXISTING MASONRY



E TYPICAL POST/COLUMN TO BEAM CONNECTIONS



F TYPICAL SIMPSON WOOD FRAMING HANGERS

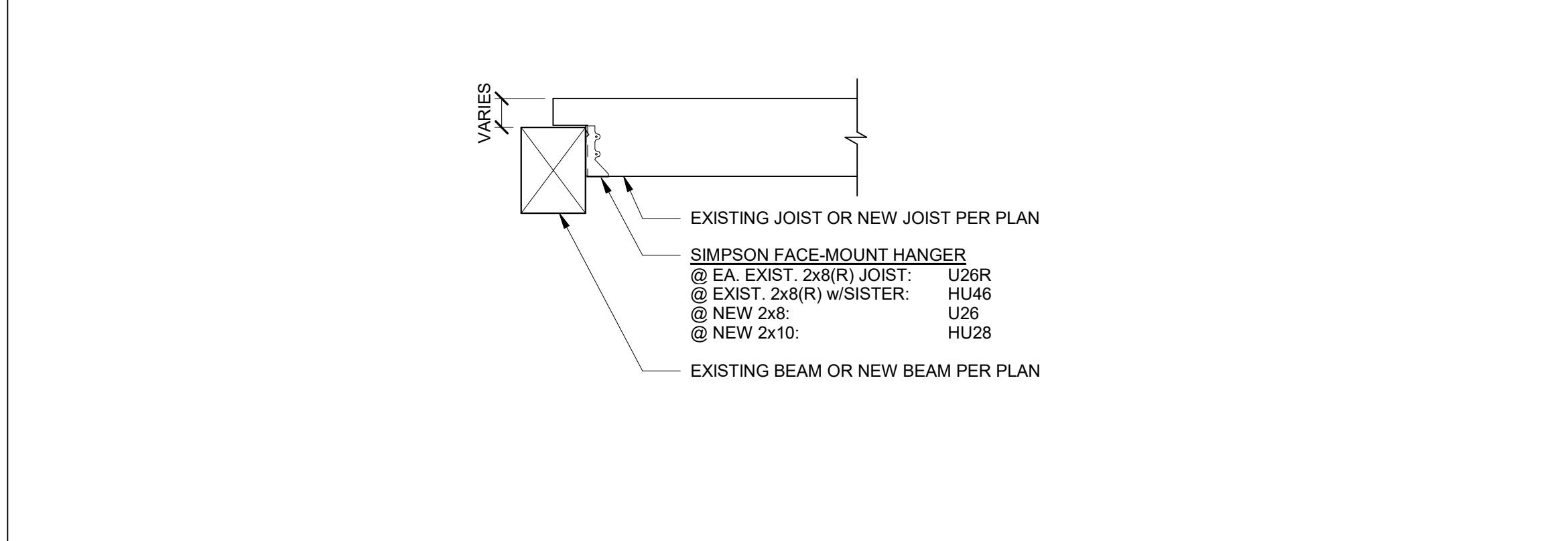
2x & LVL MEMBERS		MINIMUM FASTENING REQUIREMENTS FOR TOP AND SIDE LOADED MEMBERS			
		2 PLY	3 PLY	4 PLY	5 PLY
10d (0.128"x3") NAILS	7 1/4" ≤ d ≤ 14"	3 ROWS @ 12" O.C.	3 ROWS @ 12" O.C. (ES)	--	--
	d ≤ 14"	4 ROWS @ 12" O.C.	4 ROWS @ 12" O.C. (ES)	--	--
16d (0.162"x3 1/2") NAILS	7 1/4" ≤ d ≤ 14"	--	2 ROWS @ 12" O.C. (ES)	--	--
	d ≤ 14"	--	3 ROWS @ 12" O.C. (ES)	--	--
1/2" THROUGH BOLTS	d ≥ 7 1/4"	2 ROWS @ 24" O.C.	2 ROWS @ 24" O.C.	2 ROWS @ 24" O.C.	2 ROWS @ 24" O.C.
SDS 1/4"x 3 1/2" SCREWS	d ≥ 7 1/4"	--	--	2 ROWS @ 24" O.C. (ES)	2 ROWS @ 24" O.C. (ES)
SDS 1/4"x 6" SCREWS	d ≥ 7 1/4"	--	--	--	--
FASTENER CLEARANCES FOR MULTI-PLY MEMBERS					
FASTENER	A	B	C	D	
	MIN.	MIN.	MAX.	MIN.	MAX.
10d & 16d NAILS	2"	2"	6"	4"	12"
BOLTS AND SCREWS	2"	4"	12"	4"	24"

2 ROWS "ES" (OFFSET ON REVERSE SIDE)

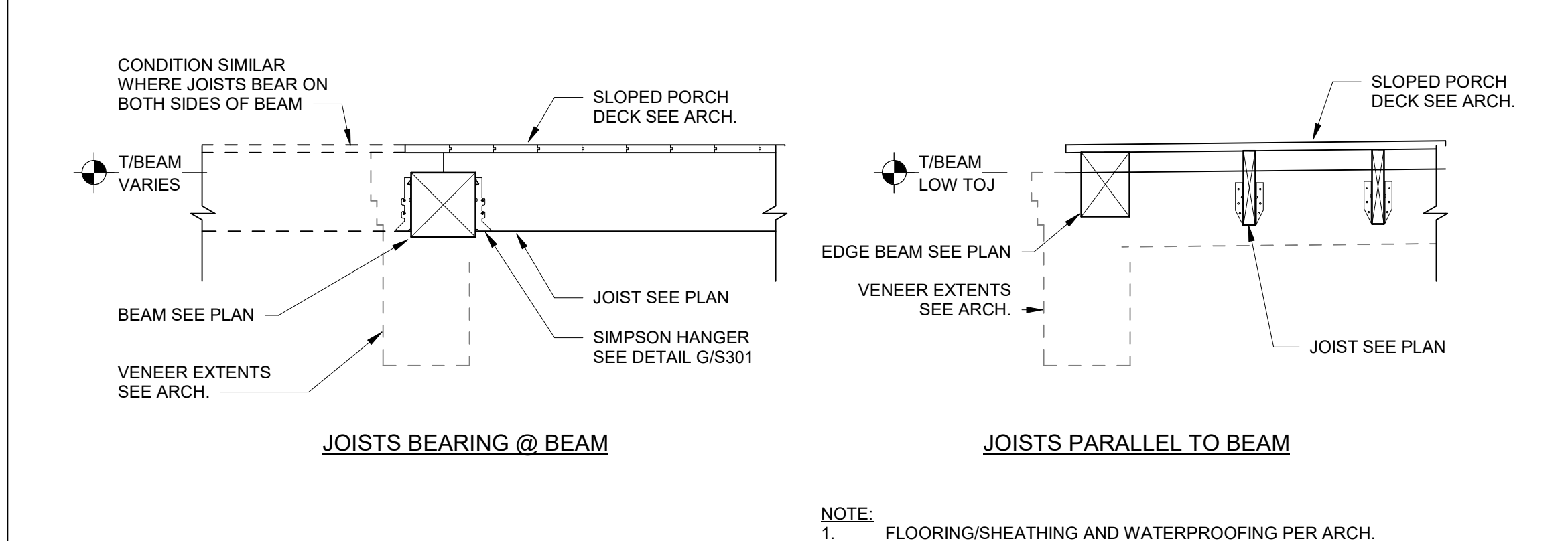
3 ROWS "ES" (OFFSET ON REVERSE SIDE)

NOTES:
1. ALL FASTENERS MUST HAVE THE LENGTH FULLY EMBEDDED, BUT MUST NOT BE OVERDRIVEN, COUNTERSUNK, OR OVER-TIGHTENED.
2. BOLT HOLES ARE TO BE 1/16" MAX. DIAMETER LARGER THAN THE BOLTS. BOLTS MUST MEET OR EXCEED ASTM A 307. EVERY BOLT MUST EXTEND THROUGH THE FULL THICKNESS OF THE MEMBER. USE WASHERS NOT LESS THAN A STANDARD CUT WASHER UNDER THE HEAD AND NUT MEETING ANSI B 18.22.1
3. 4-PLY MEMBERS SHOULD ONLY BE SIDE LOADED WHEN LOADS ARE APPLIED TO BOTH SIDES, WHEN THE LESSER SIDE LOAD PLF IS AT LEAST 25% OF THE OPPOSITE SIDE, OR WHEN THE BEAM IS OTHERWISE RESTRAINED TO MINIMIZE ROTATION.

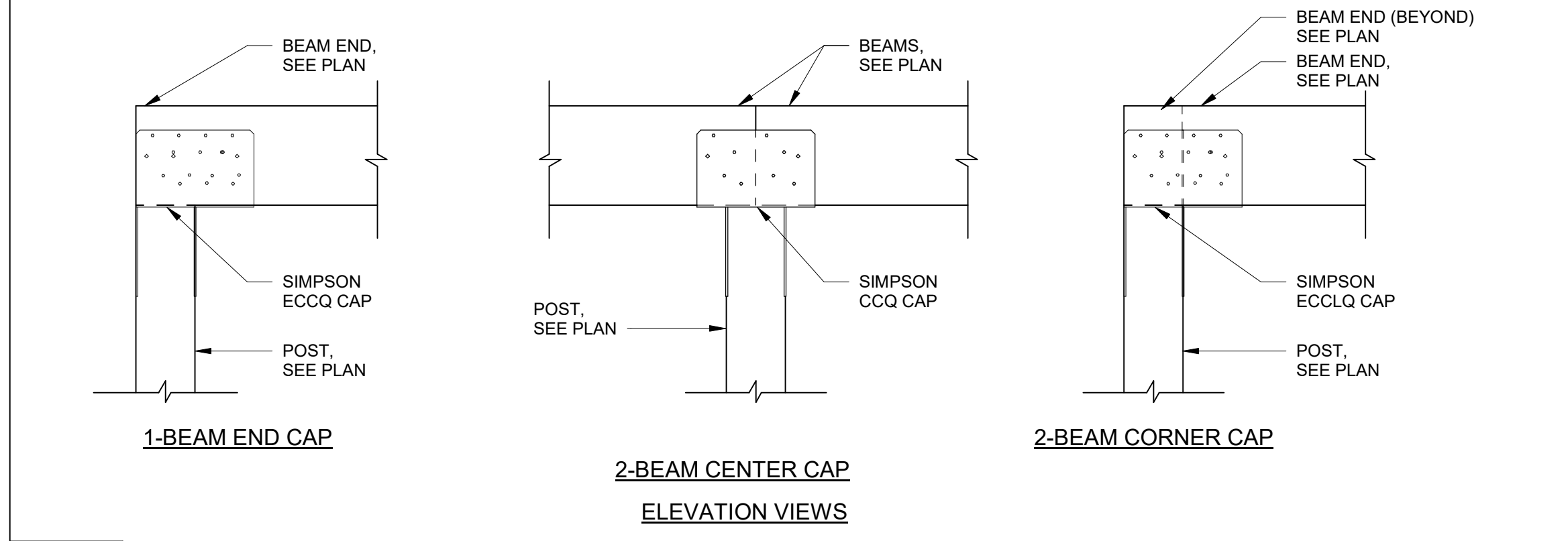
B TYPICAL FASTENING REQUIREMENTS FOR MULTI-PLY WOOD MEMBERS



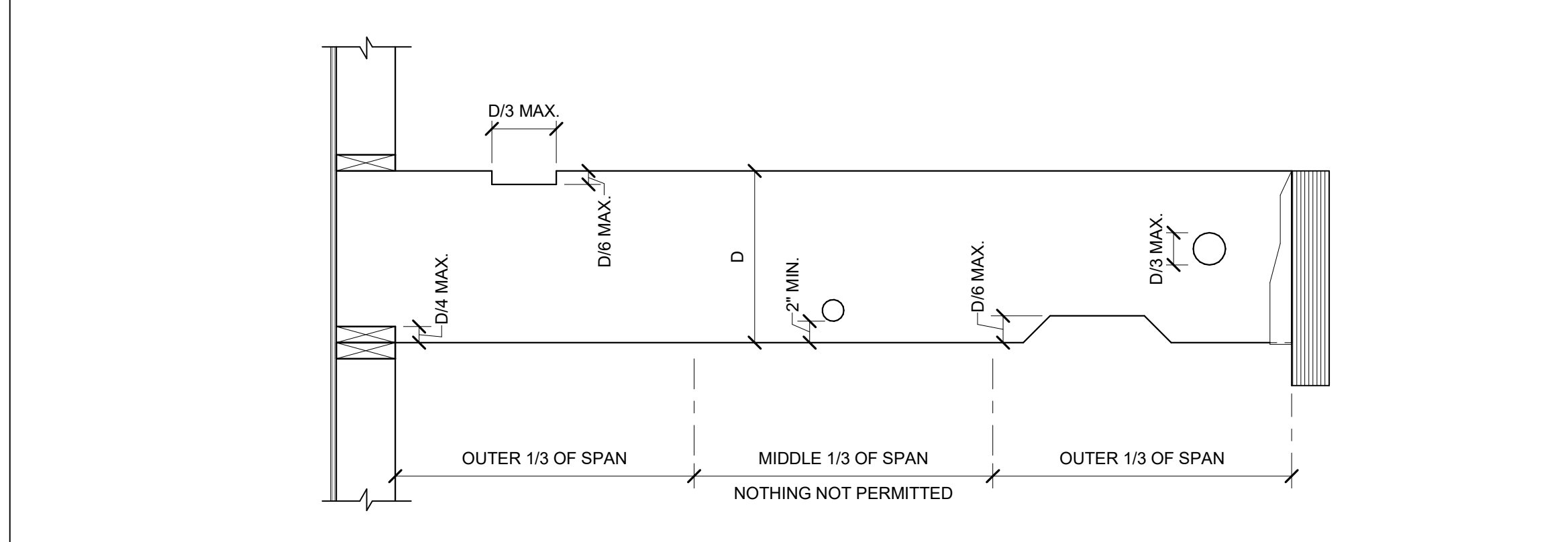
G TYPICAL NOTCHED JOIST REINFORCEMENT @ EA. JOIST



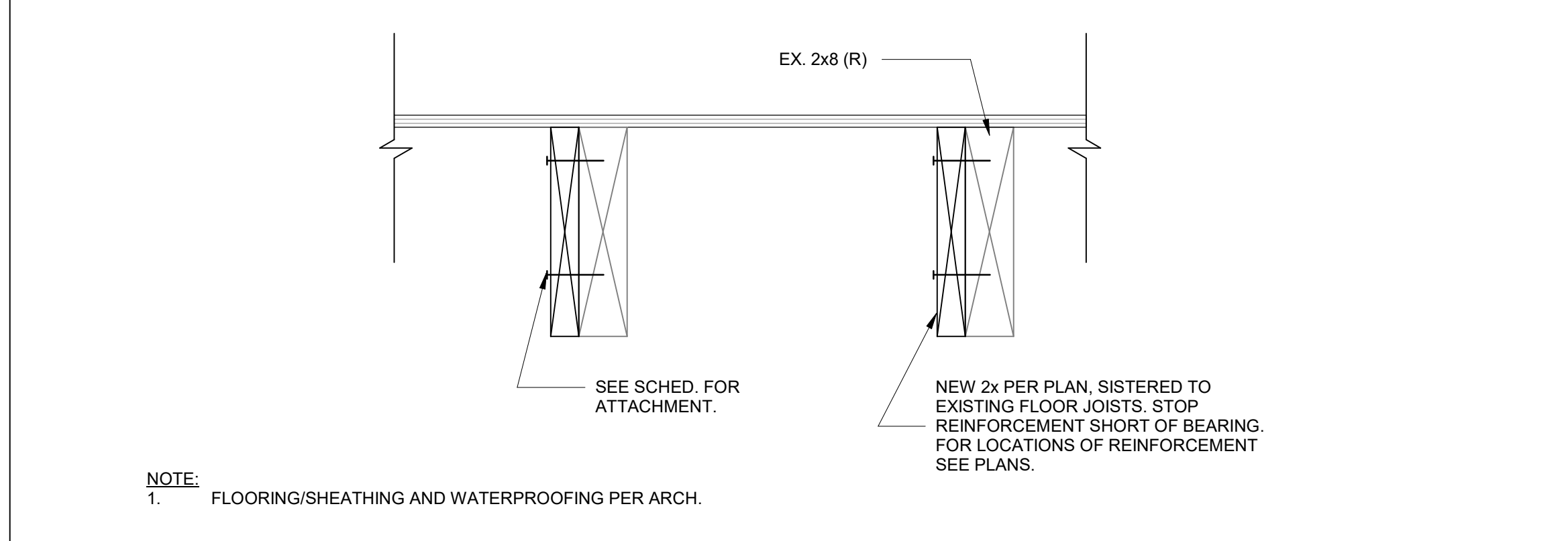
J TYPICAL PORCH BEAM TO JOIST FRAMING



C TYPICAL WOOD POST TO WOOD BEAM



D TYPICAL ALLOWABLE HOLES IN SOLID SAWN BEAMS & JOISTS



H TYPICAL JOIST REINFORCEMENT & REPLACEMENT

CONSULTANT

THARPE

ENGINEERING GROUP

1020 DRAYTON ST. | STE 202 | SAVANNAH, GA 31401
WWW.THARPEENGINEERING.COM | 912.349.7603
TEG PROJ: 24.062 | DRAWN: JSV | CHECKED: JTK

SEAL

GEORGIA

REGISTERED PROFESSIONAL ENGINEER

MICHAEL CODY THARPE

ARCHITECT

FOLEY DESIGN

21 Puritan Mill | 950 Lowery Blvd, NW | Atlanta, Georgia 30318 | (404) 763.1259

ADDRESS

TELFAR ARMS

APARTMENTS REPAIRS

SAVANNAH, GEORGIA

NAME

NO.	DATE	DESCRIPTION
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2		
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Sheet Title:

SECTIONS AND DETAILS

Date: 04/11/2025
Project No.: 202404

S301

ISSUED FOR PRICING