



CITY OF SAVANNAH

HISTORIC PRESERVATION COMMISSION

REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Petitioner: Eric Scott, Jr.
MPC File No.: 26-004386-COA
Address: 1818 Jefferson Street
PIN: 20066 35010
Zoning: TN-2
Staff Reviewer: Alexander Merced
Date: September 23, 2026

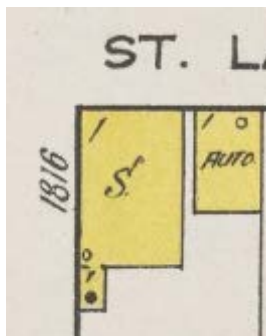
NATURE OF REQUEST:

The applicant would like to demolish the non-contributing building at 1818 Jefferson Street.

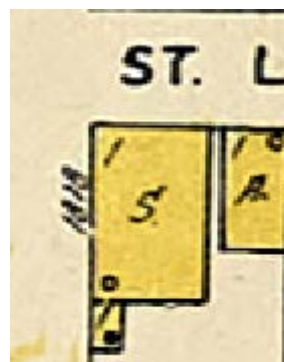
CONTEXT/SURROUNDING AREA:

The building was constructed at some point between 1898 and 1916 and is a non-contributing resource within the Thomas Square-Streetcar National Register Historic District and the local Streetcar Historic District. It sits on the east side of Jefferson Street between 34th and 35th Street on the south side of the lane and is surrounded mostly by contributing buildings.

The 1916 Sanborn Map indicates that the current building was originally two separate structures, with the one fronting Jefferson Street being used as a store and the smaller adjacent structure being used as a garage. The 1955 Sanborn Map shows the same configuration, so it is safe to assume that the two were joined together at a later date. The building has been empty since at least 2003, when the Georgia Historical Resources survey noted it as being vacant and in bad condition.



1916 Sanborn Map



1955 Sanborn Map

FINDINGS:

The following standards from the Sec 3.18.8 - HPC Criteria for Relocation or Demolition apply:

Criteria for Relocation or Demolition.

Evaluation Required. Any non-contributing resource must first be evaluated and considered for contributing status prior to issuance of a Certificate of Appropriateness for relocation or demolition (See Sec. 3.16.4.b.).

Sec. 3.16.4.b. Classification of Resources and Criteria for Resource Designation. All resources within the District shall be classified and designated on the District's "Historic District Contributing Resources Map." All resources shall be identified as contributing or non-contributing as follows:

Non-Contributing. New construction and all resources identified as non-contributing on the "Historic District Contributing Resources Map" are classified as non-historic for zoning purposed hereunder.

Period of Significance. Contributing buildings include those within the current Period of Significance, possess integrity of location, design, setting, materials, workmanship, feeling, and association, and meet one of more of the following criteria:

Are associated with events that have made a significant contribution to the broad patterns of our history; or

Are associated with the lives of significant persons in our past; or

Embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or

Have yielded, or may be likely to yield, information important in historic or prehistory.

Exceptional Importance. Contributing buildings include a select group of exceptional resources constructed outside the district's Period of Significance. These resources possess integrity of location, design, setting, materials, workmanship, feeling, and association, and meet one of more of the above criteria.

Should the resource meet the criteria for contributing status, the criteria for relocating or demolishing a contributing resource shall apply.

Although the building was built within the period of significance, due to heavy alterations and degradation over the years, the historic character has been lost. Staff research has found no evidence of exceptional historic importance through association with events, people, or development patterns, and no significant evidence is expected to arise. Therefore, the resource does not meet the criteria for contributing status.

Conditions. *In granting a Certificate of Appropriateness for relocation or demolition, the Historic Preservation Commission may impose, in addition to those listed below, reasonable conditions as will mitigate the negative effects of the relocation or demolition.*

Staff recommends the following conditions:

1. Determine whether the building can be deconstructed rather than traditional demolition, and the materials salvaged for reuse where possible.
2. Document the building as per the City of Savannah's Policy for Documenting Buildings Prior to Demolition.

Application Requirements. *Except where a resource or portion of a resource poses an immediate threat to public safety, all applications for relocation or demolition of a contributing or non-contributing resource shall include the following information:*

Non-Contributing Resource.

Information documenting the construction date, history and development of the property.

The applicant has provided as much information as possible. The standard is met.

STAFF RECOMMENDATION:

Approve the demolition of the non-contributing building at 1818 Jefferson Street with the following conditions because it otherwise meets the criteria for non-contributing demolition and was not found to have exceptional importance:

- 1. Determine whether the building can be deconstructed rather than traditional demolition, and the materials salvaged for reuse where possible.**
- 2. Document the building as per the City of Savannah's Policy for Documenting Buildings Prior to Demolition.**

MW: CC: APM

Note: This recommendation could change subject to new information provided at the Historic Preservation Commission meetings. Final decisions will be made by the Historic Preservation Commission at the public hearing based on information provided at the meeting, as well as information submitted for the staff recommendation.