



Lot 1A-6 (20066 49049)

HPC Rehabilitation and Alteration application

Submission date: March 25th, 2026

Meeting date: April 22nd, 2026

Applicant: Civis Savannah, Inc - Juan Uzcategui

Project Fact Sheet

Developer	CIVIS Savannah
Project Manager	Community Housing Service Agency, Inc
Planned Capital	• CIVIS Foundation • CHSA Fund
Contractor	Price Custom Builders
Total Development Cost	\$215,000
Sources	\$140,000 - CIVIS \$75,000 - CHSA
Use	Single-family

Development Context

Civis is leading affordable housing development in Savannah's Cuyler-Brownsville neighborhood, with a plan to build 50 homes, including 19 from our 2022 agreement with the City of Savannah. To date, we have completed 14 homes and plan to develop 10 more in 2026.

In addition to housing, Civis is investing in cultural facilities that strengthen neighborhood identity. The Kiah House & Public Gallery reflects this commitment, blending historic restoration with new construction and community-centered programming.

Project Summary

Civis proposes to rehabilitate the home on 34th Street (20066 49049) as part of this broader neighborhood effort. Work includes build a new addition, roof replacement, foundation repointing, new windows and doors, porch repairs, site clearing, new fence, shed, private driveway and full interior renovation.

After completion, the property will be sold to a first-time homebuyer with the City of Savannah Dream Maker program.

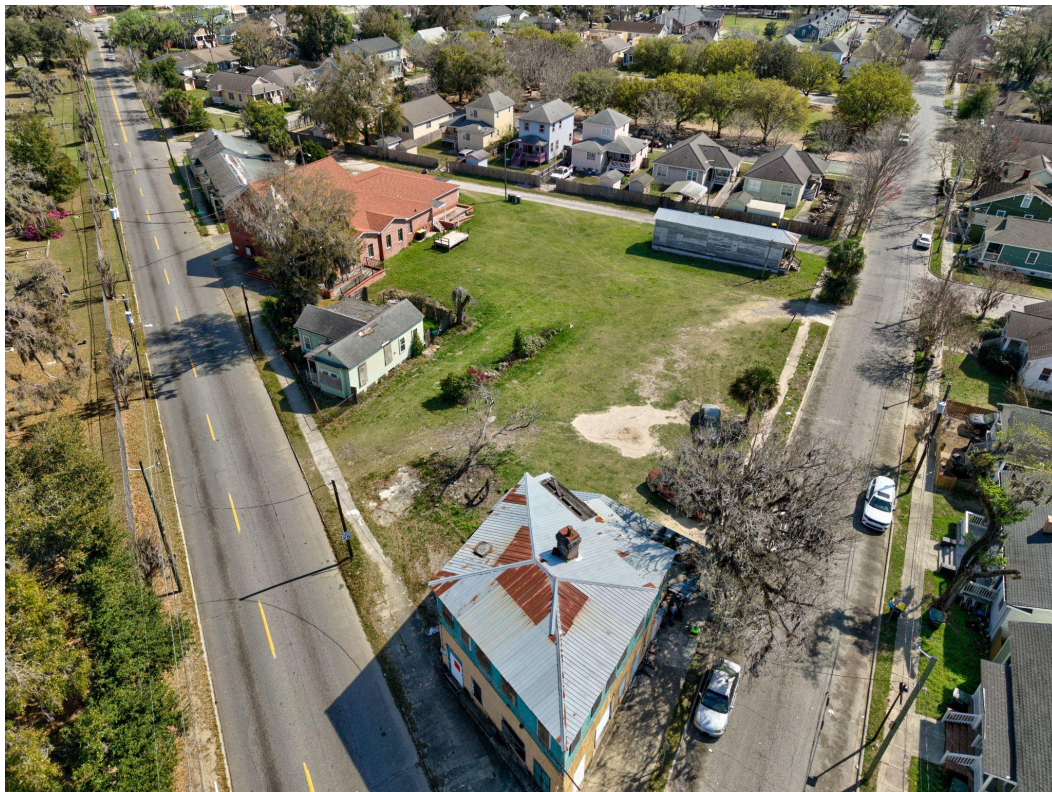
Community Impact

Civis's work in Cuyler-Brownsville goes beyond construction. In 2022, we partnered with the City of Savannah to provide \$1 million in low-interest homeowner improvement loans, while Galvan committed \$5 million to build and renovate 34 properties—supporting long-term affordability and neighborhood stability.



Photos

Site



Exterior





Interior





Adjacent buildings

1630 Ogeechee Rd (PIN: 20066 49050)

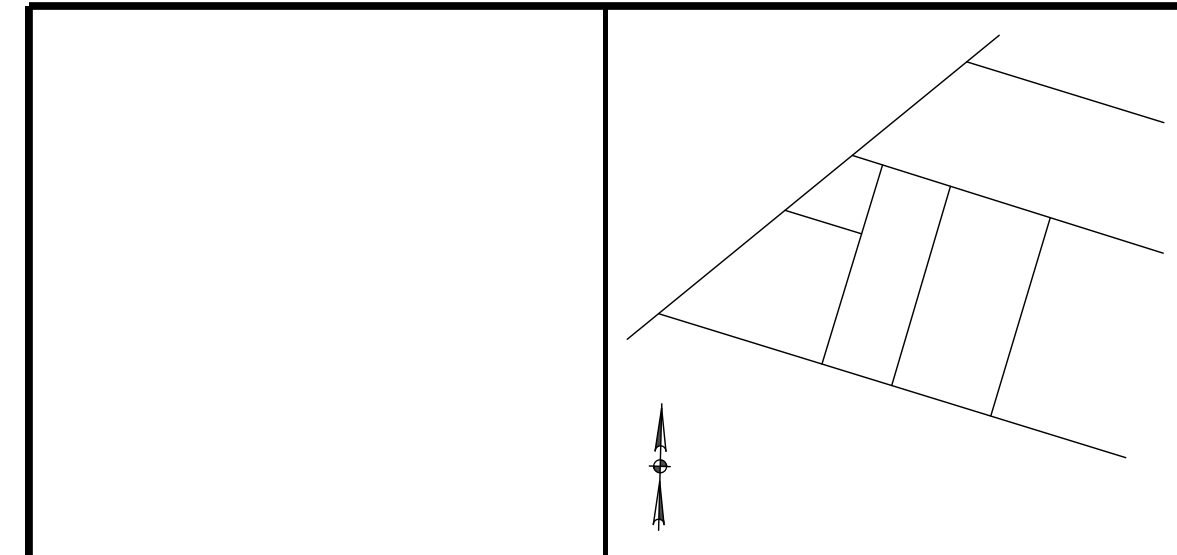


1622 Ogeechee Rd (PIN: 20066 49048)



1638 Ogeechee Rd (PIN: 20066 49026)





THIS BLOCK IS RESERVED FOR THE CLERK OF SUPERIOR COURT

VICINITY MAP NOT TO SCALE

- LEGEND**
- CMF CONCRETE MONUMENT FOUND
 - PKF PK NAIL FOUND
 - IRF IRON ROD FOUND
 - IRS 5/8" IRON ROD SET
 - CLEANOUT
 - ELECTRIC METER
 - FIRE HYDRANT
 - GAS METER
 - HVAC EQUIPMENT
 - LIGHT POLE
 - POWER POLE
 - SANITARY SEWER MANHOLE
 - SIGN
 - WATER METER
 - WATER VALVE
 - SANITARY SEWER LINE
 - OVER HEAD UTILITY LINE
 - CONTOUR

SURVEYOR'S NOTES

- ALL COORDINATES AND BEARINGS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, NAD 83, EAST ZONE.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP 13051C01536, REVISED 08/16/2018, THIS PROPERTY LIES IN ZONE X, NOT A 100 YEAR FLOOD HAZARD AREA.
- THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
- THIS PROPERTY IS SERVED BY CITY OF SAVANNAH WATER AND SEWER SYSTEMS.
- THE BUILDING SETBACKS SHOWN WERE TAKEN FROM CITY OF SAVANNAH DEVELOPMENT STANDARDS FOUND AT: [HTTPS://ONLINE.ENCODEPLUS.COM/REGS/SAVANNAH-GA/AUTOTABS.ASPX](https://online.encodeplus.com/REGS/SAVANNAH-GA/AUTOTABS.ASPX). THE SETBACKS REFLECT THOSE REQUIRED FOR A SINGLE FAMILY DETACHED HOME. ZONING REQUIREMENTS CHANGE DEPENDING ON SEVERAL VARIABLES. THE SETBACKS SHOWN ARE FOR INFORMATION PURPOSES ONLY AND SHOULD NOT BE RELIED UPON WITHOUT CONFIRMING WITH THE CITY OF SAVANNAH AND THE METROPOLITAN PLANNING COMMISSION.
- THE BUILDING SETBACK LINES, EASEMENTS, AND/OR BUFFERS, IF SHOWN HEREON, HAVE BEEN TAKEN FROM PLATS OF RECORD. IT SHALL BE THE RESPONSIBILITY OF THE USER OF THIS DRAWING TO VERIFY ANY AND ALL BUILDING SETBACK LINES, EASEMENTS AND BUFFERS WITH THE PROPER AUTHORITIES BEFORE BEGINNING THE DESIGN OR CONSTRUCTION OF IMPROVEMENTS TO THE SITE. THIS SURVEYOR AND THIS FIRM ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE DESIGN, PLACEMENT, STAKING, POSITIONING OR LAYOUT OF ANY PROPOSED STRUCTURE OR IMPROVEMENT TO THE SITE.
- THE PUBLIC RECORDS REFERENCED WERE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
- THE PARENT TRACT TAX PARCEL NUMBER OF THIS PROPERTY IS 20066 49048, 20066 49049, & 20066 49050.
- THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND AVAILABLE DOCUMENTS. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- THIS SUBDIVISION CONTAINS A TOTAL AREA OF 0.972 ACRES.
- CARLSON BRX7 GPS RECEIVER ON THE EGPS NETWORK WAS USED TO ESTABLISH STATE PLANE COORDINATES AND BENCHMARK ONLY. THE CARLSON BRX7 GPS RECEIVER ON THE EGPS NETWORK HAS ADJUSTED REAL TIME KINEMATIC RELATIVE POSITIONAL ACCURACY OF HORIZONTAL 0.033+1PPM AND VERTICAL 0.049+1PPM.

APPROVED BY THE CHATHAM COUNTY DEPARTMENT OF PUBLIC HEALTH, DIVISION OF ENGINEERING AND SANITATION

DIRECTOR DATE

APPROVED BY CITY ENGINEER, CITY OF SAVANNAH, GEORGIA

JULIE MCLEAN, P.E., CITY ENGINEER DATE

APPROVED BY THE MAYOR AND ALDERMAN, CITY OF SAVANNAH, GEORGIA

MARK MASSEY, ACTING CLERK OF COUNCIL DATE

APPROVED BY THE METROPOLITAN PLANNING COMMISSION

MELANIE WILSON, EXECUTIVE DIRECTOR DATE

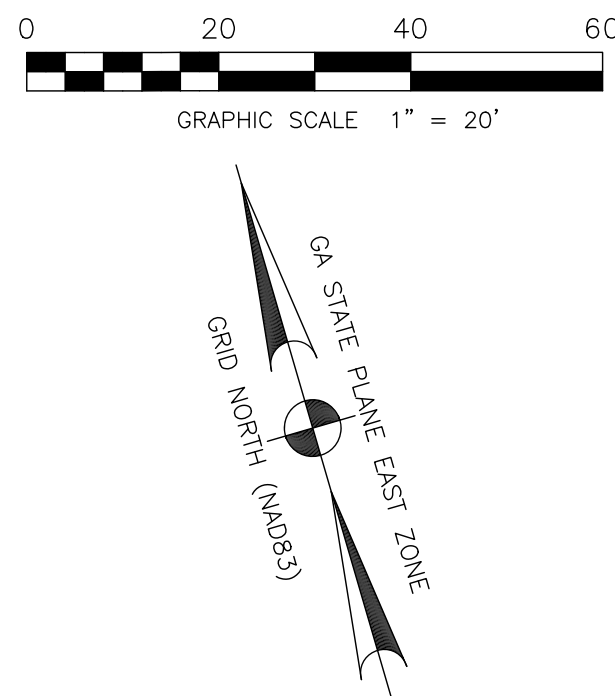
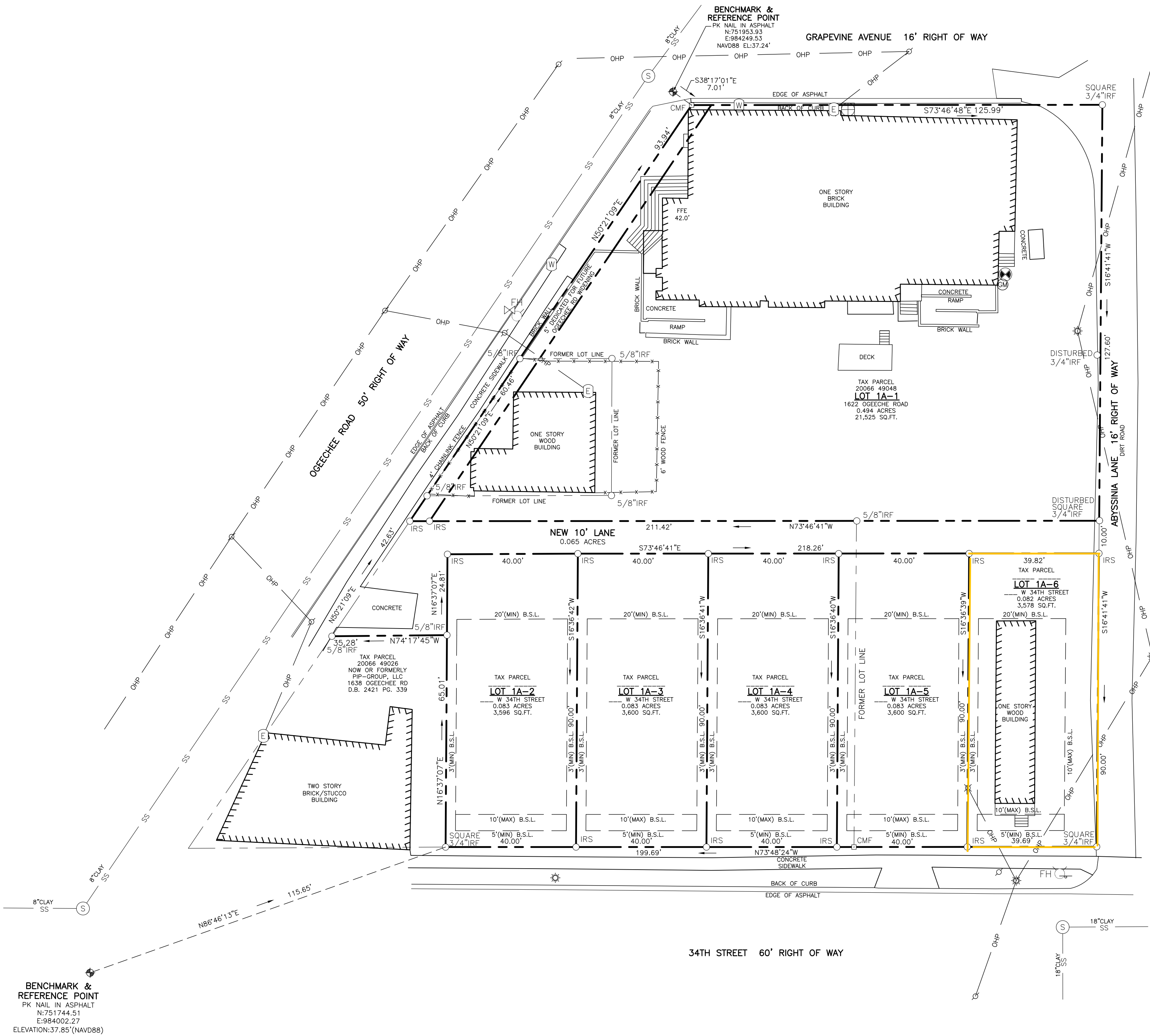
ALL STREETS, RIGHTS-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USE INTENDED

JUAN UZCATEGUI, FOR SAVANNAH HISTORIC INITIATIVES, INC DATE

BRENDA ALLEN, PASTOR OF ABYSSINIA BAPTIST CHURCH, INC DATE

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

JAMES CRAIG BREWER GA RLS# 3022 DATE



REFERENCES

- P.B. 26P PG. 75
- P.B. 26P PG. 76
- P.B. 27S PG. 72
- D.B. 319K PG. 354

EQUIPMENT USED:
GEOMAX ZOOM95 2" TOTAL STATION
CARLSON BRX7 GPS RECEIVER
ON THE EGPS NETWORK
ANGULAR ERROR = 2" PER
ADJUSTED BY: COMPASS RULE
PLAT CLOSURE = 1/125,122
FIELD CLOSURE = 1/32,870

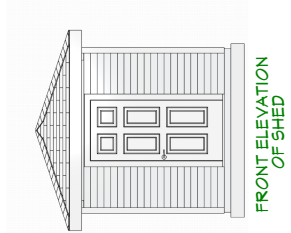
25--00????--SUBP

BREWER
LANDSURVEYING
P.O. BOX 441
Pooler, GA 31322
Info@brewersurvey.com
Phone (912) 856-2205
www.BrewerSurvey.com
LSF #1095

A MAJOR SUBDIVISION SURVEY OF
LOT 1A, LAW WARD
CITY OF SAVANNAH, CHATHAM COUNTY, GEORGIA

PREPARED FOR:
SAVANNAH HISTORIC INITIATIVE INC

PROJECT #:	250029
FIELD DATE:	2/24/2025
PLAT DATE:	10/8/2025
LAST REVISED:	N/A
DRAWN BY:	JET
SCALE:	1"=20'
SHEET: 1 OF 1	



FRONT ELEVATION
OF SHED

SHED NOTES:

- Construct 8'x8' storage shed on reinforced concrete slab.
- Framing 16" on center.
- 1" roof overhang. 4/12 roof pitch.
- Siding, trim, & shingles to match house.
- 3" insulated metal door with entry and deadbolt lockset.
- 1 exterior light.
- 1 interior light.
- 2 switches inside door.

DRIVEWAY NOTES:

- 6" Thick, 5000 P.Si, Fiber reinforced concrete.
- 12" Minimum, 24" Maximum width.
- 3" Minimum from property line or at grade utilities.
- 5" Minimum from the projection of any above ground utility (Telephone pole, etc.).
- Water & sewer lines must be located outside of driveway.

SIDEWALK NOTES:

- 4' ADA path with no more that 2% cross-slope is required where the sidewalk crosses the driveway.
- Adjacent sidewalk and curb must also meet ADA requirements with no more than 12:1 slope on either side.

LANDSCAPE NOTES:

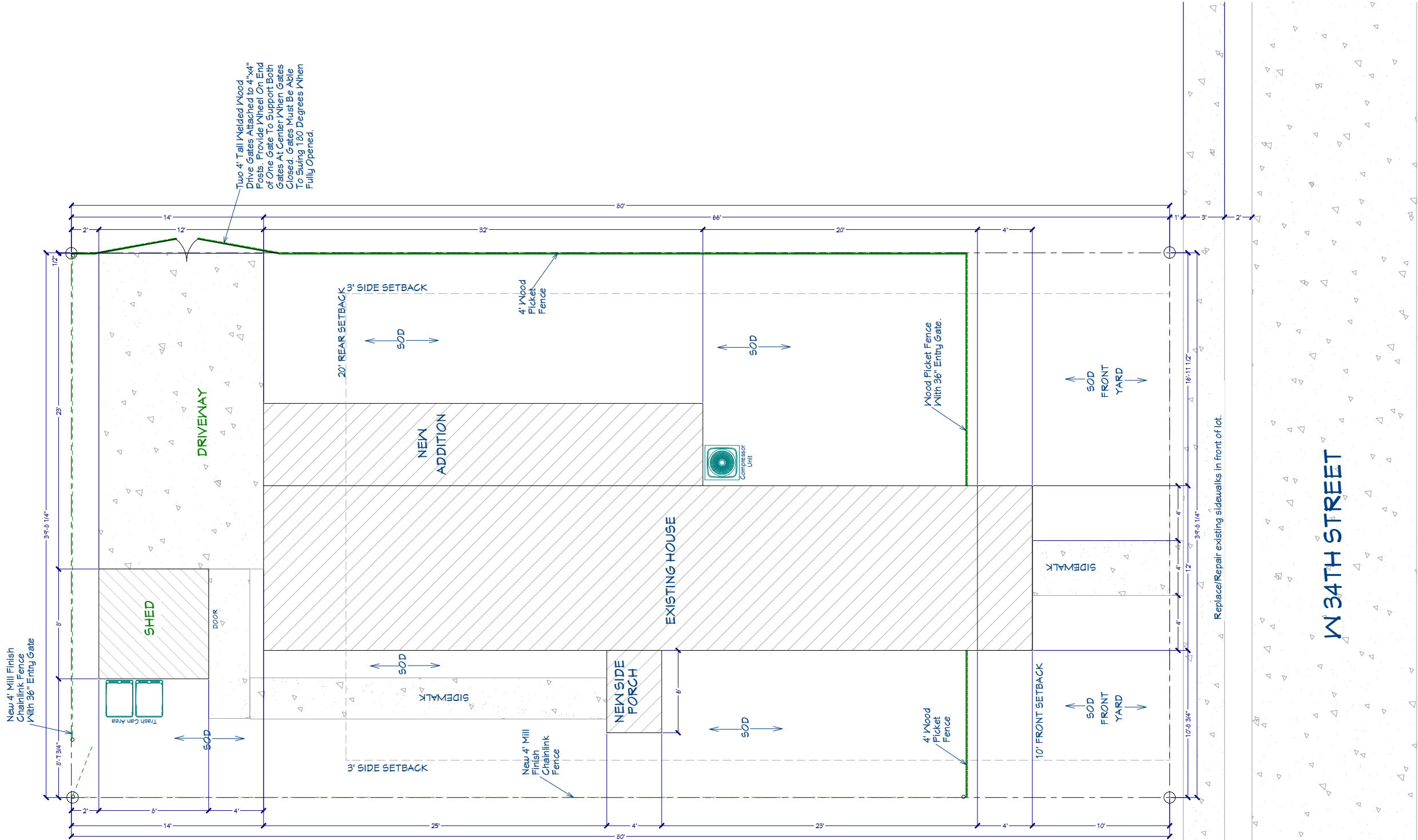
- Sod to be Centipede.
- Shrubs to be Same Color Azalea.
- Mulch to be Cypress.
- 3" Deep Shrub Bed & 2-Gal Shrubs, Mulch, Landscape Fabric. (TYP)

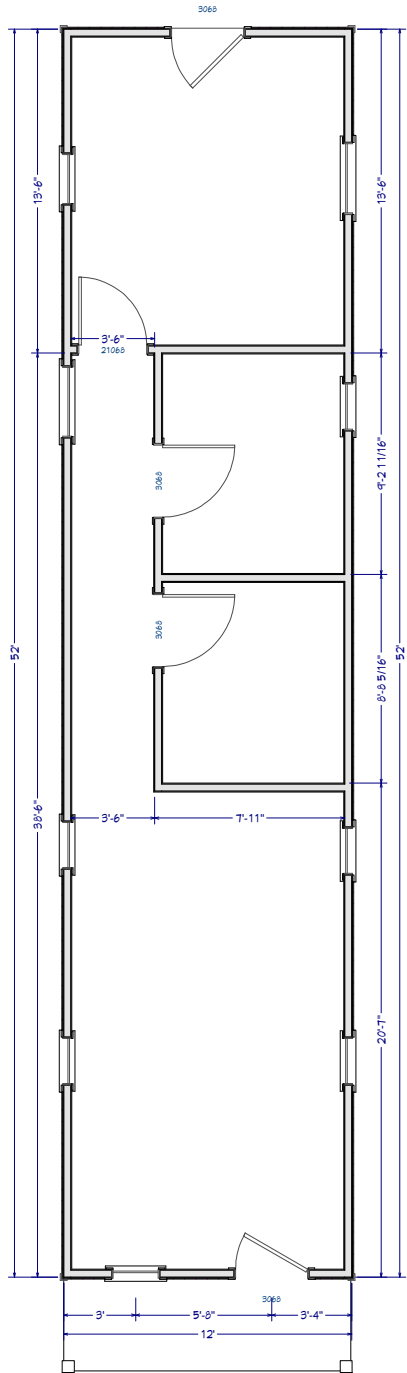
MAILBOX NOTES:

- Wall mounted mailbox.

LOT

SF Lot Area:	3,175
SF House:	0864
SF Porch:	0072
Shed:	0064
Lot Area Coverage:	32%





EXISTING FLOORPLAN



EXISTING EXTERIOR

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
EXISTING PLAN

PROJECT DESCRIPTION:
W 34TH STREET
SAVANNAH, GA. 31415

DRAWINGS PROVIDED BY:
JENISE IRIZARRY

DATE:

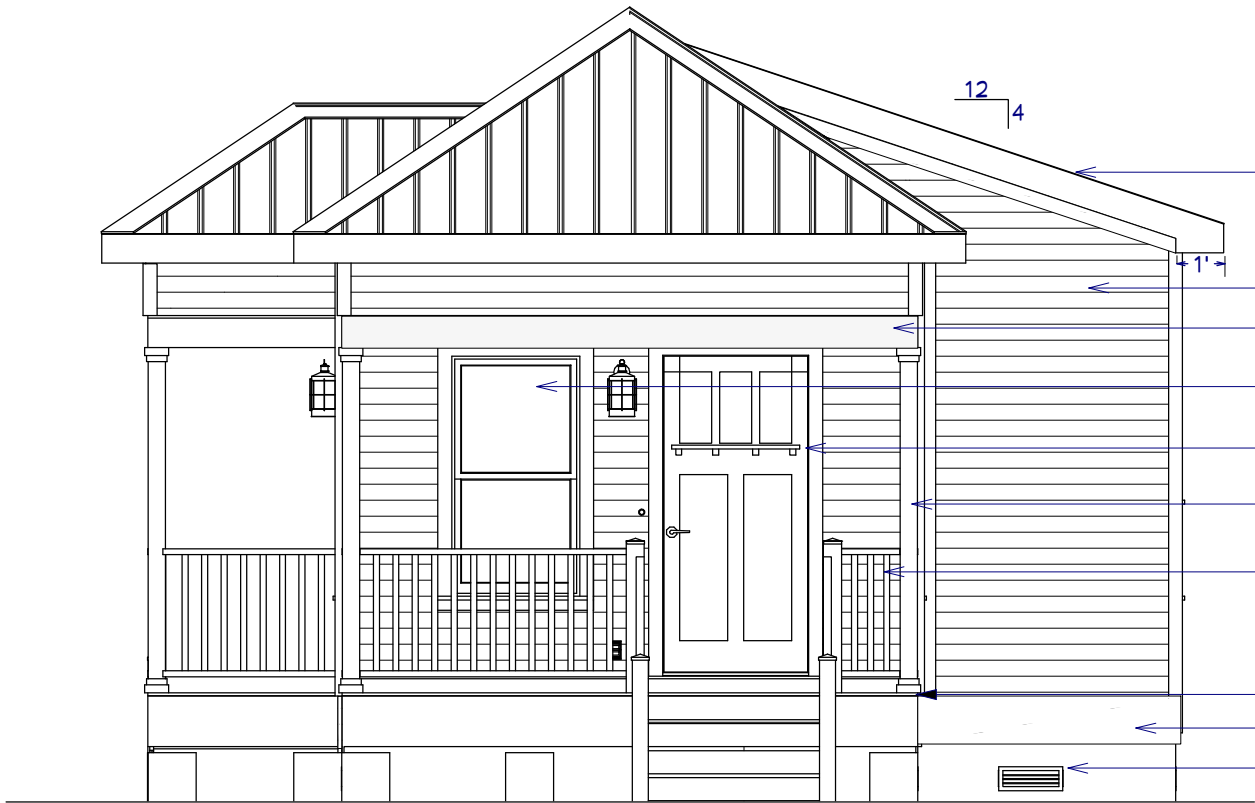
01/23/2026

SCALE:

1/8"=1'

SHEET:

12



Front Elevation

- Metal Roof with Metal Flashing and Aluminum Drip Edge.
- Wood Siding to Match Existing Siding
- Wrap Porch Ceiling Beam With Hardie Trim
- Windsor Legend Series Double Hung Windows with 3-1/2" Casing & Screens
- Jeld-Wen 6-Lite Craftsman Wood Door w/ Brickmould & Shelf
- 6" Wood Column w/ Base & Top Trim to Match Existing
- PT 2"x2"x36" Pickets Evenly Spaced No More Than 4"o.c.
- Fiberon or Trex 5/4 Board Stair Treads w/ Hardie Risers & Stringer Casing at Porches
- 10" Hardie Band Board
- Smooth Thin Coat Stucco Over Block Foundation Wall w/ Crawl Space Vents



Rear Elevation

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATION PLAN
FRONT & REAR

PROJECT DESCRIPTION:
W 34TH STREET
SAVANNAH, GA. 31415

DRAWINGS PROVIDED BY:
JENISE IRIZARRY

DATE:

07/5/2025

SCALE:

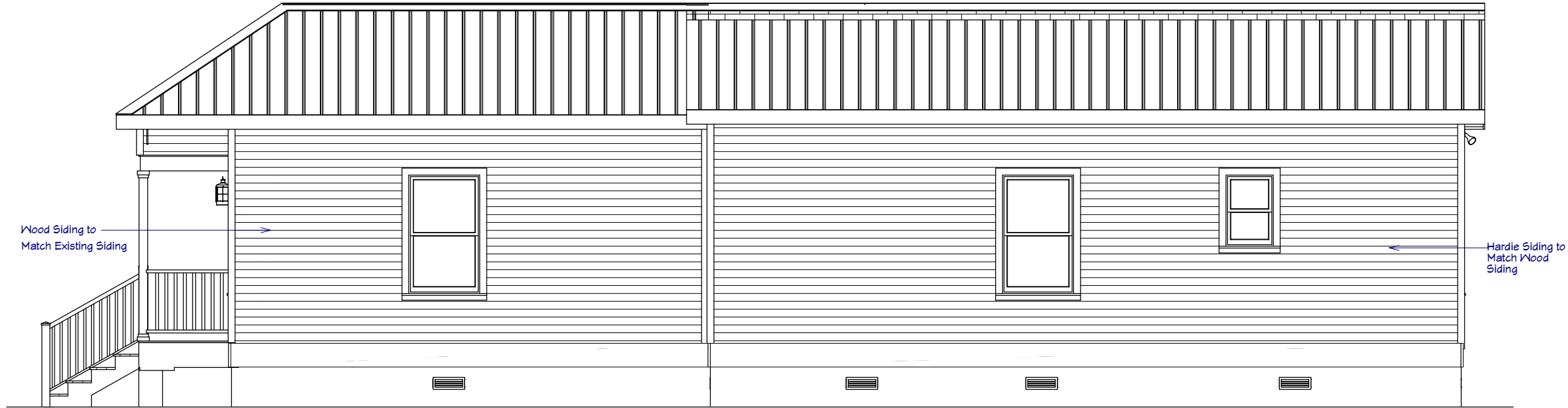
1/4"=1'

SHEET:

13



Left Elevation



Right Elevation

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATION PLAN
LEFT & RIGHT

PROJECT DESCRIPTION:
W 34TH STREET
SAVANNAH, GA. 31415

DRAWINGS PROVIDED BY:
JENISE IRIZARRY

DATE:

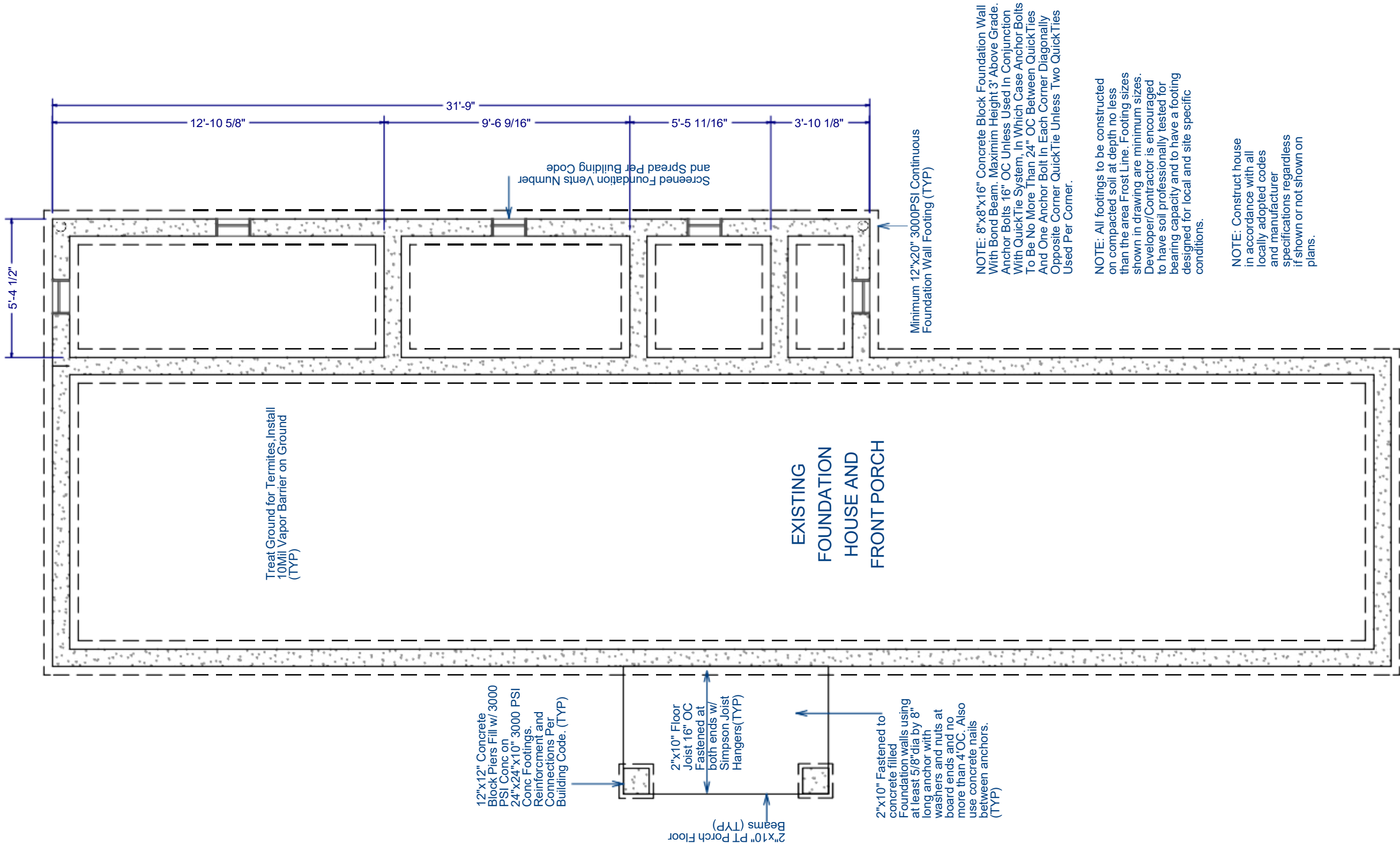
07/5/2025

SCALE:

3/16"=1'

SHEET:

14



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

FOUDATION PLAN

PROJECT DESCRIPTION:

W 34TH STREET
SAVANNAH, GA. 31415

DRAWINGS PROVIDED BY:

JENISE IRIZARRY

DATE:

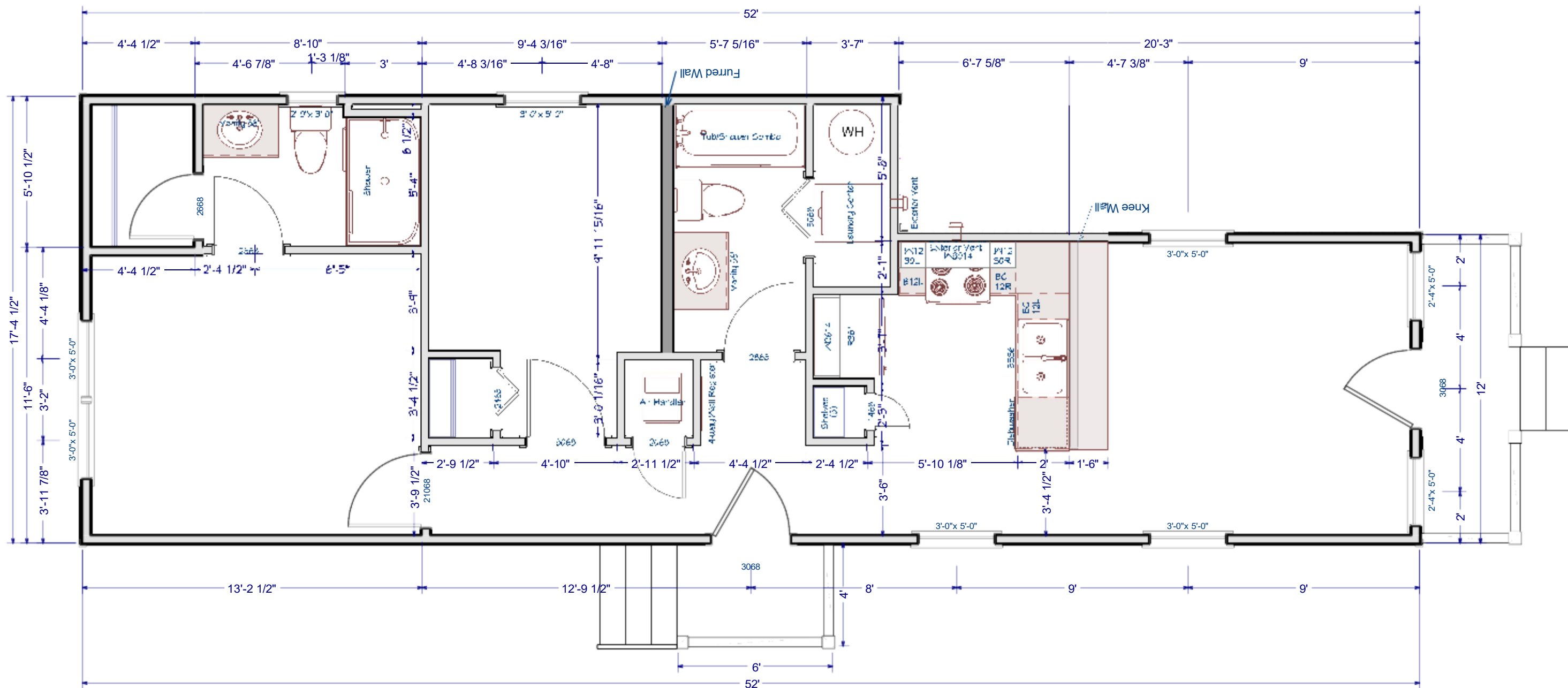
07/5/2025

SCALE:

1/4"=1'

SHEET:

15

[illegible]

SHEET TITLE:

FLOOR PLAN

PROJECT DESCRIPTION: _____ W 34TH STREET
SAVANNAH, GA. 31415

DRAWINGS PROVIDED BY:
JENISE IRIZARRY

DATE:

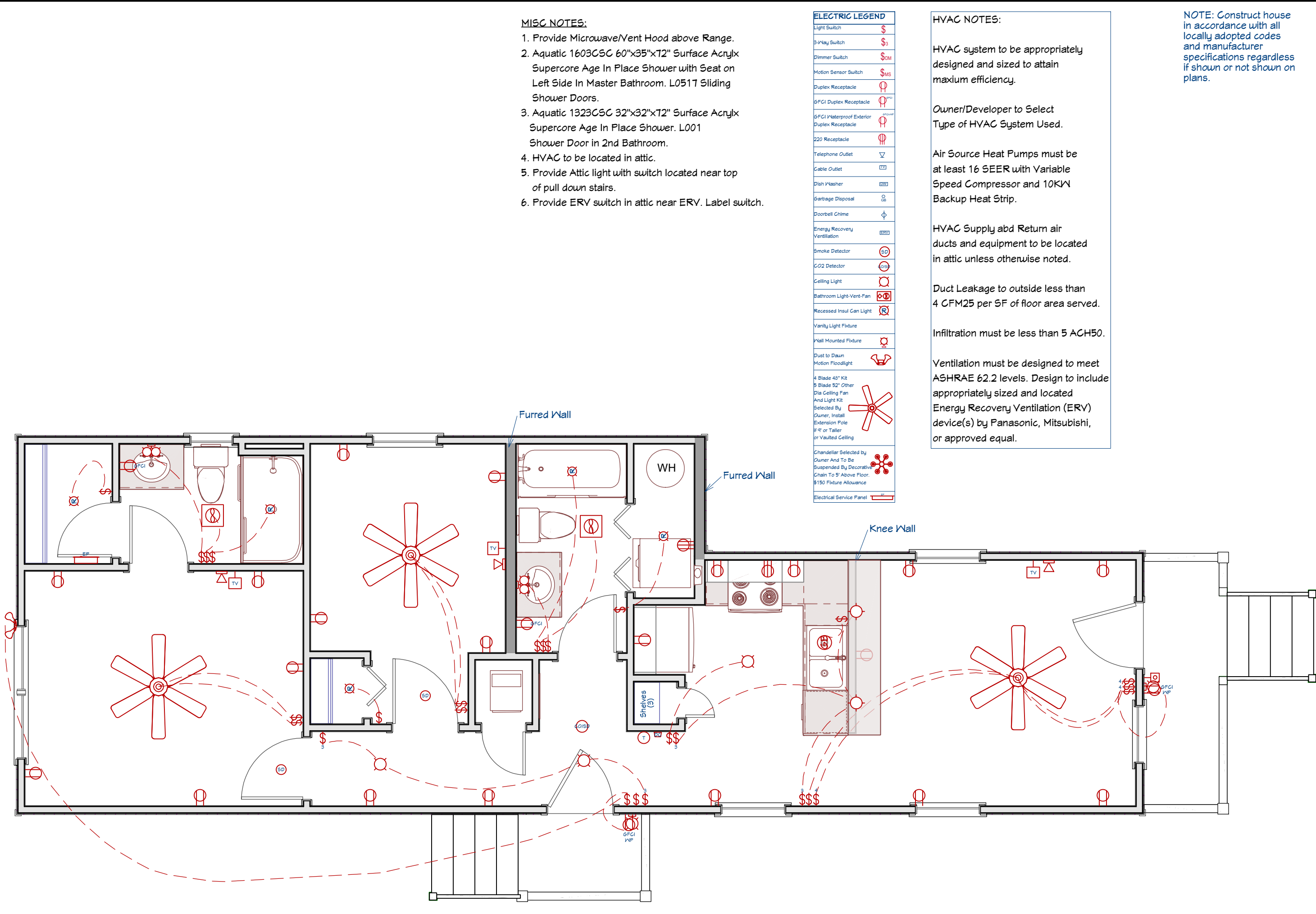
07/5/2025

SCALE:

$$1/4'' = 1'$$

SHEET:

16



- MISC NOTES:
- 1. Provide Microwave/Vent Hood above Range.
 - 2. Aquatic 1603CSC 60"x35"x72" Surface Acrylx Supercore Age In Place Shower with Seat on Left Side In Master Bathroom. L0517 Sliding Shower Doors.
 - 3. Aquatic 1323CSC 32"x32"x72" Surface Acrylx Supercore Age In Place Shower. L001 Shower Door in 2nd Bathroom.
 - 4. HVAC to be located in attic.
 - 5. Provide Attic light with switch located near top of pull down stairs.
 - 6. Provide ERV switch in attic near ERV. Label switch.

ELECTRIC LEGEND	
Light Switch	\$
3-Way Switch	\$s
Dimmer Switch	\$DM
Motion Sensor Switch	\$MS
Duplex Receptacle	⌚
GFCI Duplex Receptacle	⌚GFCI
GFCI Waterproof Exterior Duplex Receptacle	⌚GFCI WP
220 Receptacle	⌚
Telephone Outlet	▽
Cable Outlet	TV
Dish Washer	DW
Garbage Disposal	GD
Doorbell Chime	⊕
Energy Recovery Ventilation	ERV
Smoke Detector	SD
CO2 Detector	CO2
Ceiling Light	⊙
Bathroom Light-Vent-Fan	⊙⌚
Recessed Insul Can Light	⊙R
Vanity Light Fixture	⊙
Wall Mounted Fixture	⊙
Dust to Dawn Motion Floodlight	⊙
4 Blade 48" Kit 5 Blade 52" Other Dia Ceiling Fan And Light Kit Selected By Owner, Install Extension Pole If 4' or Taller or Vaulted Ceiling	⊙
Chandelier Selected by Owner And To Be Suspended By Decorative Chain To 5' Above Floor. \$150 Fixture Allowance	⊙
Electrical Service Panel	⌚

HVAC NOTES:

HVAC system to be appropriately designed and sized to attain maxium efficiency.

Owner/Developer to Select Type of HVAC System Used.

Air Source Heat Pumps must be at least 16 SEER with Variable Speed Compressor and 10KW Backup Heat Strip.

HVAC Supply abd Return air ducts and equipment to be located in attic unless otherwise noted.

Duct Leakage to outside less than 4 CFM25 per SF of floor area served.

Infiltration must be less than 5 ACH50.

Ventilation must be designed to meet ASHRAE 62.2 levels. Design to include appropriately sized and located Energy Recovery Ventilation (ERV) device(s) by Panasonic, Mitsubishi, or approved equal.

NOTE: Construct house in accordance with all locally adopted codes and manufacturer specifications regardless if shown or not shown on plans.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELECTRICAL PLAN

PROJECT DESCRIPTION:
W 34TH STREET
SAVANNAH, GA. 31415

DRAWINGS PROVIDED BY:
JENISE IRIZARRY

DATE:

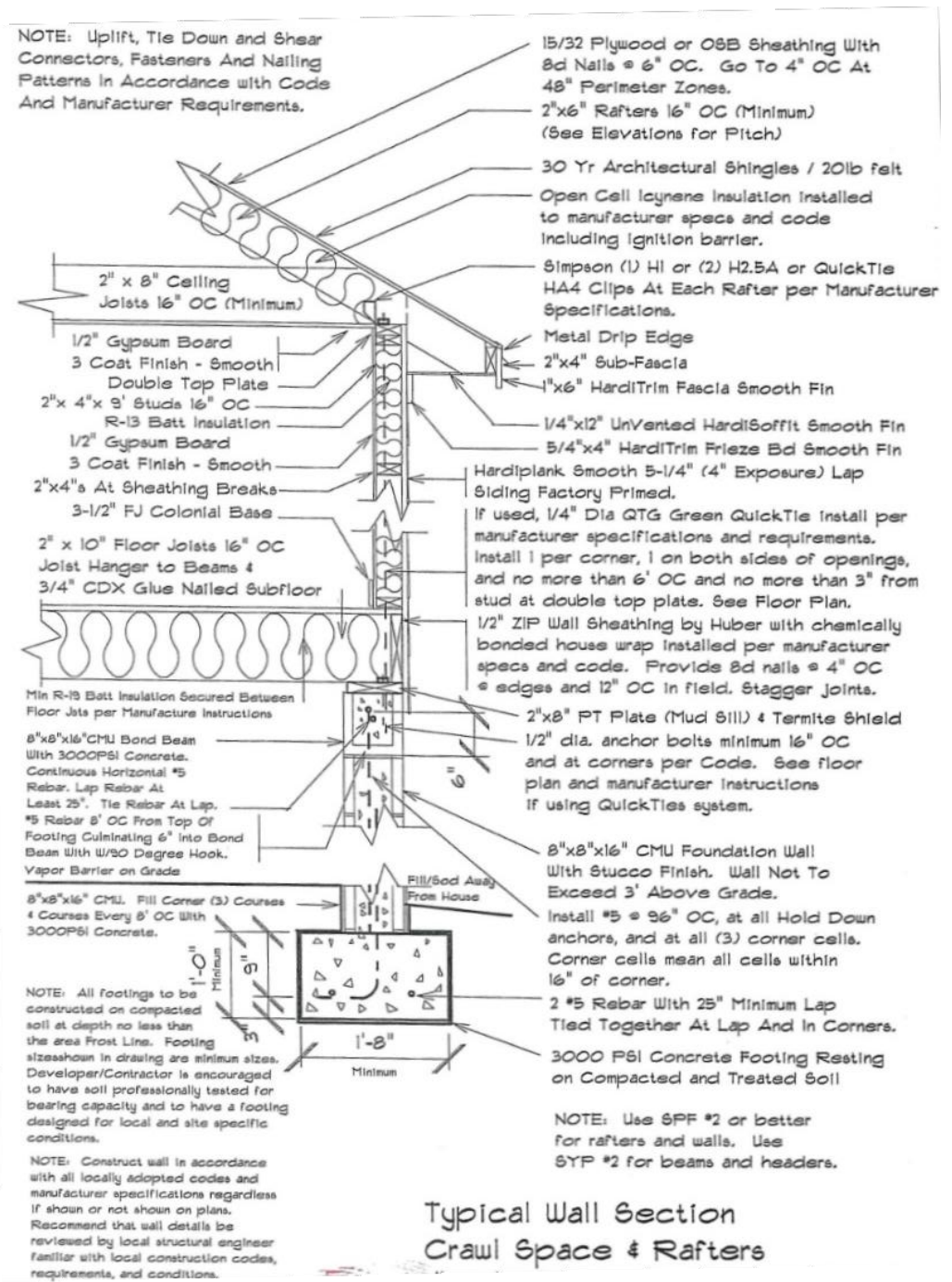
01/23/2026

SCALE:

1/4"=1'

SHEET:

17



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
WALL SECTION

PROJECT DESCRIPTION:
**W 34TH STREET
SAVANNAH, GA. 31415**

DRAWINGS PROVIDED BY:
JENISE IRIZARRY

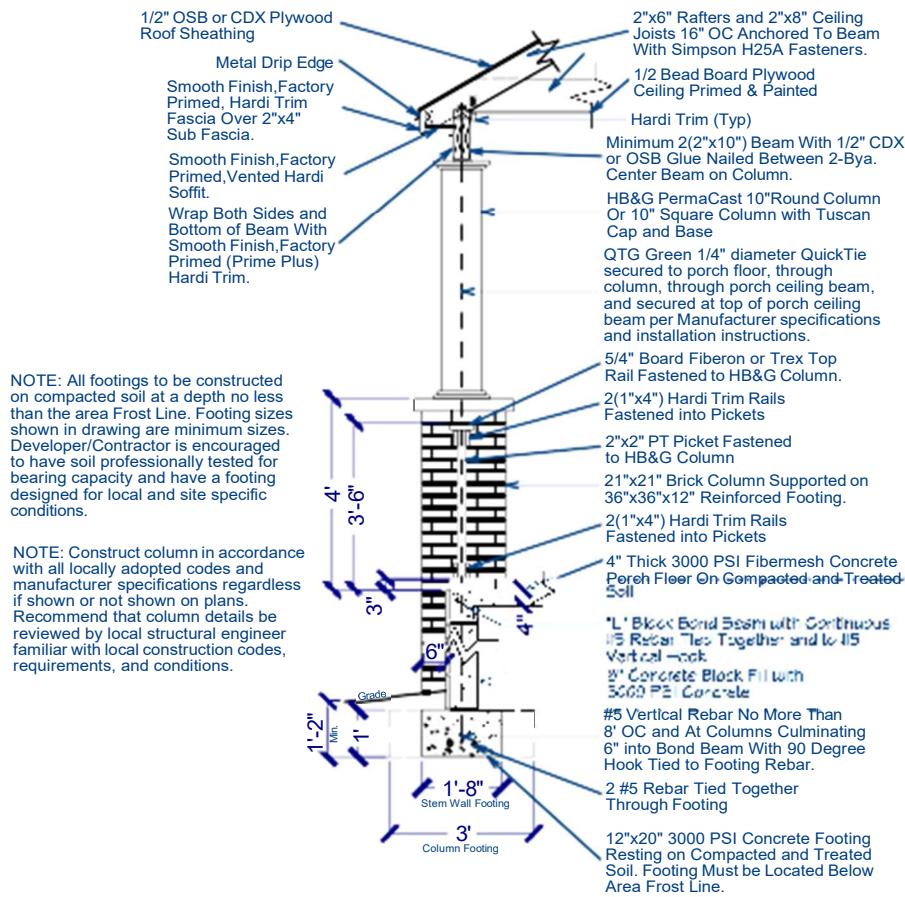
DATE:

07/5/2025

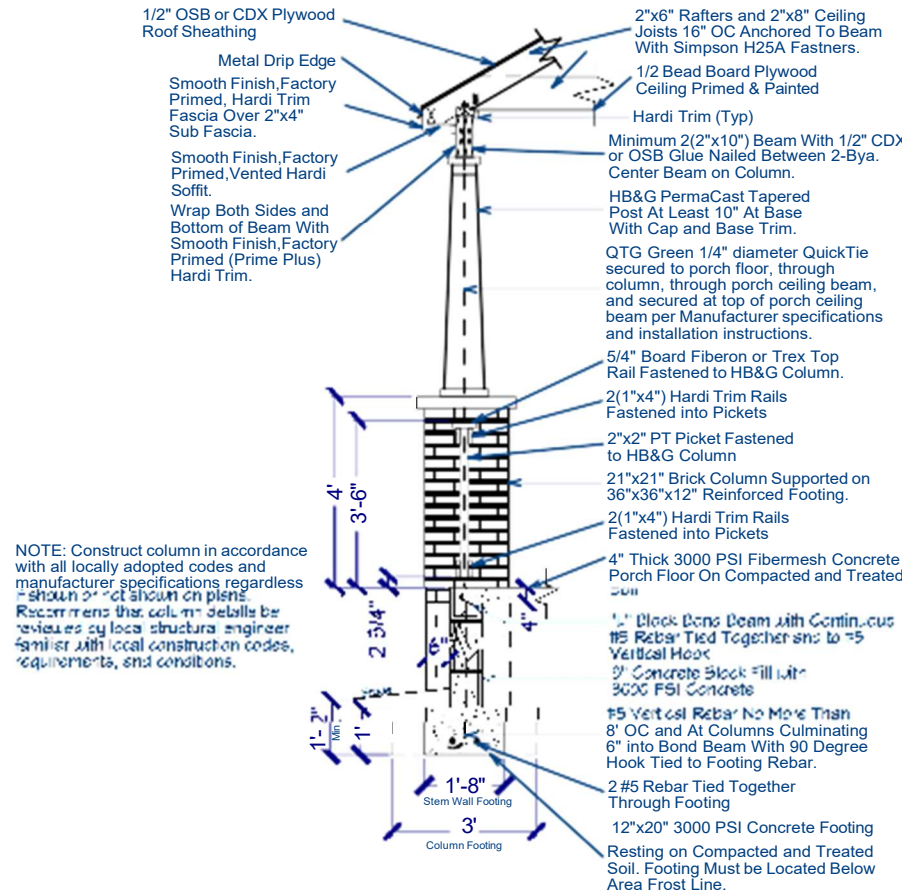
SCALE:

1/2"=1'

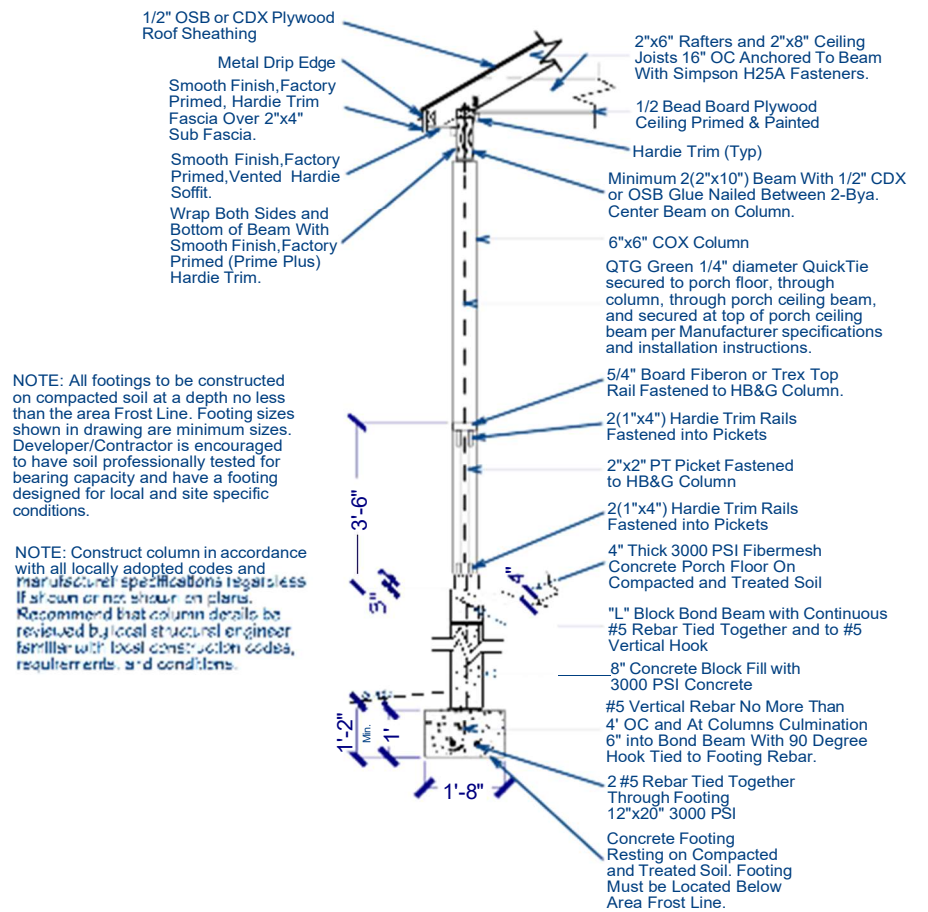
SHEET:



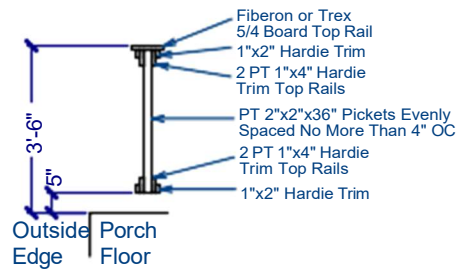
Porch Column D With Concrete Porch Floor & Stem Wall
Combination Brick & HB&G Square or Round Column



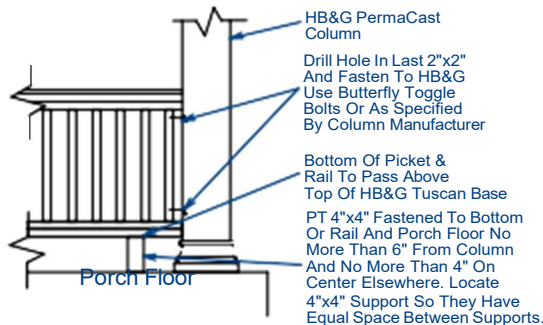
Porch Column D With Concrete Porch Floor & Stem Wall
Combination Brick & Tapered HB&G Column



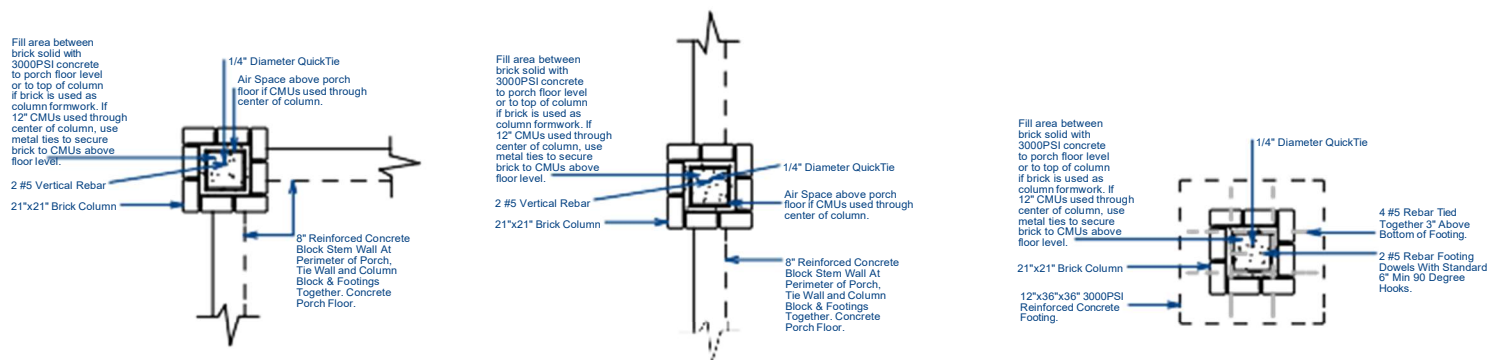
COX Column (Concrete Porch)



Picket Style Guardrail When Full HB&G Column Used



Picket Style Guardrail When Only Masonry Column Used



NOTE: All footings to be constructed on compacted soil at depth no less than the area Frost Line. Footing sizes shown in drawing are minimum sizes. Developer/Contractor is encouraged to have soil professionally tested for bearing capacity and to have a footing designed for local and site specific conditions.

NOTE: Construct column in accordance with all locally adopted codes and manufacturer specifications regardless if shown or not shown on plans. Recommend that column details be reviewed by local structural engineer familiar with local construction codes, requirements, and conditions.

NOTE: Construct house in accordance with all locally adopted codes and manufacturer specifications regardless if shown or not shown on plans.

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NO.	DESCRIPTION	BY	DATE
SHEET TITLE: PORCH COLUMN DETAILS			
PROJECT DESCRIPTION: 1630 OGEECHEDD ROAD SAVANNAH, GA. 31415			
DRAWINGS PROVIDED BY: JENISE IRIZARRY			
DATE: 8/24/2022			
SCALE: 1/4" = 1'			
SHEET: 19			



FRONT DOOR:
Jeld-Wen 6-Lite Craftsman
Wood Door with shelf.



REAR DOOR:
6-Panel Door (Replace If
Existing Door Is Damage)

DOOR NOTES:

- 1. All exterior doors to be pre-hung wood by Therma Tru Smooth Star, PDF or Traditions or equal with factory installed weatherstripping. Minimum DP30, Low-e glass, U .25 and SHGC .16. Glass doors, side lites and trensoms require code approved wood or approved equal storm panels or code approved impact resistant glass. Impact resistant glass must passed Large Missile 1996 and Small Missile 1886 tests with results provided to Building Official. Provide Kwikset or approved equal entry and deadbolt locksets keyed alike. Deadbolt locksets to be single cylinder unless in door with glass. Solid 6-Panel doors to have 200-Degree veiwer (peep hole) to match door hardware finish. All exterior and interior door locks and hardware to match.
- 2. All interior doors to be Masonite Smooth 6-Panel Hollow Core Primed Composite Prehung or approved equal. Hinged bedroom and bathroom doors to have privacy locksets. Hinged closet doors to have passage locksets. Locksets to be Kwikset or approved equal. All exterior and interior door locks and hardware to match.

WINDOW NOTES: (Applies only for new windows)

- 1. Windows frames to be white.
- 2. Windsor Legend, MN Jefferson 400 or approved equal composite double hung window with 4" integrated CPVC or Vinyl casing, jamb, and sill for historic neighborhoods.
- 3. 1-over-1 each required in historic neighborhoods.
- 4. Minimum DP50 rating required.
- 5. Minimum Low-e glass required.
- 6. Minimum U .30 and SHGC .25 required.
- 7. Verify with manufacturer and building official that windows are correctly sized to meet egress requirements where applicable.
- 8. Verify rough opening size prior to framing.
- 9. Operable windows to have white aluminum window screen frames and black fiberglass window screens.

PAINT	APPLICATION
Exterior Wood Surfaces, Railings, and Posts	Alkyd Exterior Wood Primer Plus 2 Coats 20 Year Exterior Satin Enamel Acrylic Latex Paint with Mildew Inhibitor
Interior Wall and Ceiling Surfaces in Non-Wet Rooms	Prime Plus 2 Coats 15 Year Interior Eggshell Acrylic Low VOC Latex Paint
Interior Wall and Ceiling Surfaces in Kitchen, Bath, Utility Rooms/Closets	Prime Plus 2 Coats 15 Year Interior Satin Acrylic Low VOC Latex Paint with Mildew Inhibitor
Interior Baseboards, Casing, Trim, Stair Components, Shelves	Prime Plus 2 Coats 15 Year Interior High Gloss Enamel Acrylic Low VOC Latex Paint with Mildew Inhibitor in Wet-Rooms

INTERIOR SURFACE FINISH	APPLICATION
Vinyl Plank	Pergo Presto, Armstrong Swift Lock (25 Year warranty), or SMARTCORE Pro (limited lifetime warranty) or approved equal vinyl plank flooring over underlayment pad recommended by manufacturer.
Walls & Ceilings	1/2" gypsum board per manufacturer specifications and recommendations with three coat smooth finish. 1/2" WR gypsum board behind kitchen sink, dishwasher, clothes washer, and in bathrooms. Use Levelline and Durabond 90 bed mud or approved equals, at all intersecting surfaces joints greater or less than 90 degrees.
Window Openings	Ogee finger jointed window sill, stool, apron, jamb, and casing on all windows. Prime and paint. Gypsum board may be used as casing and jamb material with vinyl windows.
Door Openings	Ogee finger jointed jamb and casing on all doors and attic stairs/ panels. Prime and paint.
Baseboards	3 12" Ogee finger joint baseboard. 1/2" finger jointed base shoe at all floor surfaces. Caulk, prime, and paint.

APPLICANCES	APPLICATION
Refrigerator	Minimum 21 cubic foot frostless top-freezer with factory icemaker.
Electric Range	Self cleaning.
Range Hood	Self circulating.
Dishwasher	Minimum .72 EF rating. Dry Boost.
Garbage Disposal	Continuous feed 1/2 HP.

APPLIANCE NOTES:

- 1. All appliances to be Energy Star rated.
- 2. All appliances to be by same manufacturer and line.
- 3. All appliances to be white, black, or stainless steel.

PLUMBING	APPLICATION
Sewer Lateral	Minimum 4" Diameter PVC
DWV	PVC Drain, Waste, and Vent System
Water Entrance	Minimum 3/4" Diameter PVC
Water Lines	Cooper, PEX, or code approved equal
Kitchen Sink	Stainless Steel 20 gauge 33"x22"x8" deep double bowl sink.
Kitchen Sink Faucet	Delta Classic, Moen Hadley, Kohler Forte with single handle and sprayer or equal. 1.2 GPM.
Bathroom Sink Bowl	19" round white China Eljer or 20"x17" oval white China Eljer or equal.
Bathroom Sink Faucet	Delta Classic, Moen Alder, American Standard with single handle or equal with EPA WaterSense designation, 1.2 GPM.
Tub/Shower	One piece white molded fiberglass tub/shower by Lasco model Aquatic 260330L-WH (Left Hand) or Aquatic 260330R-WH (Right Hand) or equal. Provide manufacturer recommended support under unit.
Bathtub/Shower Faucet	Delta Classic, Moen Alder, American Standard single handle or equal. Shower head 1.75 GPM WaterSense approved.
Toilet	EPA designated WaterSense white compact elongated two piece toilet with maximun 1.28 GPF by American Standard, Kohler, or approved equal. Wood elongated white toilet seat by Bemis or equal.
Water Heater	Electric or Gas 50 gallon water heater with minimum .95EF (energy factor) by Rheem or equal. Natural gas tankless water heaters may be installed as an acceptable alternative.
Washing Machine and Dryer Vent Boxes	To be recessed in wall-not surface mounted. To be vented to outside of house-not in attic or crawlspace. If not on outside wall, run approved rigid duct under slab and through foundation wall.

PLUMBING NOTES:

- 1. All products and installation to be in accordance with code and manufacturer requirements.
- 2. All products and fixtures to be Energy Star rated.

HVAC	APPLICATION
Heat Pump	Right-size Air Source Heat Pump using Manual J to meet Earthcraft Home requirements. 15 SEER, 8.8 HSPF. Include back-up heat strips at no less than 5KW/2 ton unit; 8KW/2.5 ton unit; or 10KW/3 ton unit. Use dual system for two story houses.
Duct Design	Manual D duct design truck & branch system wuth rigid or flexible duct with minimum R-8 insulation. Install per ACCA or DCA standards. Performance testing duct leakage required with minimum acceptable results <8% CFM25 per square foot of floor area.
Duct Zone	Two story (and 1.5 story) shall have 1 zone per floor.
Thermostat	Programmable thermostat.
ERV	Energy Recovery Thermostat.

HVAC NOTES:

- 1. All products and installation to be in accordance with code and manufacturer requirements.
- 2. Design system to have 76 or better HERS Index.
- 3. All products and fixtures to be Energy Star rated where available.



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

DETAILS SHEET 1

PROJECT DESCRIPTION:

W 34TH STREET
SAVANNAH, GA. 31415

DRAWINGS PROVIDED BY:

JENISE IRIZARRY

DATE:

11/24/2025

SCALE:

1/2" = 1'

SHEET:

20

ELECTRIC	APPLICATION
Wiring	Wire house to NEC requirements. All floor level receptacles to be 18" AFF. Dryer receptacle to be 36" AFF. Provide attic and crawlspace lights and switches. Secure all loose wiring to framing.
Service Entrance	Minimum 200 AMP service panel located inside house recessed in wall. Weatherhead, Mast, Meter, and Outside Disconnect located at sides or rear of house-not on front wall of house.
Receptacle and Cover Plates	Light switch, receptacle, phone, TV, smoke detector, doorbell, and chime receptacles and cover plates to be white. Caulk/Mud gap between boxes and drywall.
220 Receptacles	Range and dryer receptacles to be recessed in wall-not surface mounted. Dryer receptacle to be 36" AFF. Seal gap between floor and wallwith baseshoe or 1/4 round, caulk, and paint at Range receptacle.
Bathroom Vent/Light	Broan-NuTone or Equal Energy Star certified. 80 CFM Minimum with light vented to outside of house.
Ceiling Fans	52" Energy Star rated with PIN based or CFL light kit. Provide extension poles where necessary to ensure that bottom of light is no more than 7'6" AFF.
Dining Room Chandeliers	Provide decorative chain that enables light to be lowered to within 5' AFF. Dimmer switch required.
Vanity Bar Lights	4 bulb vanity light bar to include globe shaped CFL or LED light bulbs.
Motion Sensor	Leviton 180 degree motion activated light control with manual oerride at interior locations shown on plans.
Switches Exterior Lights	Porch and flood lights to be switch operated with motion and light sensors.

ELECTRICAL NOTES:

1. All products and installation to be in accordance with code and manufacturer requirements.
2. All products and fixtures to be Energy Star rated with available.
3. See Electric Plan for location of fixtures.

BUILDING ENVELOPE	APPLICATION
Blower Door Test	Results 5 ACH50
Duct Blaster Test	Results <8% CFM25 per square foot of floor area overall and <4% SFM25 per square foot of floor area for duct leakage outside.
Windows	Minimum U.30 and SHGC .25
Exterior Door Glazing	Minimum U.26 and SHGC .16
Crawlspace Floors	Minimum R-30 batts RESNET Grade II min
Exterior Walls	Min. R-13 faced batts RESNET Grade II, insulate w/ air barrier behind tub/shower. Use ladder-T framing at wall intersections.
Ceiling/Attics/Wall Cavities	Encapsulated attic with using Medium Density (R-4/in) Icyrene with ignition inhibitor underside of roof deck R-19nor better. Knee walls R-18 per code. Spray foam in cantilevered framing cavities, wall cavities containing hold downs or water lines.
Foam Insulation	Install in cracks around windows and doors.
Water Line Insulation	Install foam tube insulation around all water lines in unconditioned spaces and around condensate discharge piping.
Water Heater Insulation	R-7 blanket if WH in unconditioned space.
Ducts	Install to ACCA or DCA standards. Apply duct mastic to all seams, joints, and between flex duct and metal collars. Pull flex duct tight, minimize bends and constrictions.
Ground Vapor Barrier	10 mil poly with joints lapped and taped.
House Wrap	Install to keep drainage plane at openings.
Window & Exterior Door Wrap	Use PEEL & SEEL sill sealer at all window and exterior doors openings.
Wall Bottom Plates	Anti wicking vapor barrier on bottoms of plates at concrete slab floors. Caulk interior edge of bottom plates.
Air Sealing	Spray foam and otherwise seal all penetrations in envelope.

SPECIALTIES	APPLICATION
Bathrooms	One 24" towel bar Futura D2424PC or equal. One 18" towel bar Futura D2418PC or equal. One TP dispenser Futura D2408PC or equal. One shower curtain rod screwed into wall. One Zenith MP109 16"-W 20"-H frameless beveled mirror cabinet or equal recessed medicine chest (surface mount if on exterior wall). Plate mirror mounted on wall in front of vanity unless otherwise noted on plans.
Half Bathrooms	One 18" towel bar Futura D2418PC or equal. One TP dispenser Futura D2408PC or equal. One Zenith MP109 16"-W x 20"-H frameless beveled mirror cabinet or equal recessed medicine chest (surface mount if on exterior wall). One 30"x36"Plate mirror mounted on wall in front of vanity unless otherwise noted on plans.
Closets	3/4" Melamine EBIS white factory finished shelves or white PVC coated wire shelves. Clothes closet to have shelf and rod at 84" AFF and at 42" AFF unless otherwise noted on plans.
Cabinets	Raised panel solid wood custom cabinets or composite cabinets by Kemper, American Woodmark or equal. Custom cabinets to be made from Birch appearance grade plywood. Maple or white finish with knobs and handles. Kitchen cabinet countertops to be post formed rolled edge with integral backsplash with matching sidesplash and end caps.
Window Blinds	2" Faux wood blinds in white.
Mailboxes	Architectural Mailboxes: MB1 Black, Medium, Steel, post mount mailbox with 2" in-ground post kit or Woodlands black, medium, steel, wall mount mailbox.

SPECIALTIES NOTES:

1. Bathroom size determine the amount and size of towel bar used.
2. See Site Plan for mailbox location.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

DETAILS SHEET 2

PROJECT DESCRIPTION:

W 34TH STREET
SAVNAH, GA. 31415

DRAWINGS PROVIDED BY:

JENISE IRIZARRY

DATE:

10/7/2025

SCALE:

1/2" = 1'

SHEET:

21



SHINGLES
Architectural Shingles in Light Gray with Metal Flashing and Aluminum Drip Edge.



LIGHT FIXTURE
Maxim Lighting Builders cast 1-Light 12\"/>



GABLE VENT
Wood Built-in Screen Gable Louver Vent With Brickmould Trim.



HARDIE SIDING
Primed Cedarmill Fiber Cement Lap Siding



PORCH UNDERPINNING
PT 5/4 Wood Board Underpinning 2\"/>



PORCH FLOORING
Trex 5/4 Decking Board Stair Treads With Hardie Risers & Stringer Casing at Porches.



RAILING POST
4\"/>



COLUMNS: FRONT PORCH
4\"/>



COLUMNS: REAR PORCH
4\"/>



WOOD SIDING
Wood Lap Siding To Match Existing



WOOD TRIM
Wood Trim Including Band Boards, Beam Wrap, Corner, Frieze, Fascia, Rake Boards, & Soffit To Match Existing Pieces.

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
DETAILS SHEET 3

PROJECT DESCRIPTION:
W 34TH STREET SAVNAH, GA. 31415

DRAWINGS PROVIDED BY:
JENISE IRIZARRY

DATE:

01/23/2026

SCALE:

1/2" = 1'

SHEET:

22
