



8.25.2026

MPC staff.

Re: 15 West 39th Street variance recommendation request

This request is for relief from the street frontage requirement of 70% shown on Table 5.12.5 for TN-2 zoning. To meet the parking requirements of one space per residential unit and zero for ADUs set forth in section 9.3 and table 9.3-1 we are proposing a home that meets 61.52% frontage which is typical for historic structures with driveways in this area such as 21 East 39th Street, 22, East 39th Street and 2020 Whitaker street. We believe our request meets the review criteria and allows us to provide parking which is required in section 9.3 in an area that is already stressed for parking. We have maintained the maximum amount of frontage possible while still meeting setback requirements and driveway/parking requirements.

Table 9.3-1 Minimum Space Requirements			
	Vehicle	Bicycle	
RESIDENTIAL USES			
All residential uses except as listed below:	1 per unit	n/a	
Accessory Dwellings	0 per unit	n/a	

5.12.5 Development Standards for Permitted Uses			
Standards	TN-1	TN-2	TN-3
Single-family Attached			
Lot area per unit (sq ft)	1,375	1,750	--
Lot width per unit (ft)	25	20	--
Two-family (side-by-side)			
Lot area per unit (sq ft)	1,375	1,750	--
Lot width per unit (ft)	25	20	--
Two-family (over-under)			
Lot area per unit (sq ft)	1,050	1,750	--
Lot width (ft)	30	30	--
Three-Four Family and Apartments			
Lot area per unit (sq ft)	1,050	1,750	--
Lot width (ft)	30	30	--
Townhomes			
Lot area per unit (sq ft)	1,050	1,750	--
Lot width per unit (ft)	18	18	--
Upper Story Residential			
Lot area per unit (sq ft)	No min.	No min.	No min.
Lot width per unit (ft)	No min.	No min.	No min.
Nonresidential			
Lot area (sq ft)	--	--	--
Lot width (ft)	20	20	20
Building			
Building Coverage (max)	60%	60%	60%
Building Frontage (min)	70%	70%	70%
Nonresidential building footprint (max sq ft)	2,500	2,500 [1]	2,500

Review Criteria:

Unusual Circumstances: The zoning code requires one parking space, but when parking is provided on this lot, the frontage drops below the 70% requirement, we have provided XX% frontage which is the maximum from 39th Street.

Harmony with Design Standards:

The design is in harmony with the design standards by using historical strip parking and by jogging the building like other historic structures with driveways.

General consistency:

The variance is consistent with the comprehensive plan and the ordinance by providing parking that mimics other historic instances and is in keeping with the historic fabric of the neighborhood.

Special Conditions:

In this particular part of the Streetcar district many homes do not have a lane or access from a lane, this forces the parking to be pushed to the street, this condition is met by providing strip parking which mimics other historical precedent in the neighborhood. The special conditions already exist and are not a result of the actions of the applicant. The special conditions are not purely financial the relief is being requested to meet parking requirements of the ordinance in an area with existing parking issues, the variance is a much better solution than a parking variance request and is inspired by historical precedent.

Literal Interpretation:

Literal interpretations of the code would not allow the project to be built without other more impactful variance requests.

Minimum Variance:

The variance request has been weighed against other possible variances and is the least impactful and most harmonious with historic structures and historic fabric of the neighborhood.

Special Privilege:

The variance would not confer on the applicant and special privilege, but it will allow the applicant to meet other more important ordinance sections.

With Regards,

Signed,

A handwritten signature in black ink, appearing to read 'K R', followed by a horizontal line.

Kevin Rose

President

Rose Architects PC



15 WEST 39TH STREET RESIDENCE

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF A NEW SINGLE FAMILY DWELLING AT 15 WEST 39TH STREET, BETWEEN DESOTO AVENUE AND WHITAKER STREET. THE FRONT CONTAINS A 3 BEDROOM HOME WITH A SECOND MULTI LEVEL ATTACHED ADU AT THE REAR.

DRAWING INDEX

SHEET#	SHEET NAME	HPC 8/26/26			
CVR	COVER SHEET	o			
A0.0	SITE PLAN	o			
A0.1	CONTEXT ELEVATION	o			
A0.2	CONTEXT PHOTOS	o			
A1.0	1ST & 2ND PLANS	o			
A1.1	ROOF PLAN	o			
A2.0	ELEVATIONS	o			
A3.1	BUILDING SECTIONS	o			
A3.2	BUILDING SECTIONS	o			
A3.3	WALL SECTIONS	o			
A3.4	WALL SECTIONS	o			
A3.5	WALL SECTIONS	o			
A4.1	DETAILS	o			

PROJECT TEAM

ARCHITECT

ROSE ARCHITECTS
311 MAUPAS AVE
SAVANNAH, GA 31401
KEVIN ROSE
PHONE: 912-484-5967
EMAIL: KEVIN@ROSEARCH.CO

GENERAL CONTRACTOR

MBS CONSTRUCTION SERVICES, LLC
2109 COLORADO AVE
SAVANNAH, GA 31404
MIKE SMITH
PHONE: 912-306-9780
EMAIL: M.SMITH99@ICLOUD.COM

SYMBOLS

Area Tag	Room name 150 SF
Callout Head	1 A101 SIM
Centerline	CL
Door Tag	101
Grid Head	0
Keynote Tag	?
Level Head	Name Elevation
North Arrow	
Revision Tag	1
Room Tag	Room name 101
Room Tag w/ Area	Room name 101 150 SF
Spot Elevation	
Structural Beam System Tag	Beam Type @ Spacing
View Reference	1 / A101
Window Tag	1t
Wall Tag	1t
Section Head	Indicates direction of drawing Indicates drawing number on sheet Indicates sheet number where drawn
Interior Elevation Marker 1 Ref	Indicates direction of drawing Indicates drawing number on sheet
Exterior Elevation Marker	Indicates sheet number where drawn



15 WEST 39TH STREET

15 WEST 39TH STREET
Savannah, GA 31401

COVER SHEET

KR
3/26/25

CVR

15 WEST 39TH STREET
15 WEST 39TH STREET
Savannah, GA 31401



1 STREET ELEVATION - NORTH
A0.1 1/8" = 1'-0"

TRANSPARENCY KEY

- NOT IN CALCULATION
- GLAZING/ OPENING WITH TRANSPARENT SURFACE
- OPAQUE SURFACE

FRONTAGE /
TRANSPARENCY
CALCULATIONS

FRONTAGE

LOT WIDTH - 34'-0" * 12" = 408"
20'-11" * 12" + 11 = 251"

251"/408" = .6151 * 100 = **61.51%**

TRANSPARENCY -

GROUND FLOOR TOTAL - 230.61 SF
TRANSPARENT ELEMENTS - 80.88 SF

88.88/230.61 = .3507 *100 = **35.07 %**



SITE FRONT



SITE BACK



SITE - LOT BEHIND FROM DESOTO



**ADJACENT PROPERTY-
FACING SOUTHWEST**



**ADJACENT PROPERTY-
FACING SOUTHEAST**



**WHITAKER STREET-
FACING NORTHEAST**



**WHITAKER STREET-
FACING NORTHEAST**



**WHITAKER STREET-
FACING NORTHWEST**



**WHITAKER STREET-
FACING SOUTHWEST**



**WHITAKER STREET-
FACING SOUTHWEST**



**BULL STREET & 39TH-
FACING SOUTHWEST**



**DESOTO AVE-
FACING SOUTHEAST**



**DESOTO AVE-
FACING NORTHWEST**

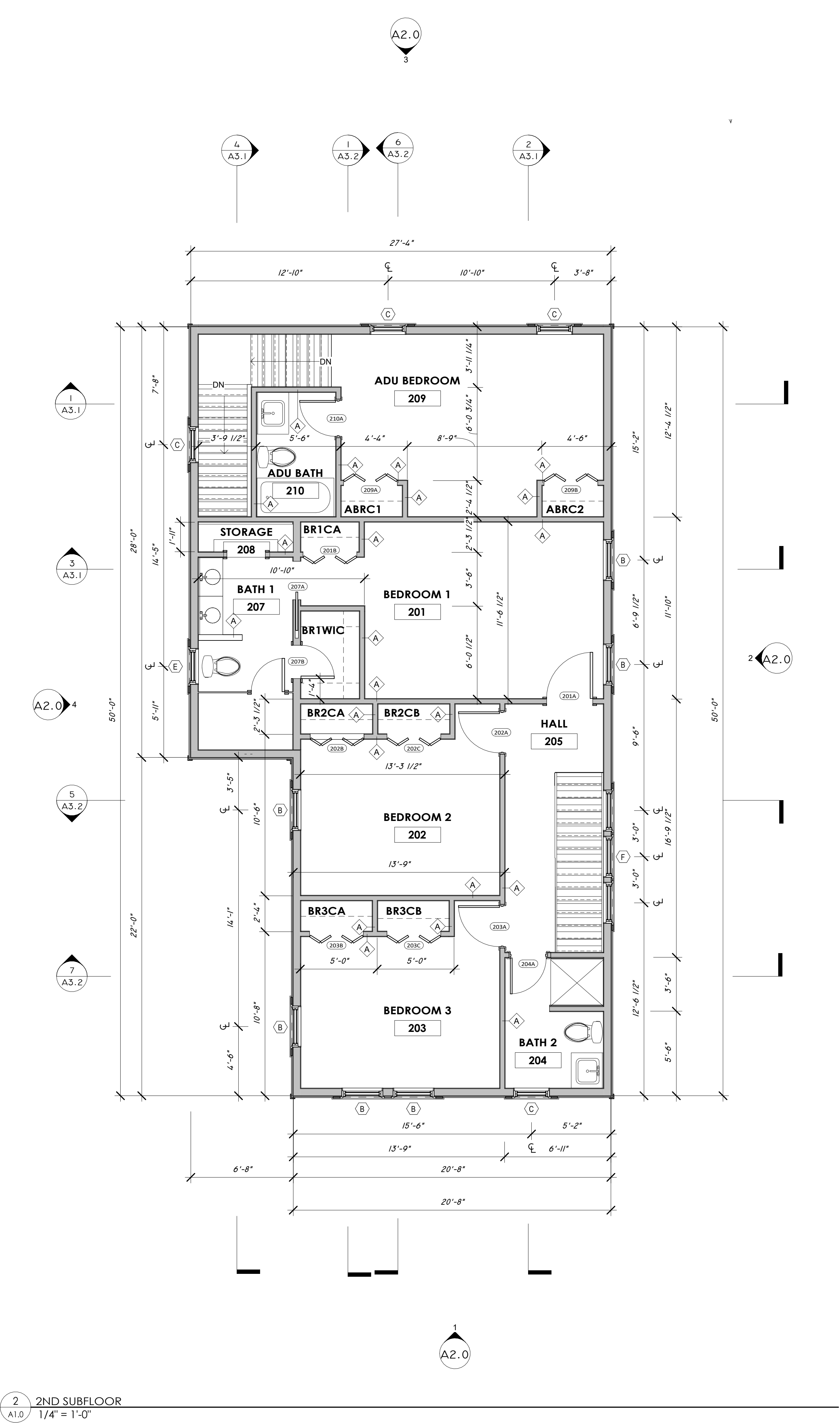
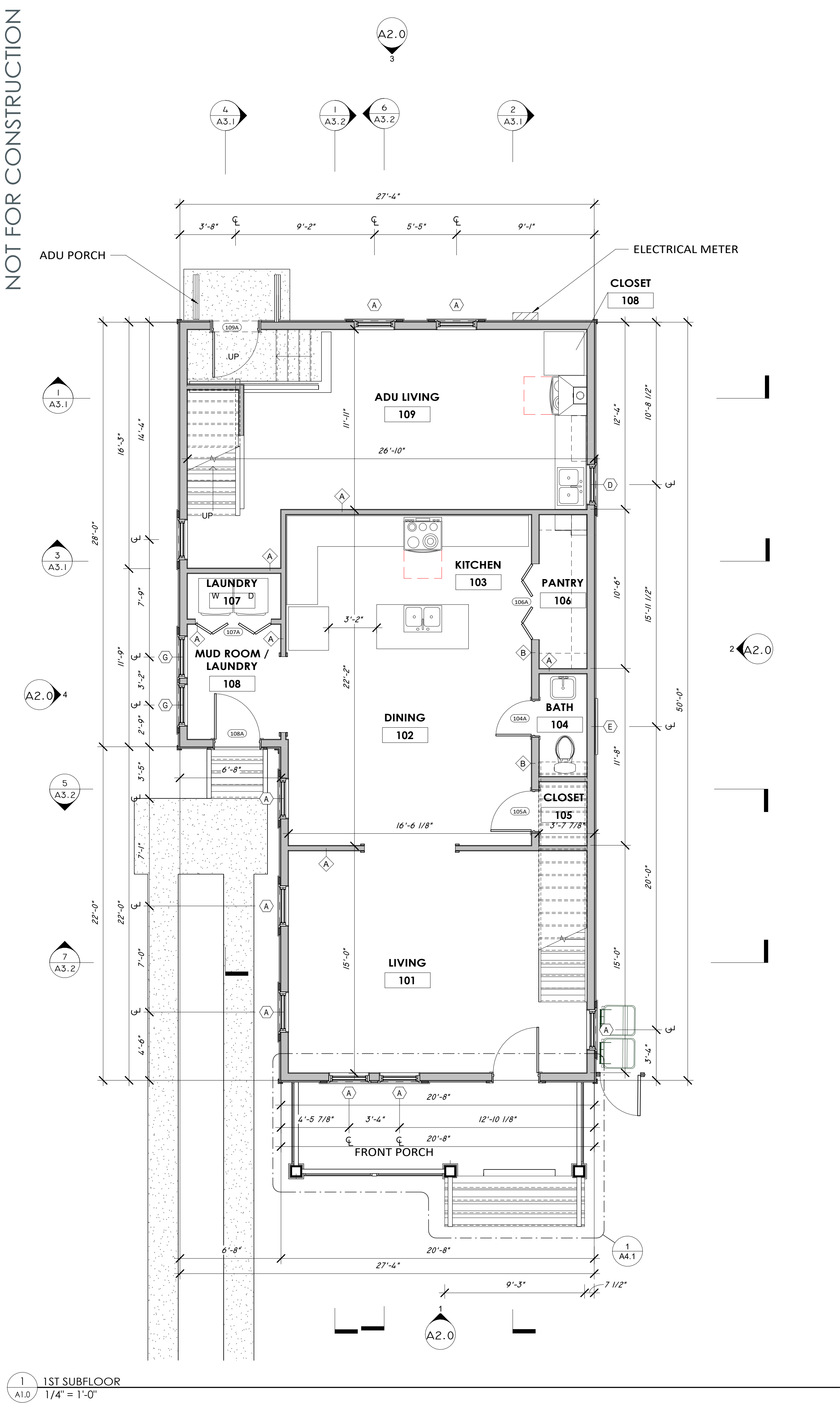


**DESOTO AVE-
FACING NORTHWEST**



**DESOTO AVE-
FACING NORTHEAST**

NOT FOR CONSTRUCTION



WALL TYPES

3.5" WOOD STUD WALL
1/2" GYPSUM WALLBOARD 2 SIDES

5.5" WOOD STUD WALL
5/8" GYPSUM WALLBOARD 2 SIDES

3.5" WOOD FRAMING
1/2" GYPSUM WALLBOARD
1/2" GYPSUM WALLBOARD

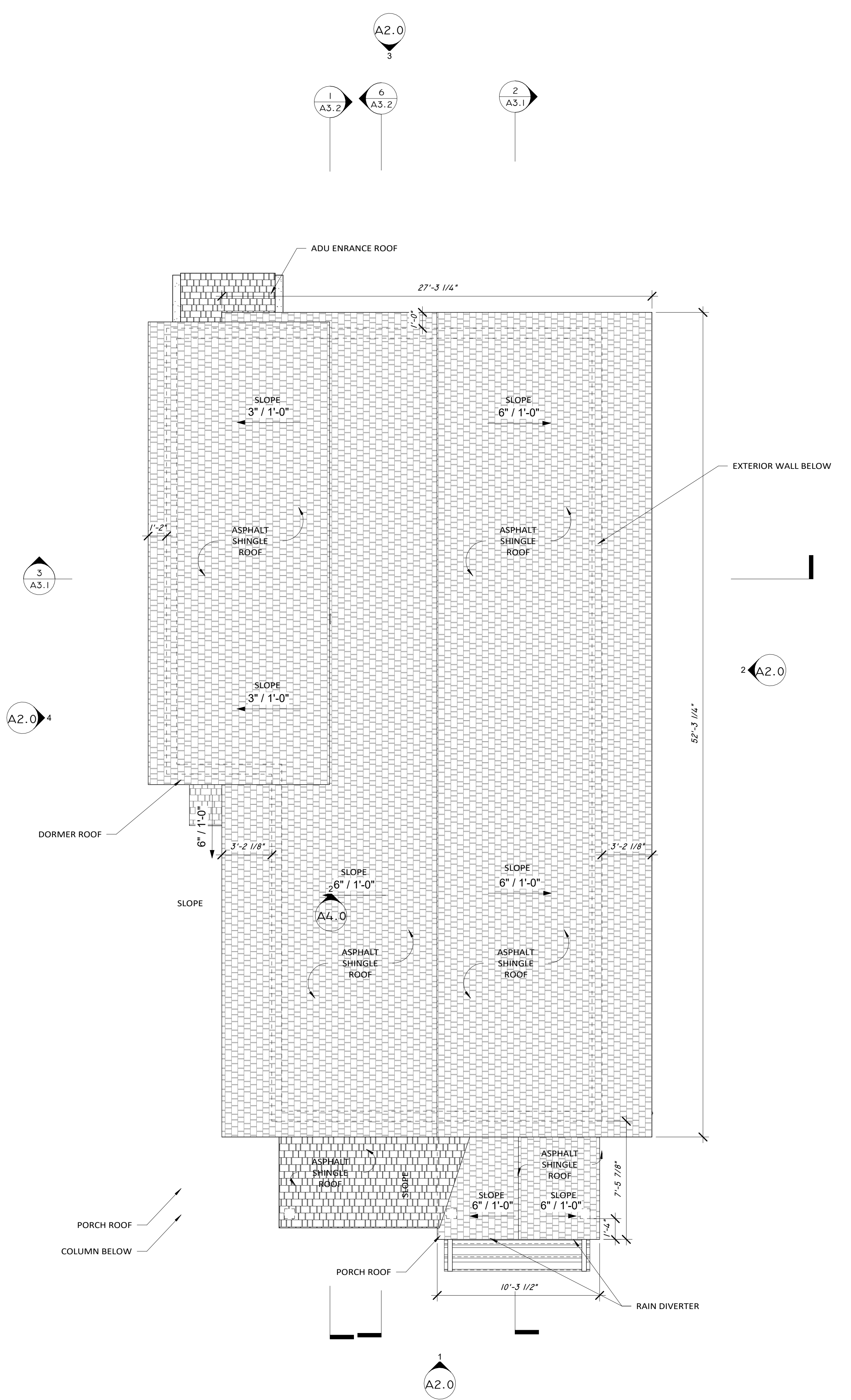
5.5" WOOD FRAMING
1/2" GYPSUM WALLBOARD
1/2" GYPSUM WALLBOARD

STATE OF GEORGIA
KEVIN F. ROSE
REGISTERED ARCHITECT

15 WEST 39TH STREET
15 WEST 39TH STREET
Savannah, GA 31401

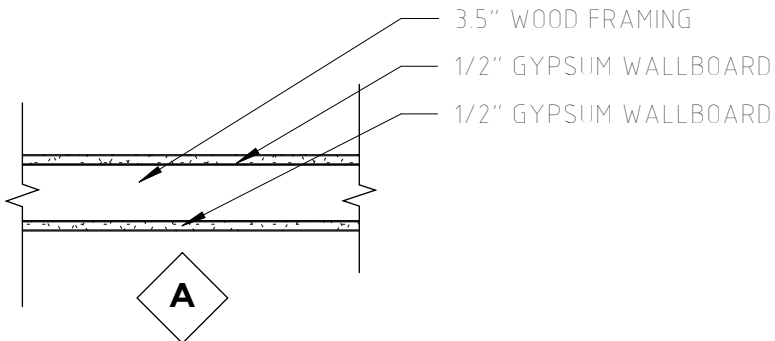
1ST & 2ND PLANS
KR
3/26/25

A1.0

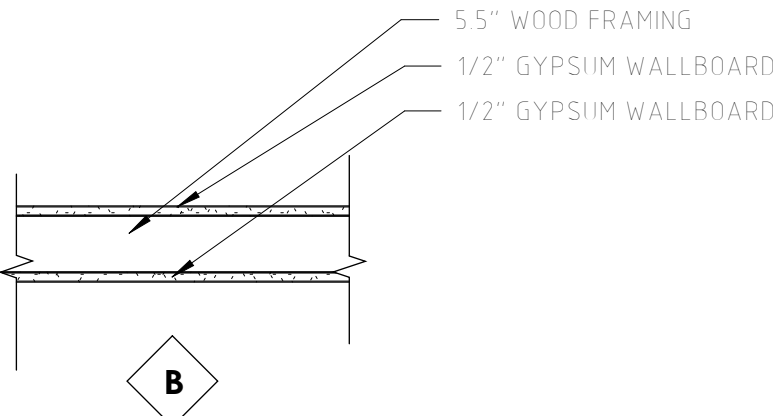


1 ROOF
A1.1 1/4" = 1'-0"

WALL TYPES



3 5" WOOD STUD WALL
1/2" GYPSUM WALLBOARD 2 SIDES



5 5" WOOD STUD WALL
5/8" GYPSUM WALLBOARD 2 SIDES

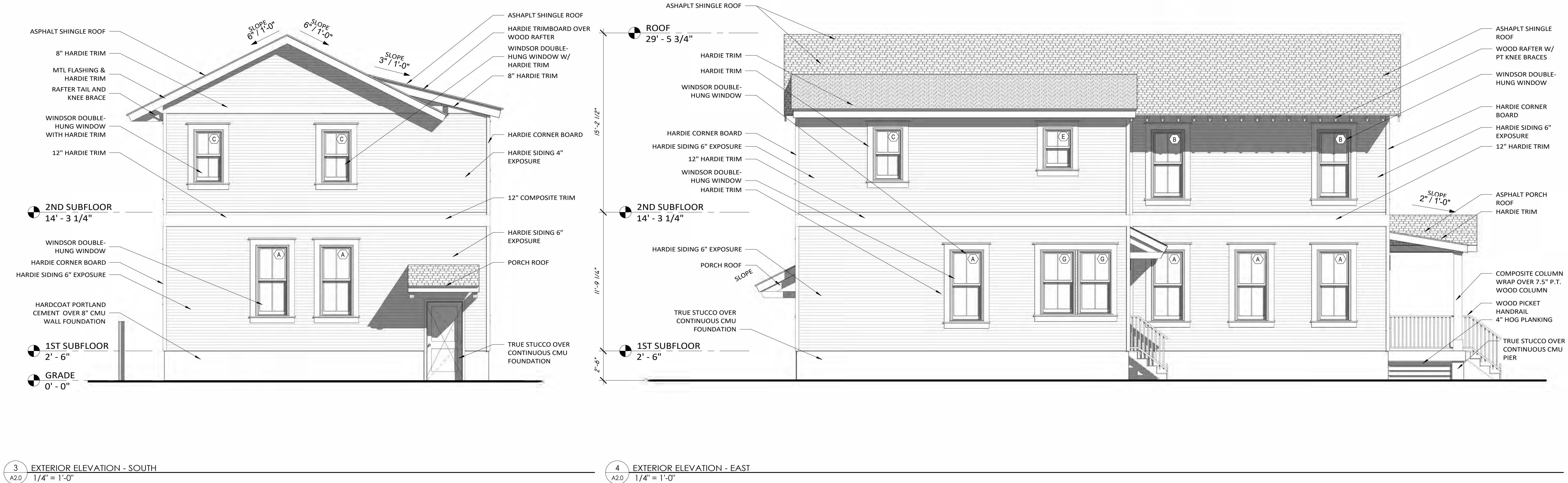
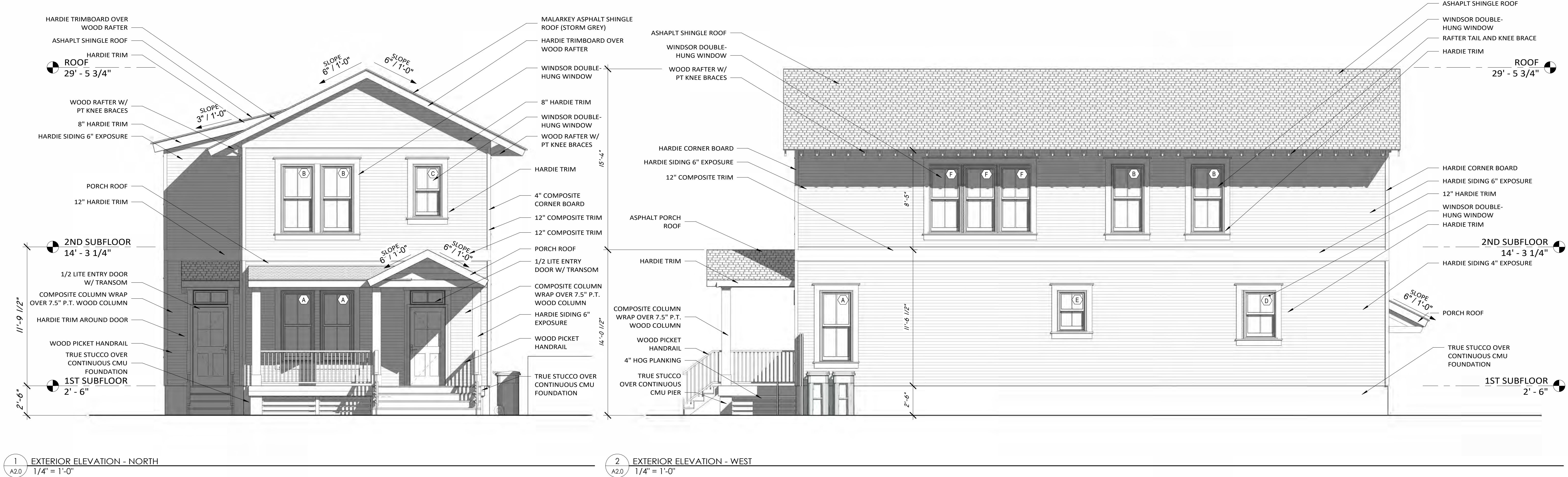


15 WEST 39TH STREET
15 WEST 39TH STREET
Savannah, GA 31401

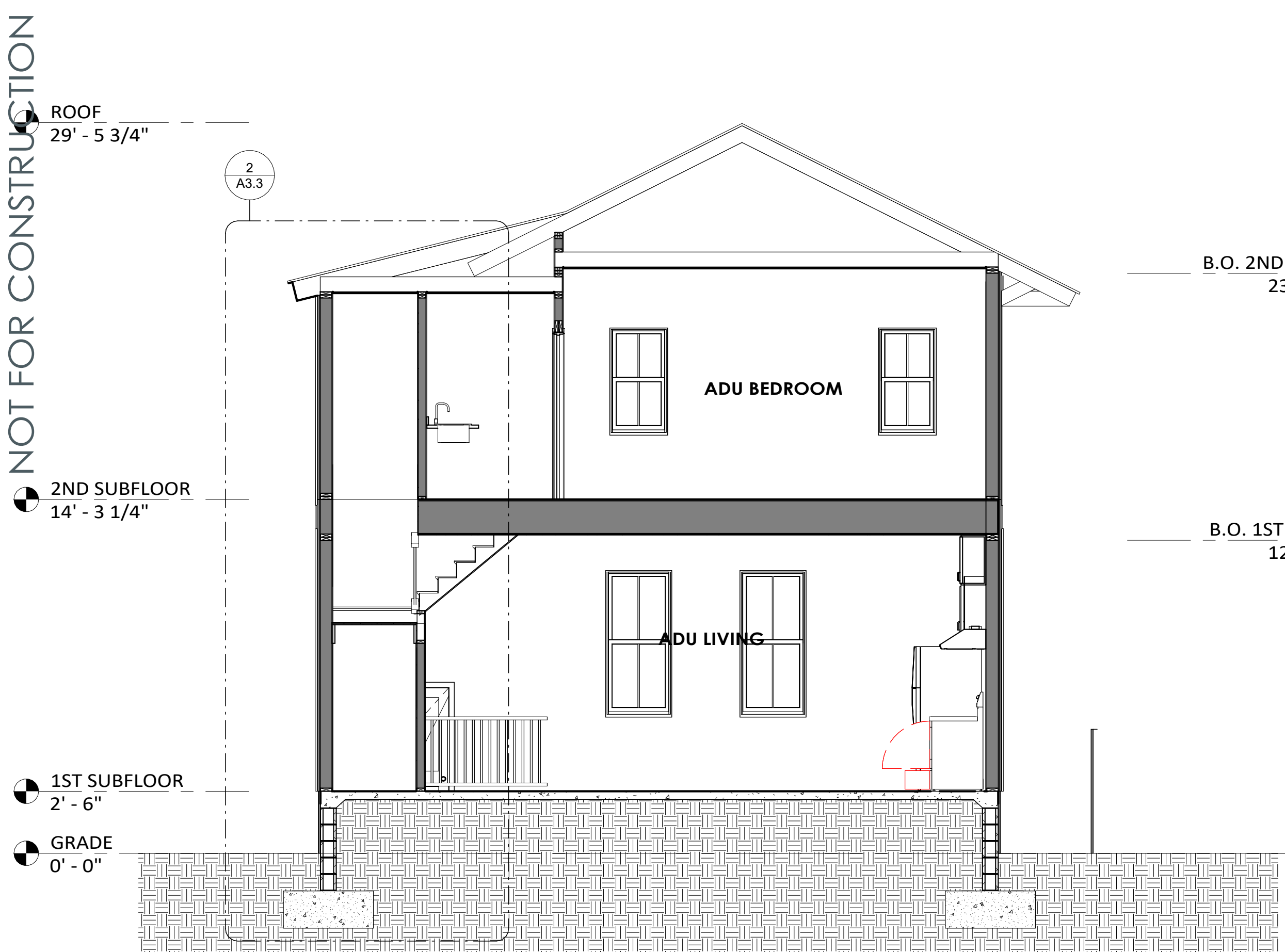
ROOF PLAN

KR
3/26/25

A1.1



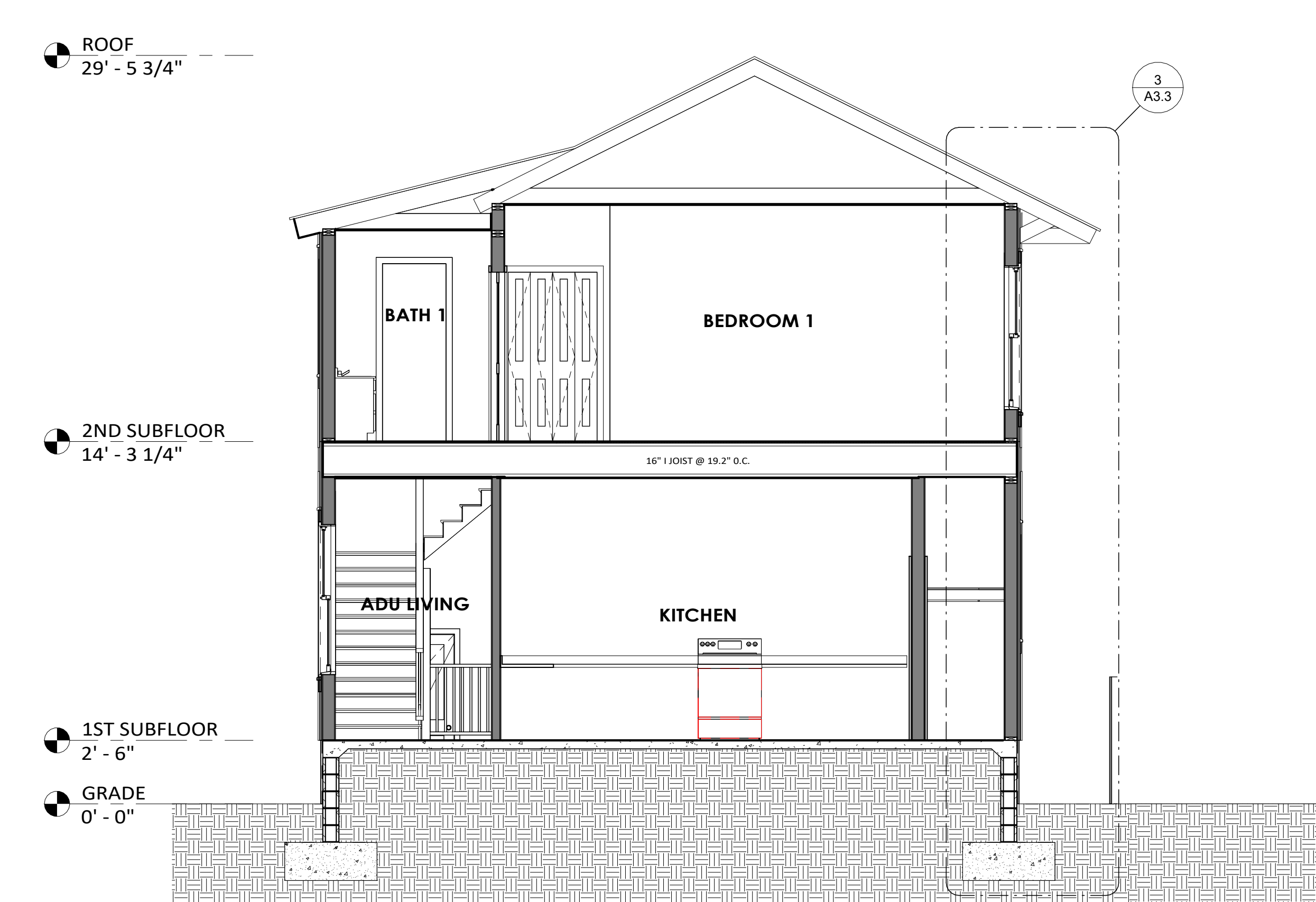
NOT FOR CONSTRUCTION



1 BUILDING SECTION 1
1/4" = 1'-0"



2 BUILDING SECTION 2
1/4" = 1'-0"



3 BUILDING SECTION 3
1/4" = 1'-0"



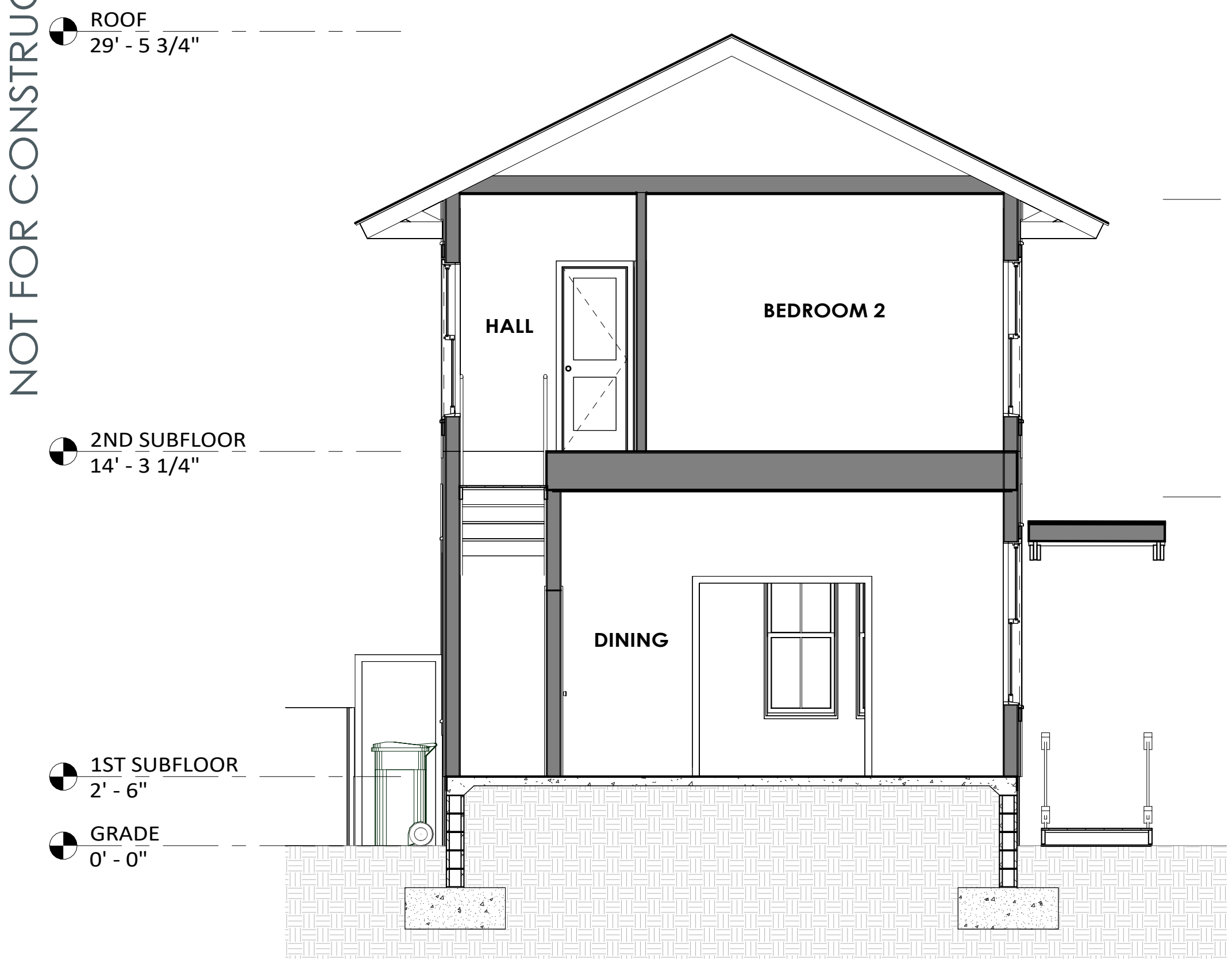
4 BUILDING SECTION 4
1/4" = 1'-0"

15 WEST 39TH STREET
15 WEST 39TH STREET
Savannah, GA 31401

BUILDING SECTIONS
Author
3/26/25

A3.1

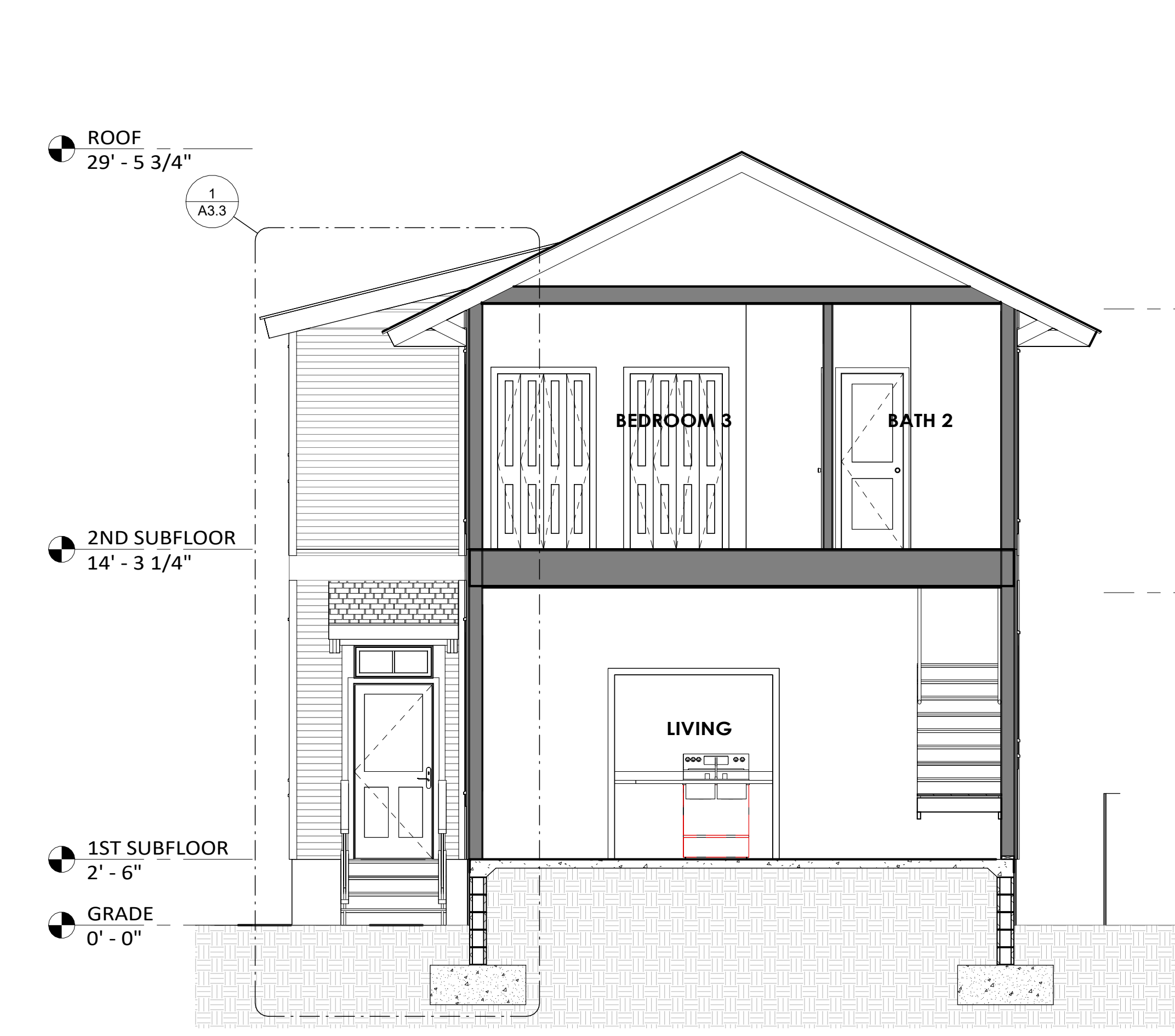
NOT FOR CONSTRUCTION



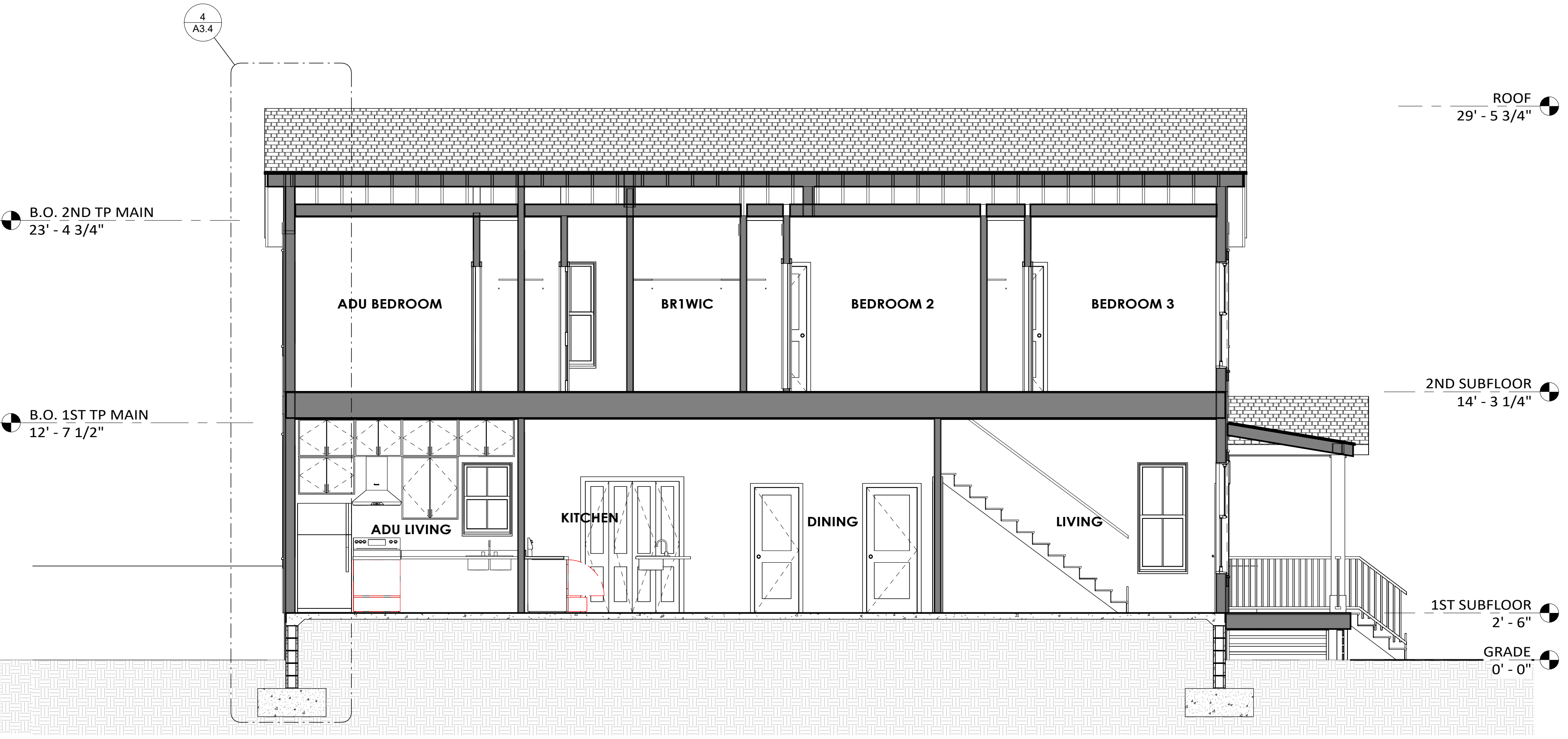
5 BUILDING SECTION 5
A3.2 1/4" = 1'-0"



6 BUILDING SECTION 6
A3.2 1/4" = 1'-0"



7 BUILDING SECTION 7
A3.2 1/4" = 1'-0"



8 BUILDING SECTION 8
A3.2 1/4" = 1'-0"

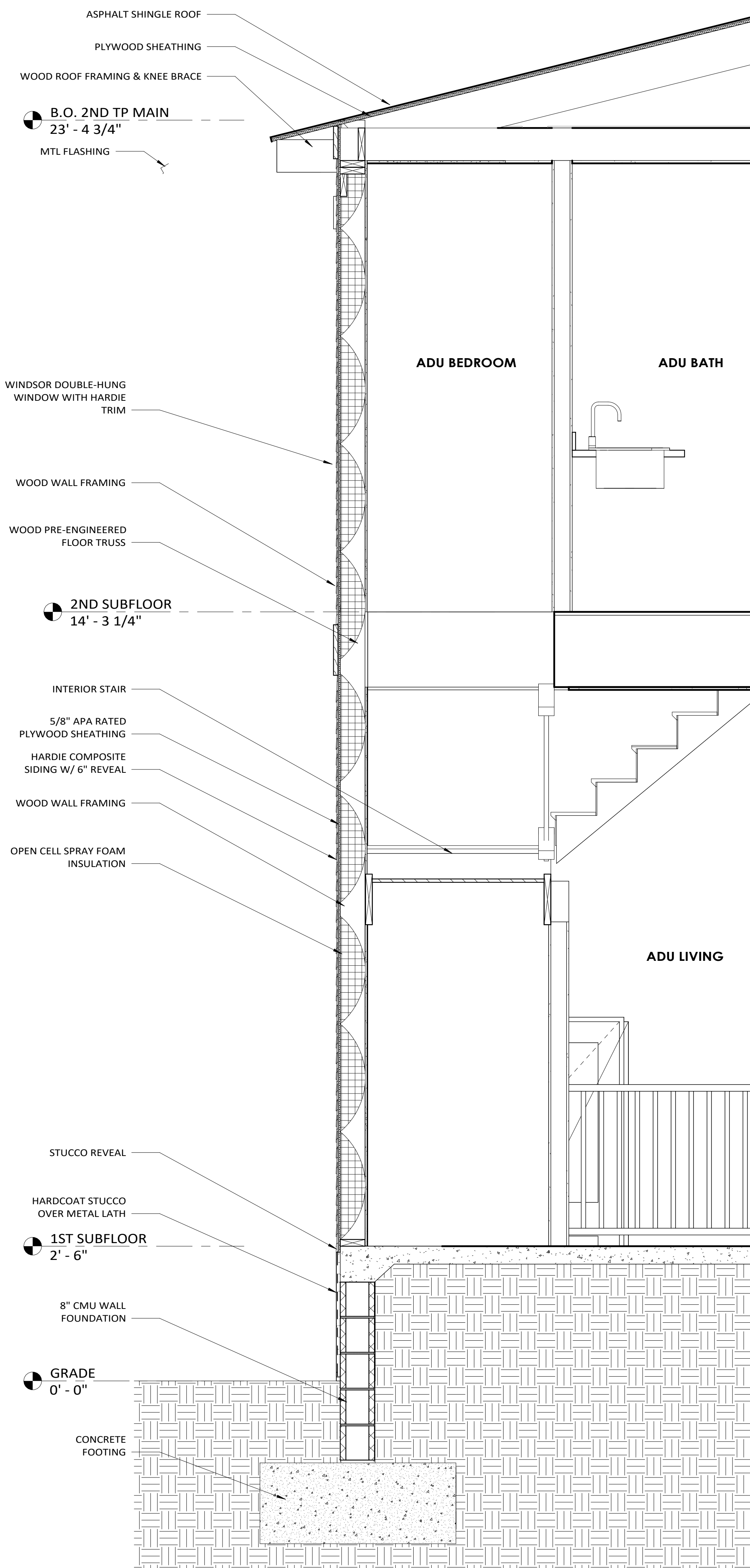
15 WEST 39TH STREET

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Savannah, GA 31401

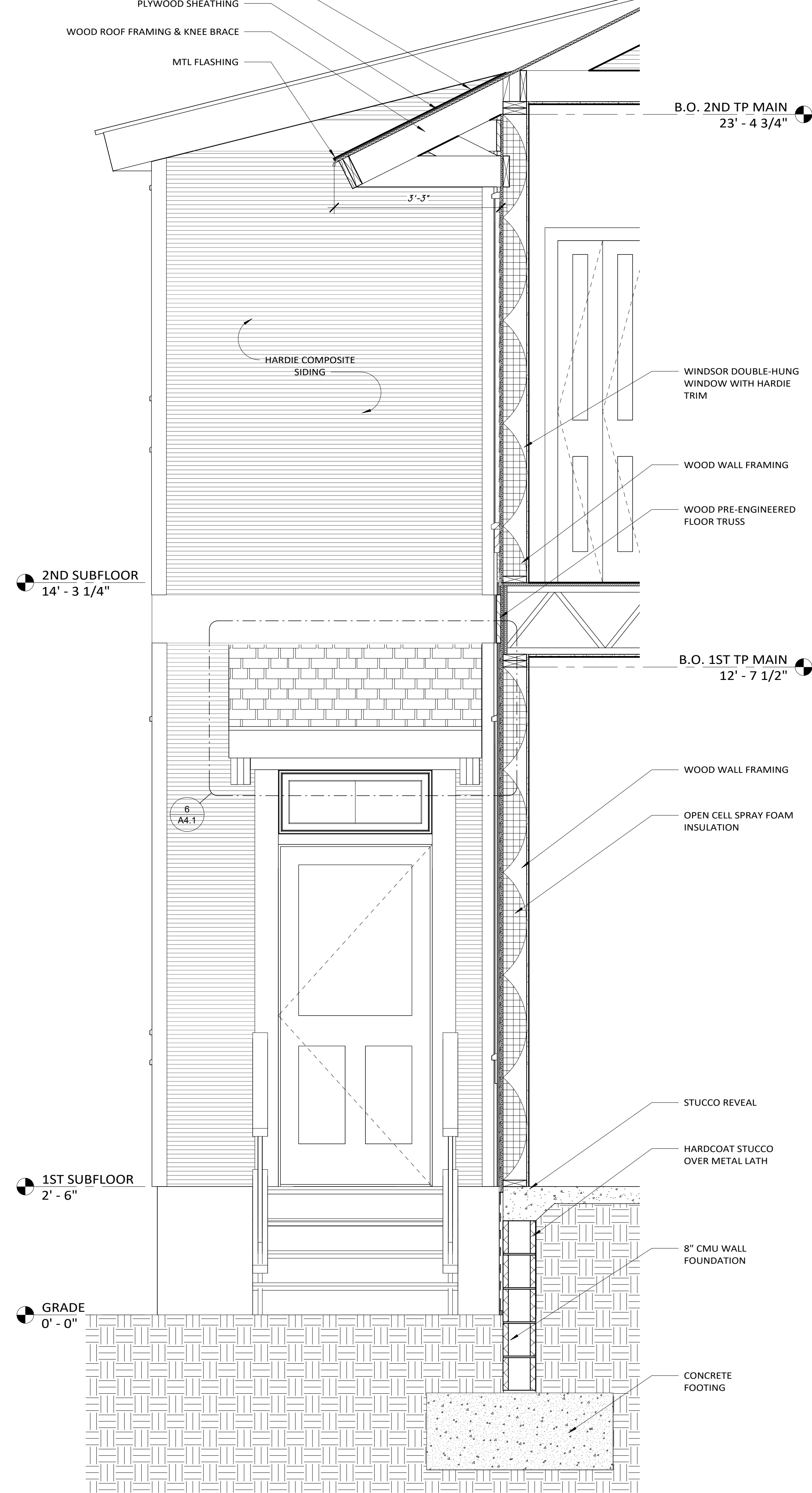
BUILDING SECTIONS

Author
3/26/25

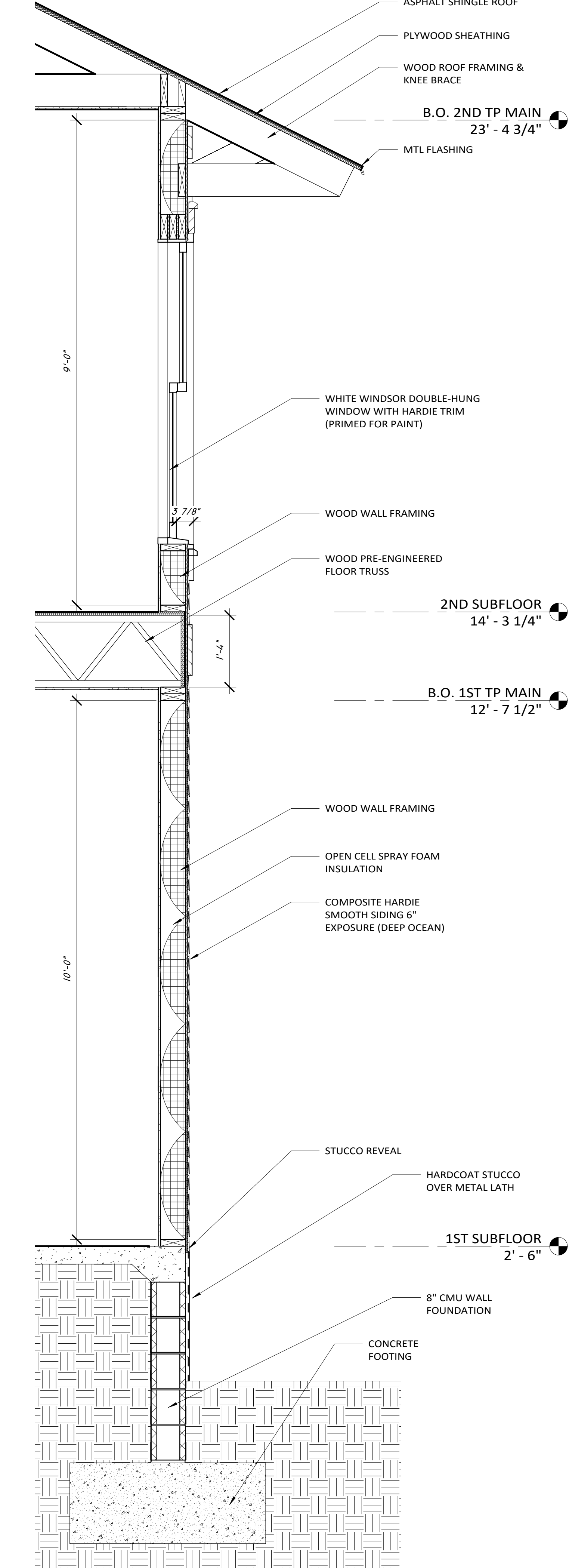
A3.2



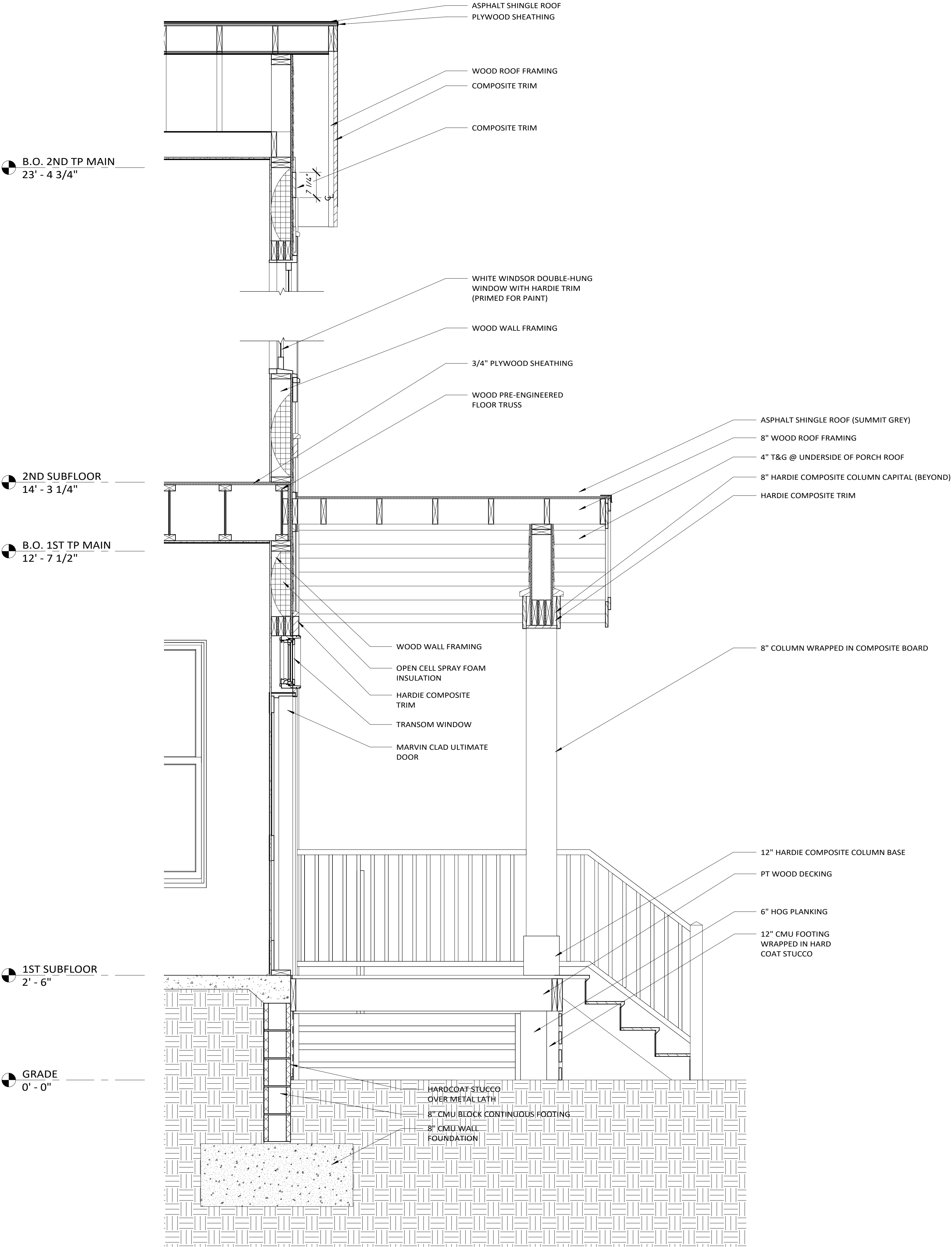
2 WALL SECTION B
3/4" = 1'-0"



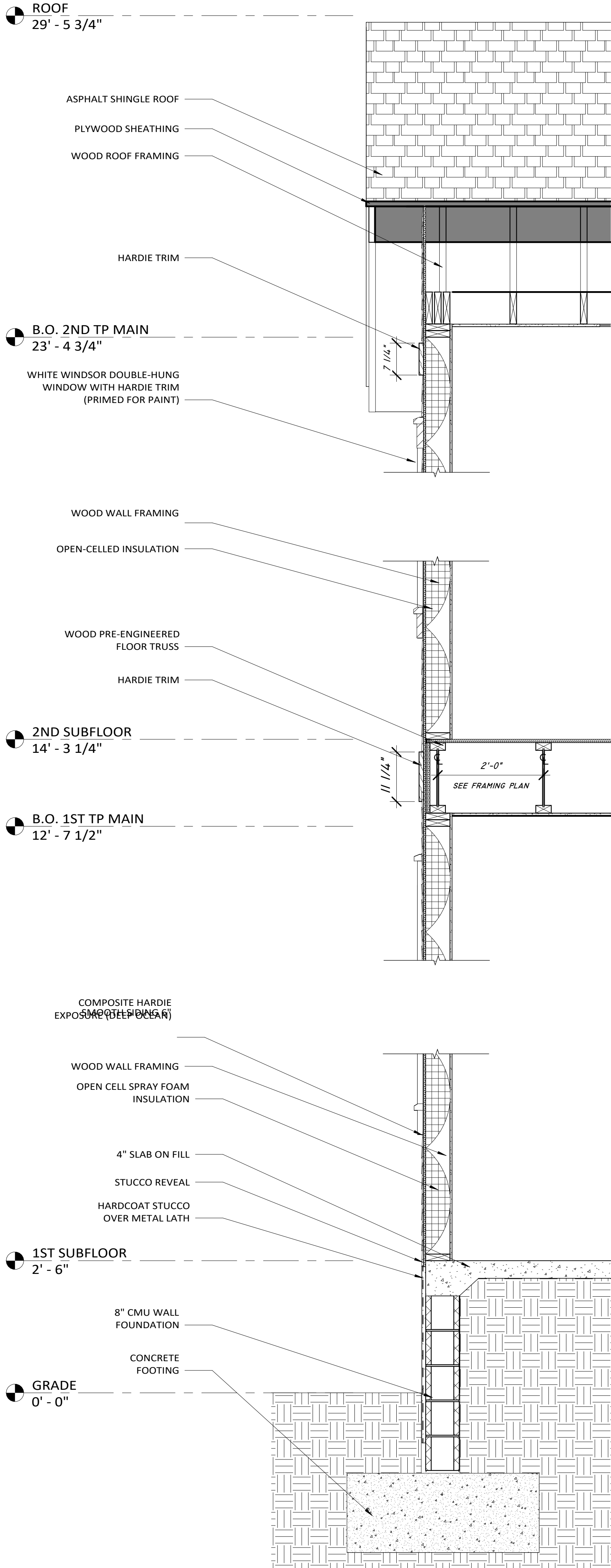
1 WALL SECTION A
3/4" = 1'-0"



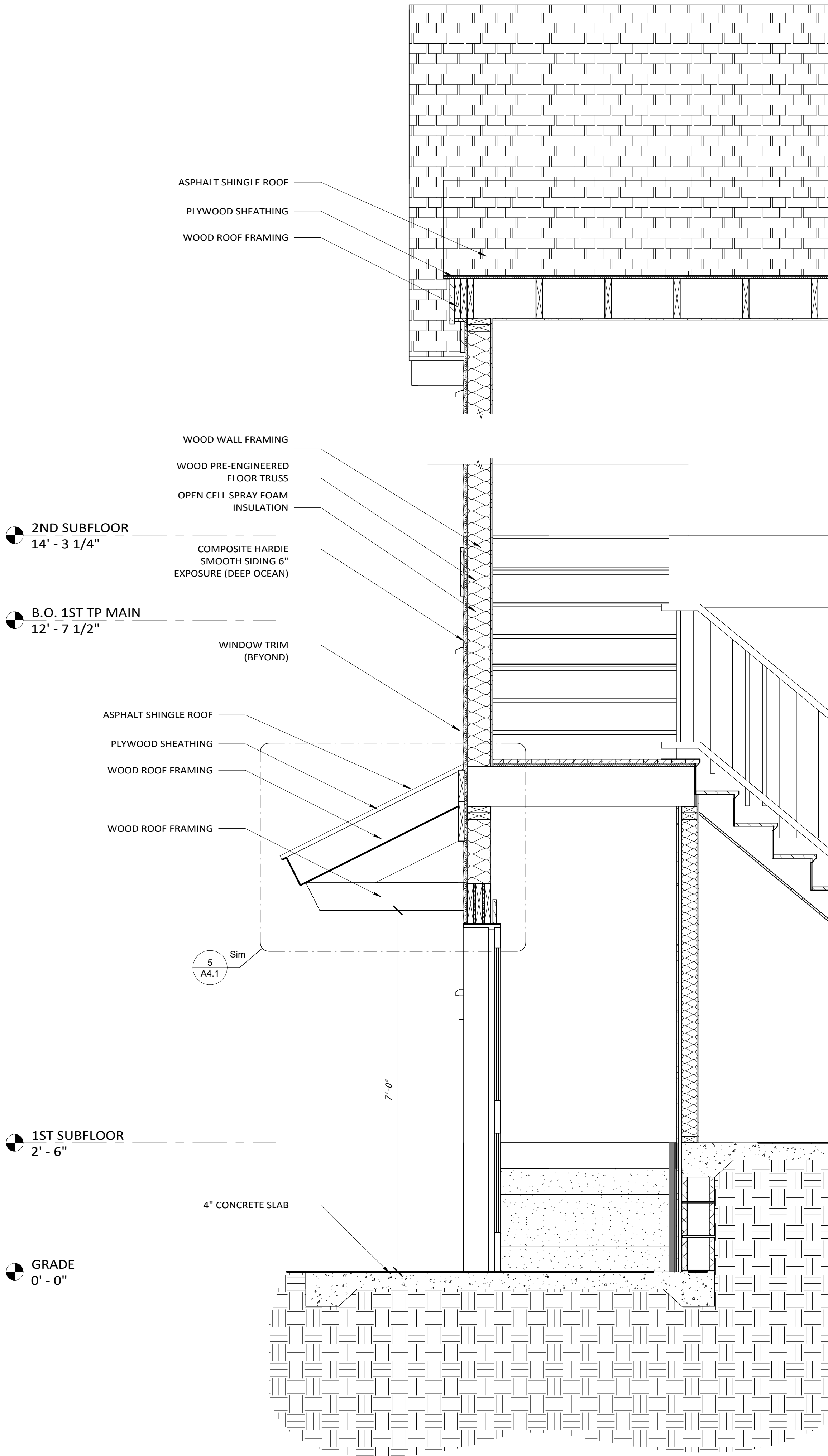
3 WALL SECTION E
3/4" = 1'-0"



3 WALL SECTION C
3/4" = 1'-0"

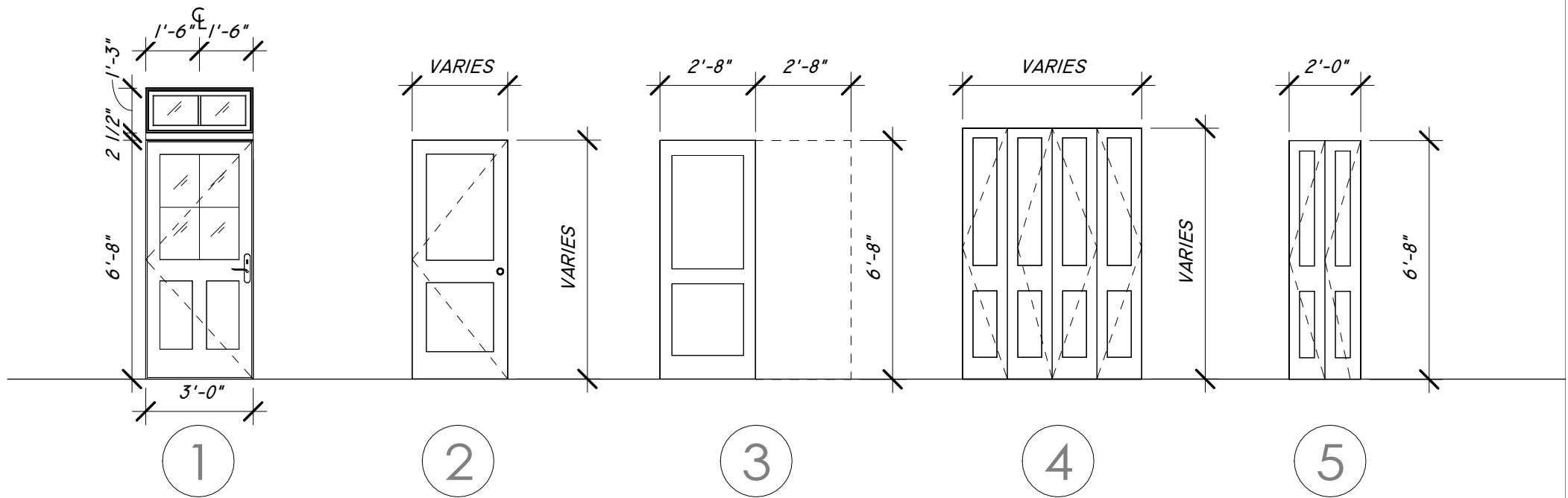


4 WALL SECTION D
3/4" = 1'-0"

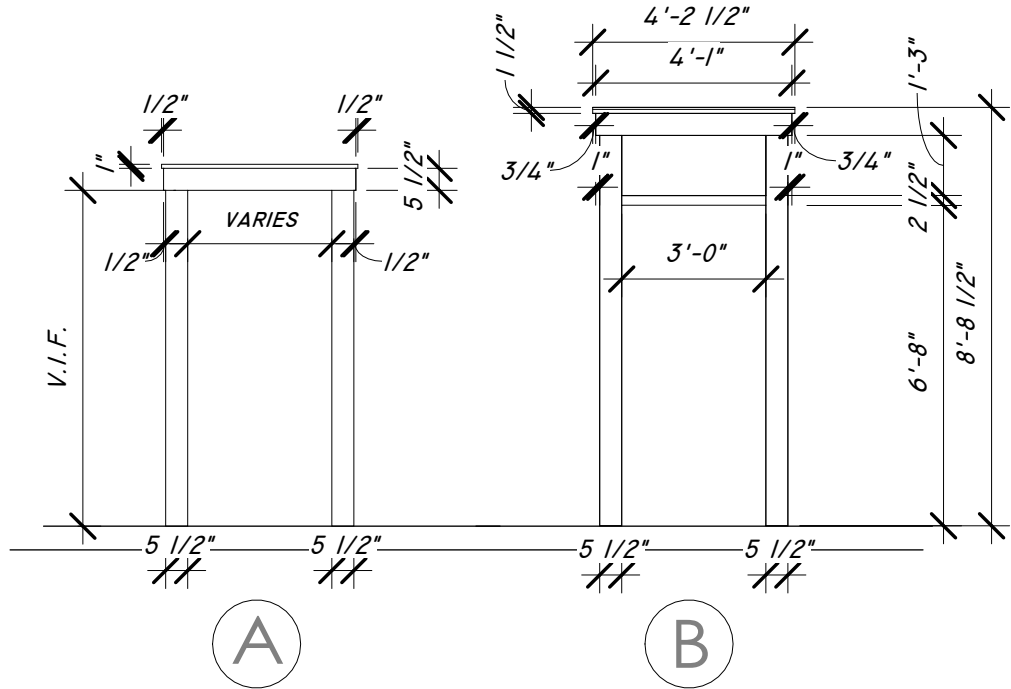


1 PORCH SECTION - ADU
A3.5 3/4" = 1'-0"

DOOR TYPES



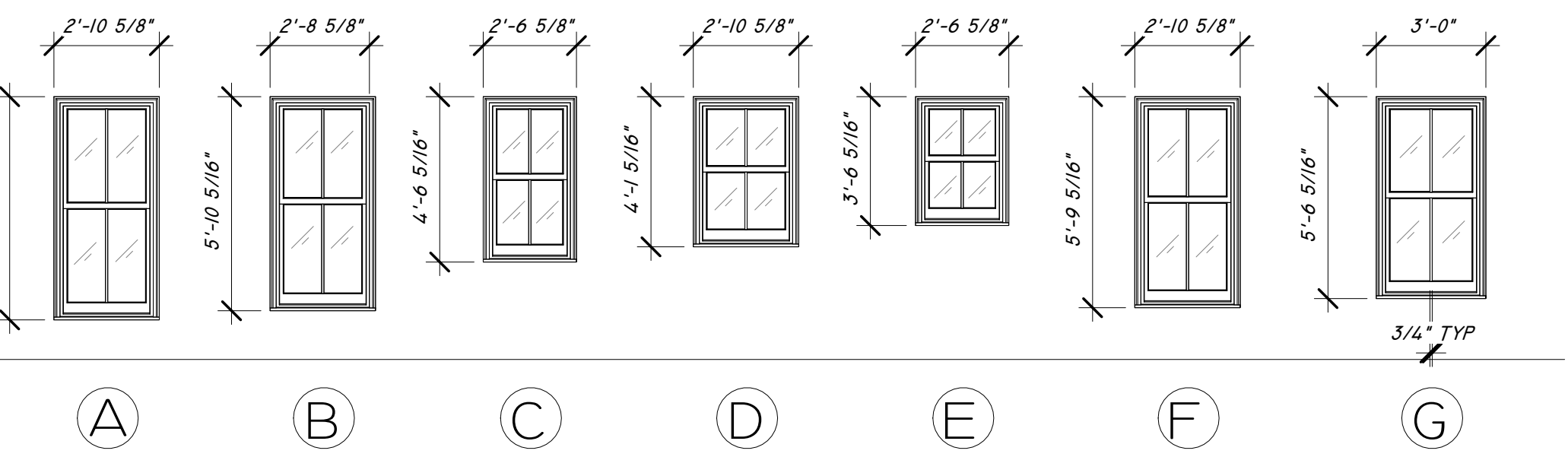
DOOR CASEMENT TYPES



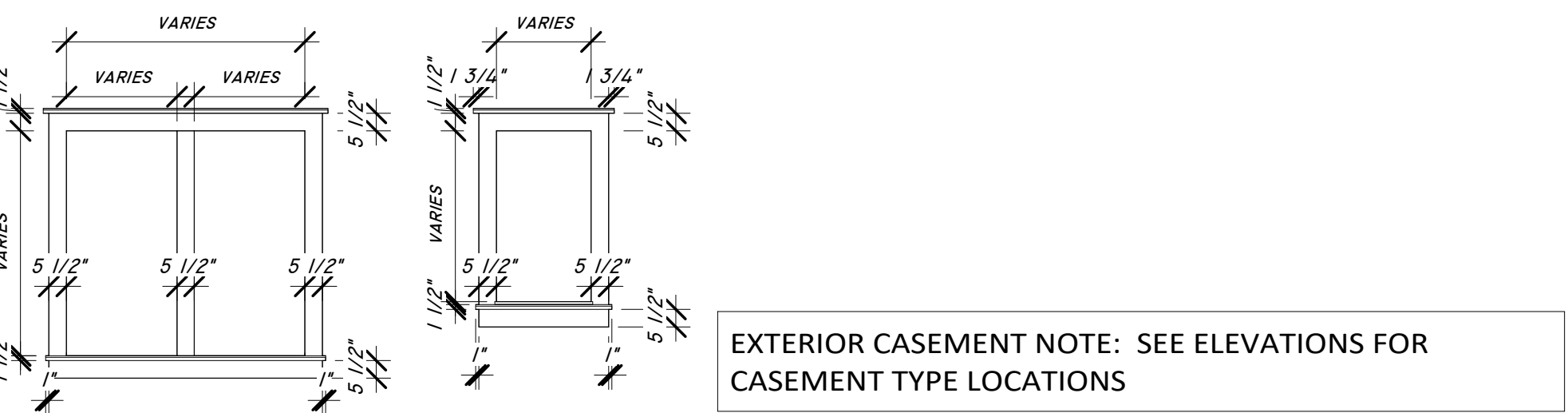
DOOR SCHEDULE

#	Door		Door Type	Finish	Height	Frame		Comments
	Width	Height				Material	Type	
104A	2'-4"	6'-8"	2	WD / PAINT	6'-8"	WD	B	
105A	2'-8"	6'-8"	2	WD / PAINT	6'-8"	WD	B	
106A	5'-0"	7'-0"	4	WD / PAINT	7'-0"	WD	B	
107A	5'-0"	6'-8"	4	WD / PAINT	6'-8"	WD	B	
108A	3'-0"	6'-8"	1	WD / STAIN- BLACK	6'-8"	WD/GLAZ	A	
109A	3'-0"	6'-8"	2	WD / PAINT	6'-8"	WD	B	
201A	3'-0"	6'-8"	2	WD / PAINT	6'-8"	WD	B	
201B	3'-6"	6'-8"	4	WD / PAINT	6'-8"	WD	B	
202A	2'-8"	6'-8"	2	WD / PAINT	6'-8"	WD	B	
202B	3'-6"	6'-8"	4	WD / PAINT	6'-10"	WD	B	
202C	3'-6"	6'-8"	4	WD / PAINT	6'-8"	WD	B	
203A	2'-8"	6'-8"	2	WD / PAINT	6'-8"	WD	B	
203B	3'-6"	6'-8"	4	WD / PAINT	6'-8"	WD	B	
203C	3'-6"	6'-8"	4	WD / PAINT	6'-8"	WD	B	
204A	2'-4"	6'-8"	2	WD / PAINT	6'-8"	WD	B	
207A	2'-6"	6'-8"	3	WD / PAINT	6'-8"	WD	B	
207B	2'-2"	6'-8"	2	WD / PAINT	6'-8"	WD	B	
209A	3'-6"	6'-8"	4	WD / PAINT	6'-8"	WD	B	
209B	3'-6"	6'-8"	4	WD / PAINT	6'-8"	WD	B	
210A	2'-4"	6'-8"	2	WD / PAINT	6'-8"	WD	B	

DOOR TYPES



WINDOW CASEMENT TYPES

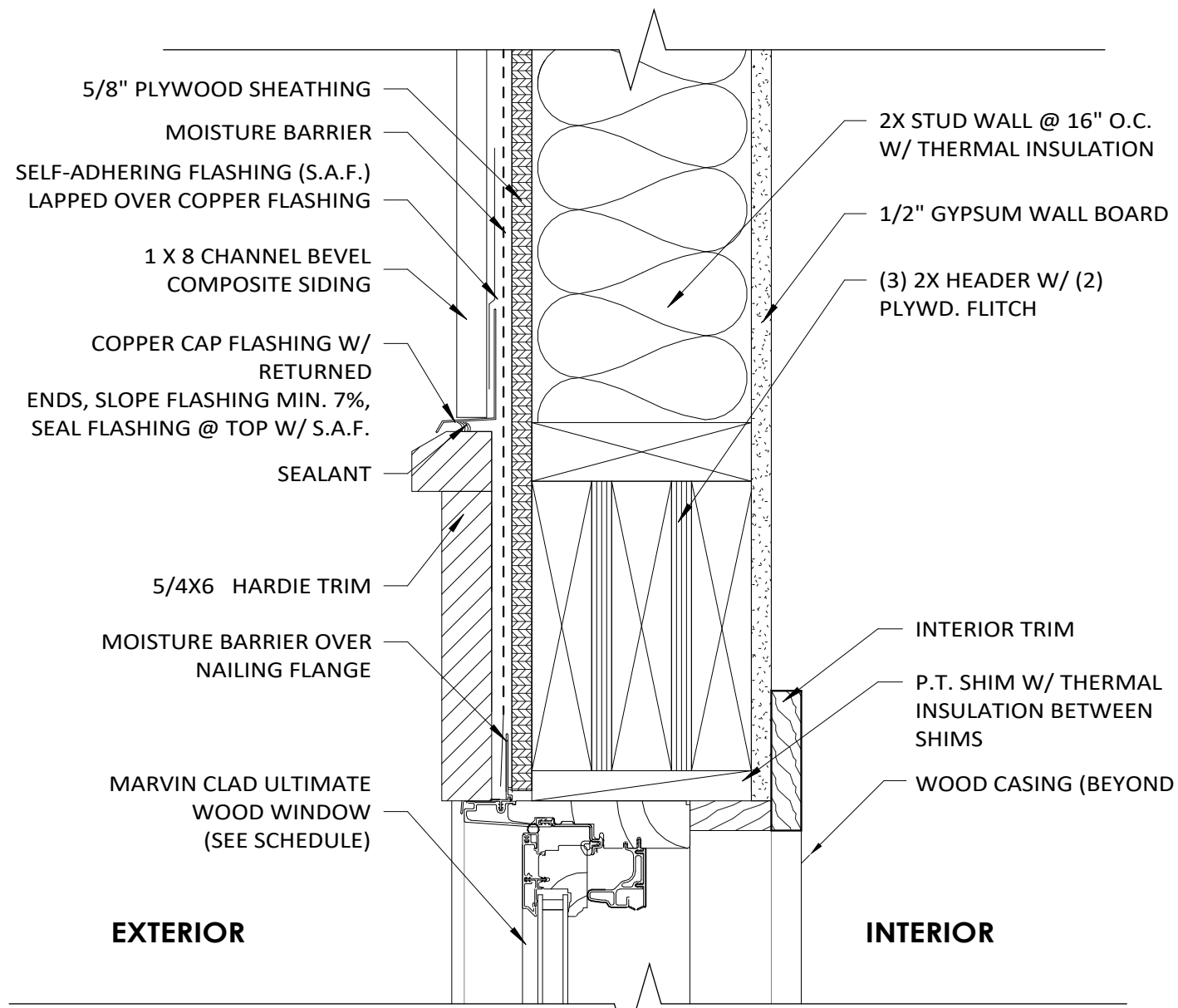


EXTERIOR CASEMENT NOTE: SEE ELEVATIONS FOR CASEMENT TYPE LOCATIONS

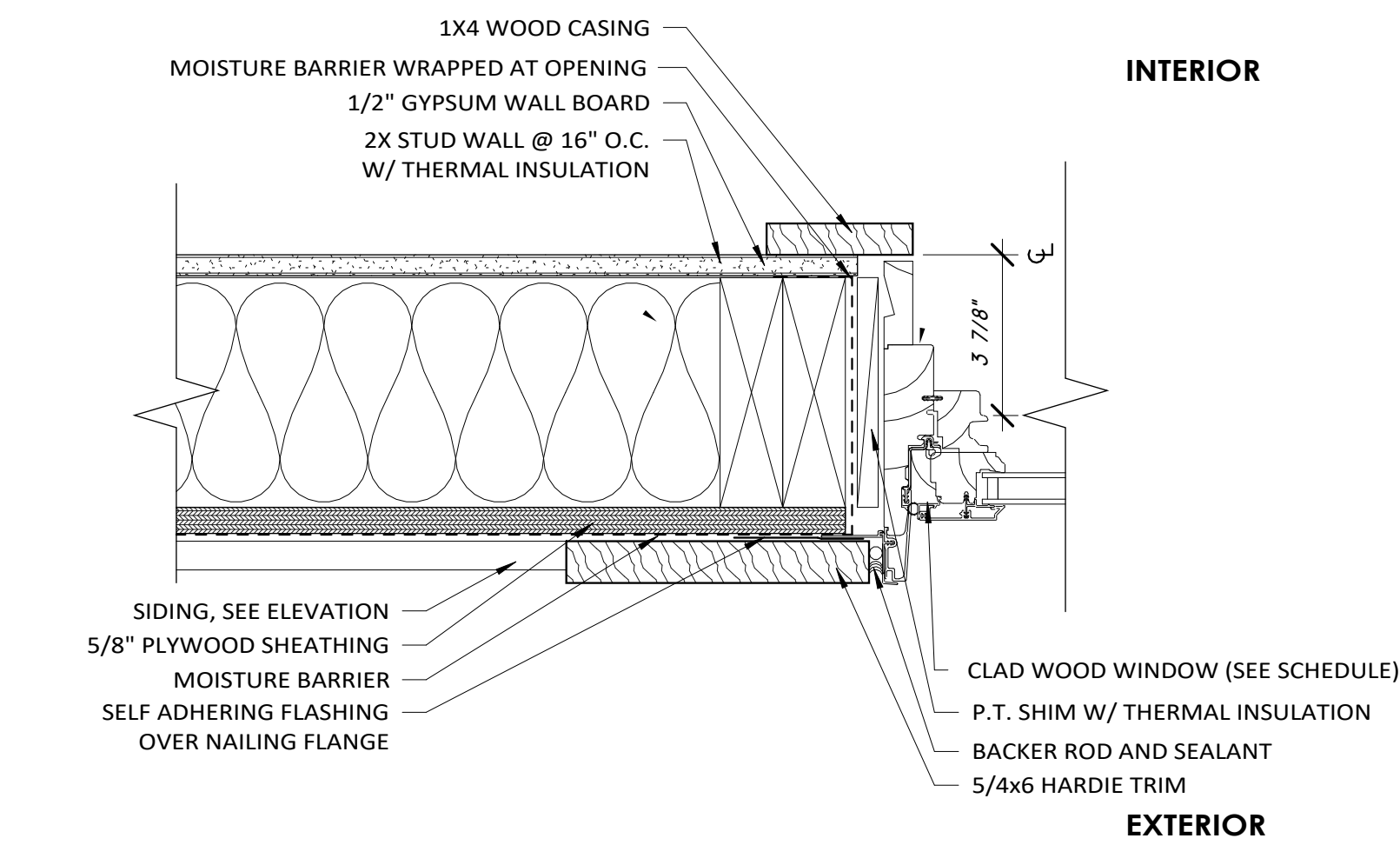
WINDOW SCHEDULE

Type Mark	Height	Width	Manufacturer	Count	Comments
A	6'-0"	2'-8"	Windsor Windows and Doors	9	
B	5'-9"	2'-8"	Windsor Windows and Doors	6	
C	4'-5"	2'-4"	Windsor Windows and Doors	4	
D	4'-0"	2'-8"	Windsor Windows and Doors	1	
E	3'-5"	2'-4"	Windsor Windows and Doors	2	
F	5'-8"	2'-8"	Windsor Windows and Doors	3	
G	5'-5"	2'-9 3/8"	Windsor Windows and Doors	2	
TRANSOM	1'-3"	3'-0"	Windsor Windows and Doors	2	

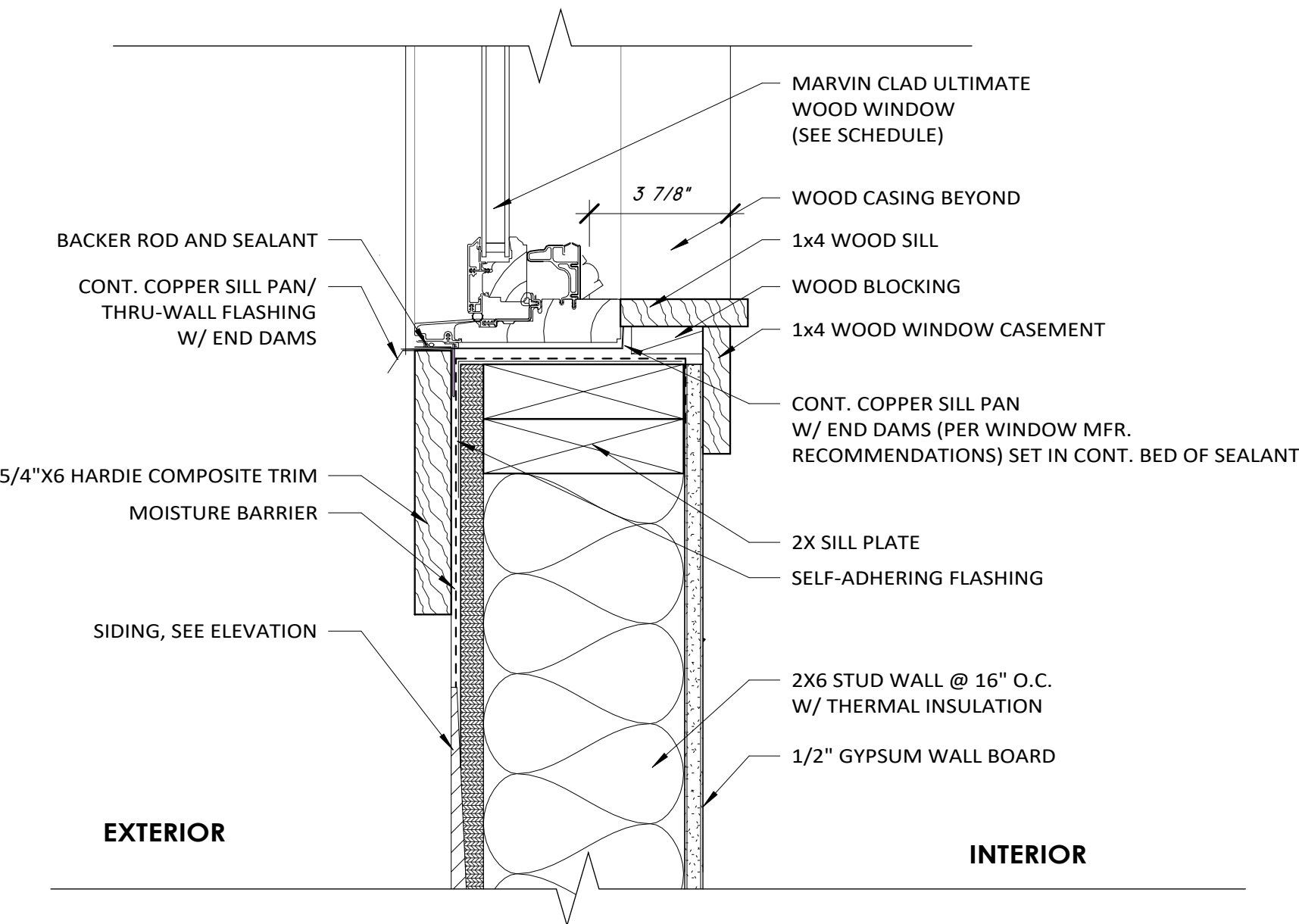
3 WINDOW HEAD - WOOD FRAMING
3" = 1'-0"



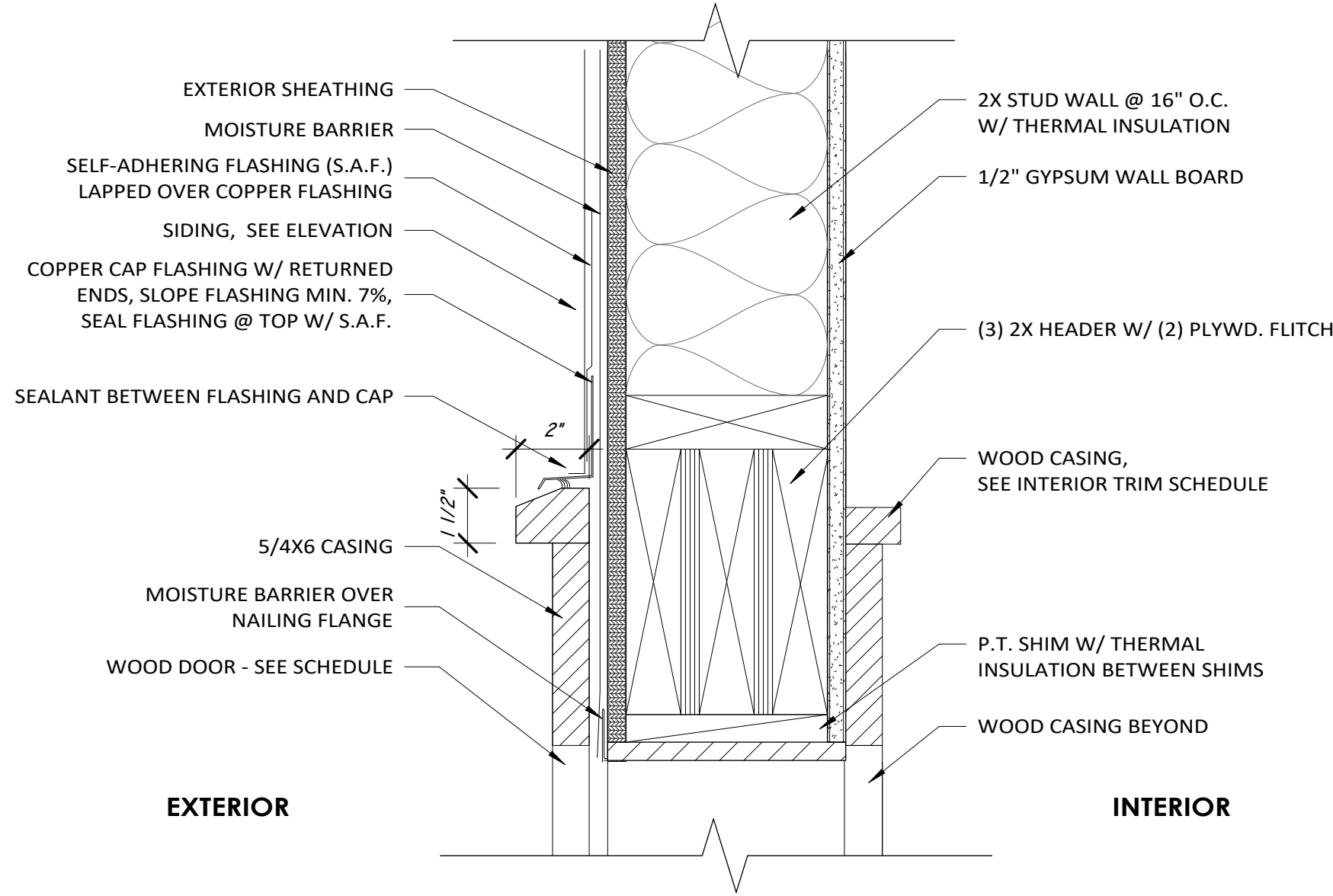
4 WINDOW JAMB - WOOD FRAMED WALL
3" = 1'-0"



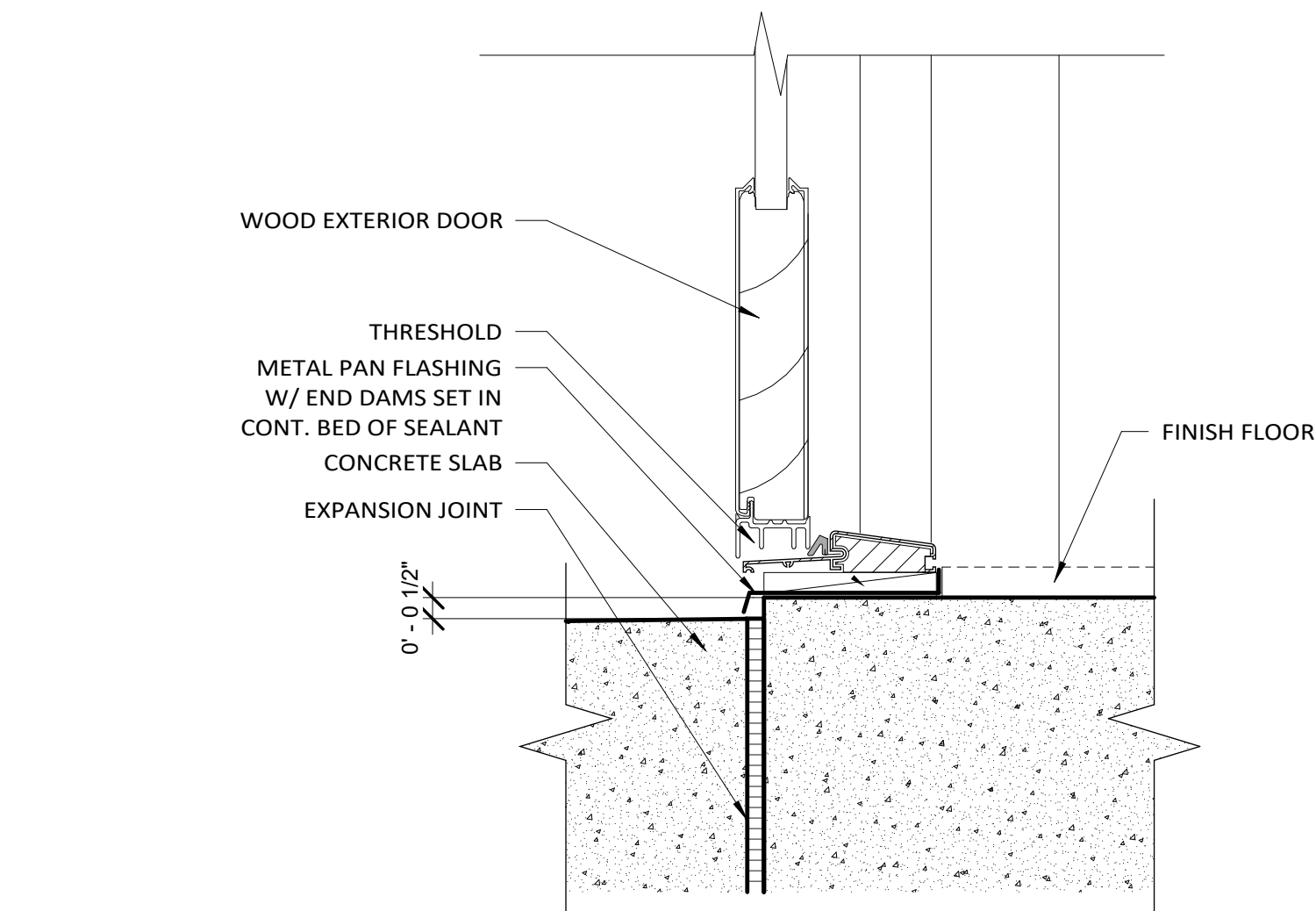
6 WINDOW SILL - WOOD FRAMED WALL
3" = 1'-0"



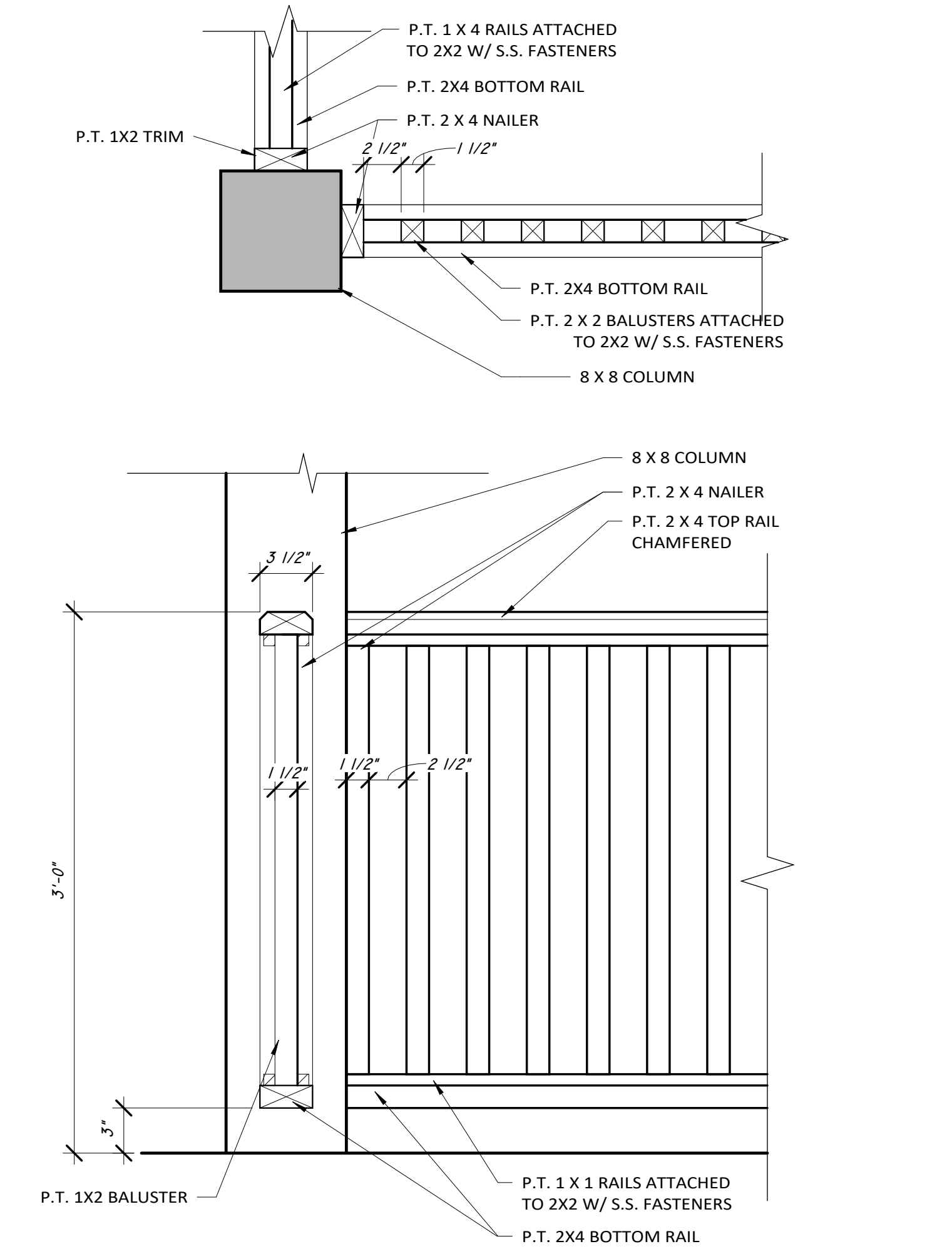
8 DOOR HEAD DETAIL
3" = 1'-0"



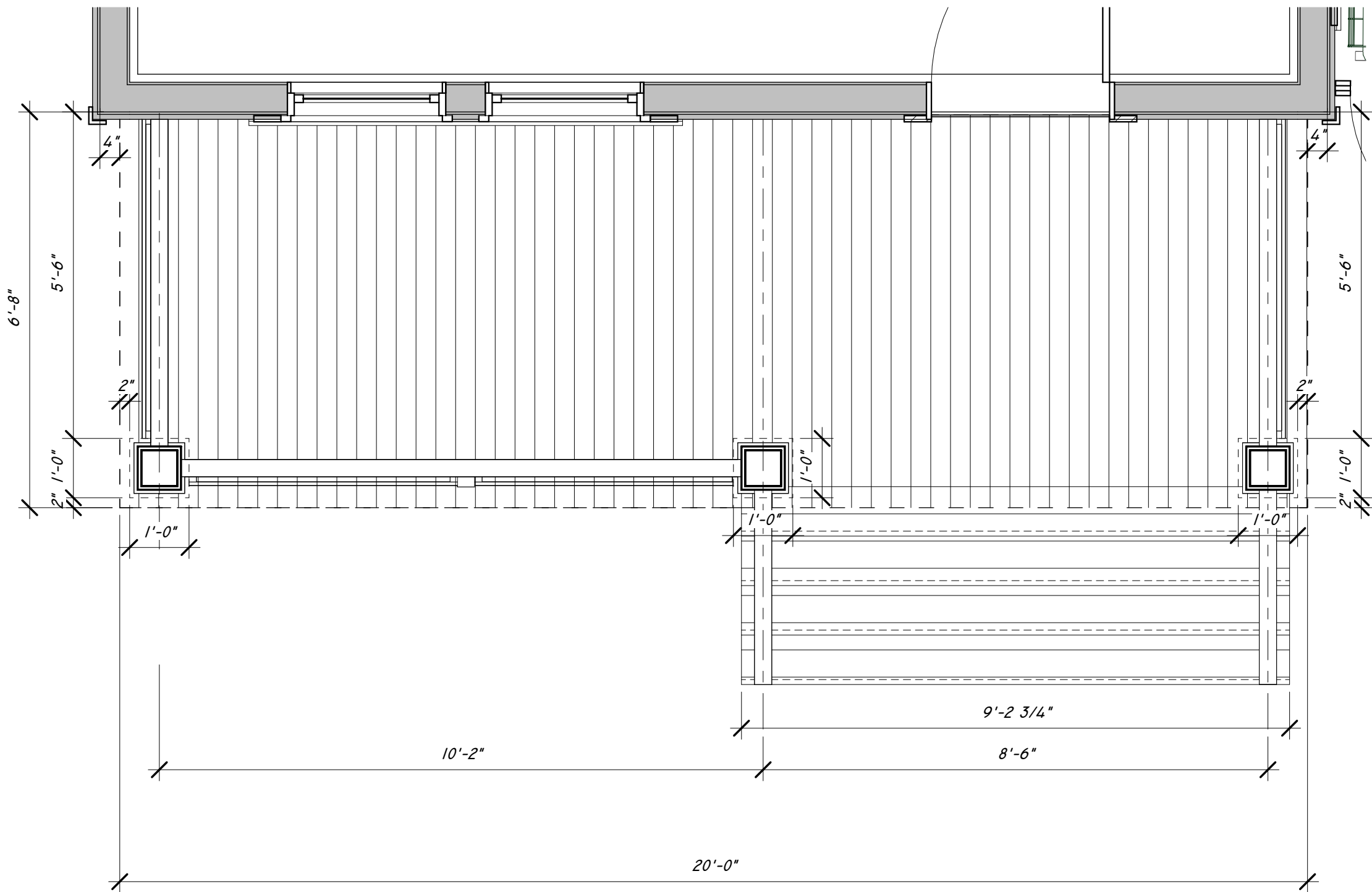
9 DOOR JAMB DETAIL TYP
3" = 1'-0"



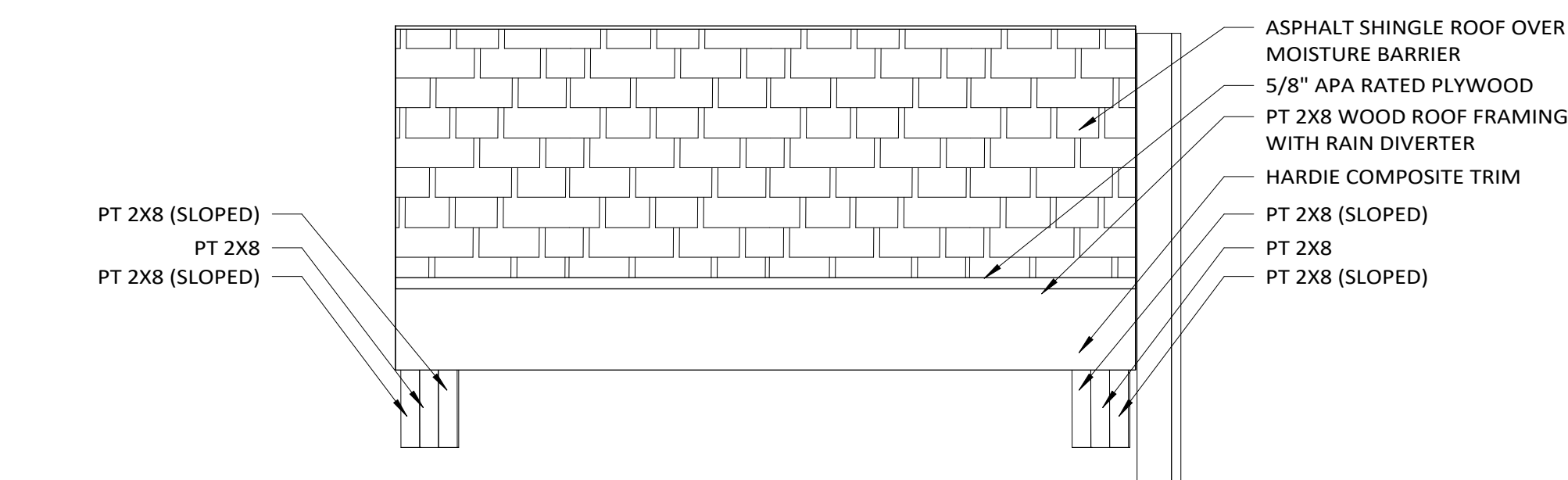
1 DOOR SILL DETAIL - EXTERIOR
3" = 1'-0"



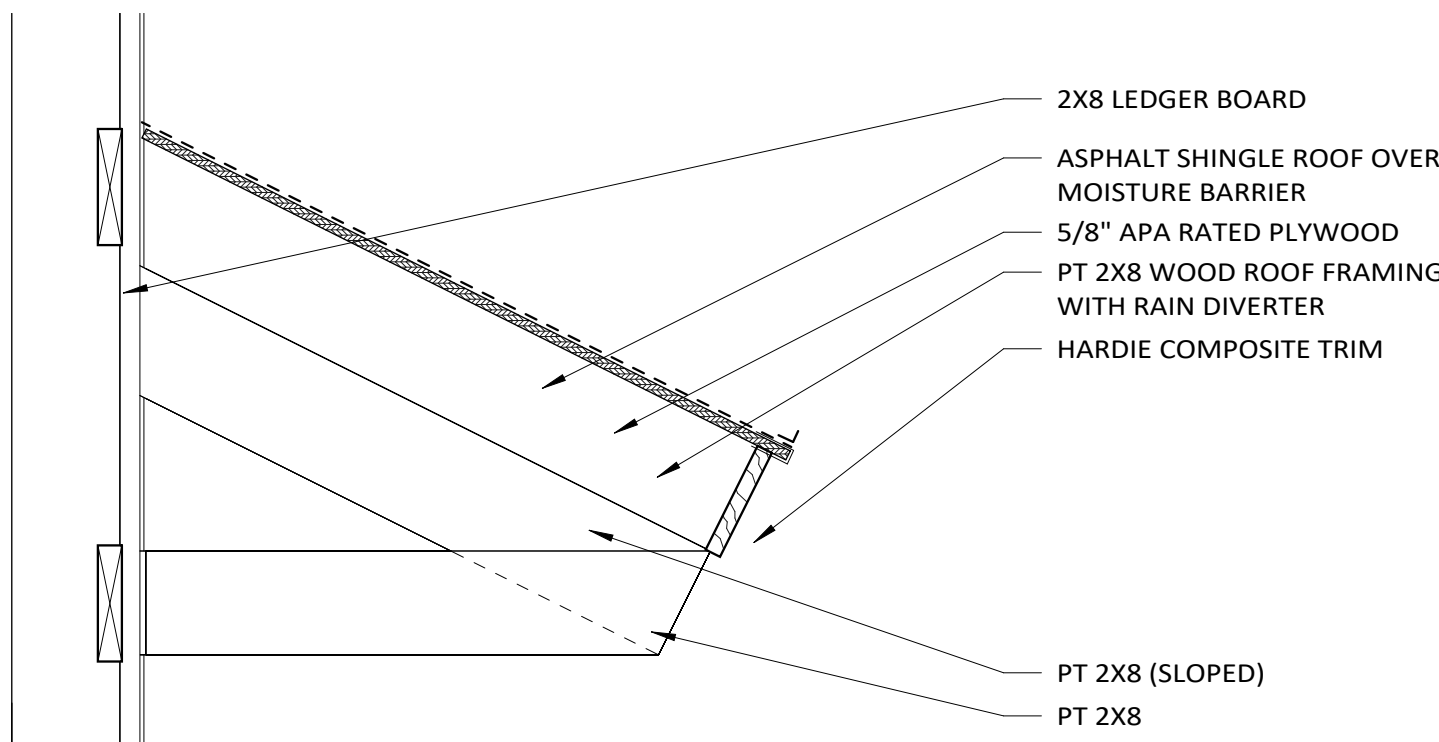
4 RAILING DETAILS
1 1/2" = 1'-0"



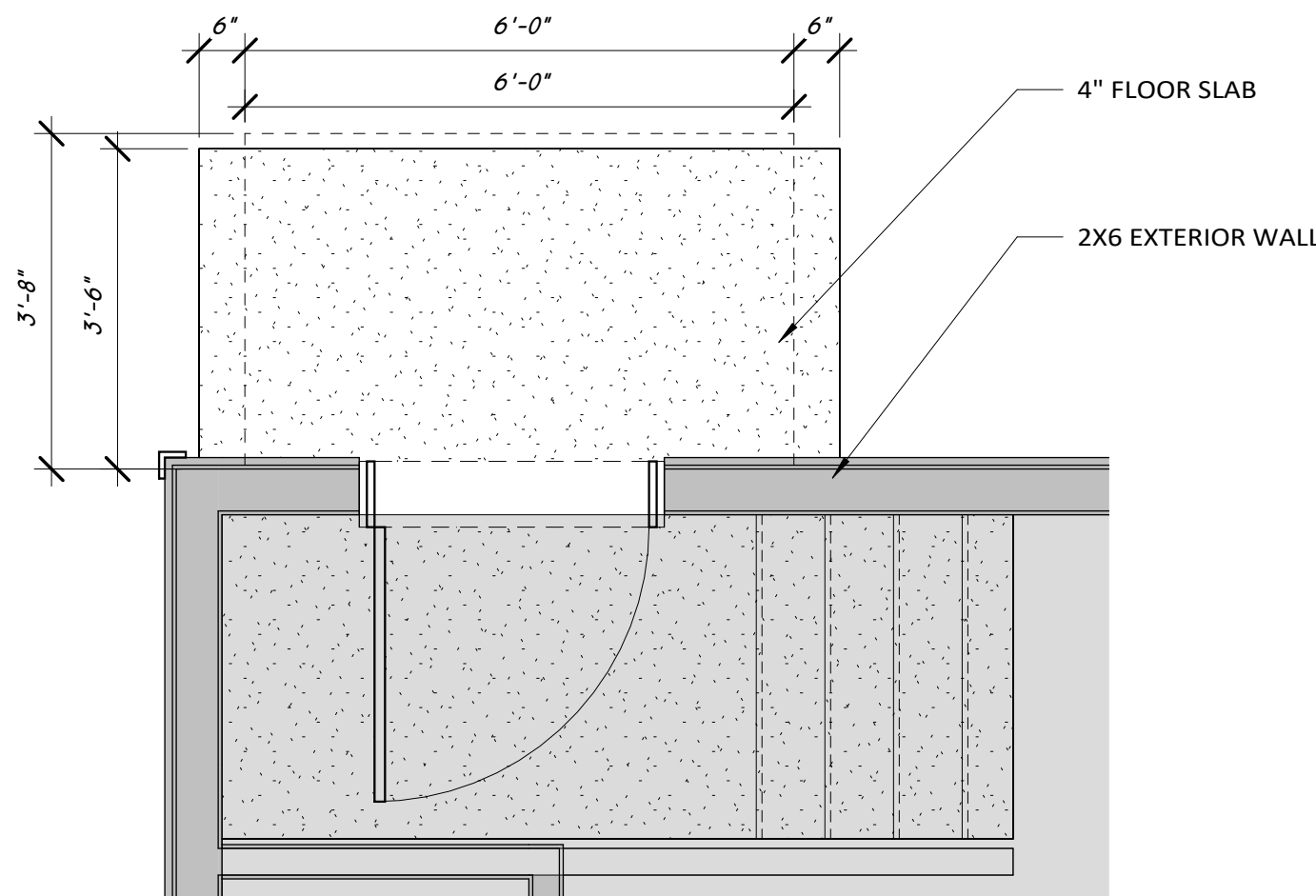
1 ENLARGED PLAN - FRONT PORCH
1/2" = 1'-0"



6 ENTRY CANOPY FRONT TYP
1" = 1'-0"



5 ENTRY CANOPY SECTION TYP
1" = 1'-0"



2 ENLARGED PLAN - REAR ENTRY
1/2" = 1'-0"

SECTION 07 46 46

FIBER CEMENT SIDING – HARDIEPLANK, SOFFIT, AND TRIM

PART 1 – GENERAL

1.1 SECTION INCLUDES

- A. Fiber Cement Plank Lap Siding.
- B. Trim, Fascia, Molding, and Accessories.

1.2 RELATED REQUIREMENTS

- A. Section 05 12 00, Structural Steel Framing.
- B. Section 05 40 00 – Cold-Formed Metal Framing.
- C. Section 06 10 00 – Rough Carpentry.
- D. Section 07 21 00 – Thermal Insulation.
- E. Section 07 25 00 – Weather Barriers.
- F. Section 07 92 00 – Joint Sealants.
- G. Section 09 21 16 – Gypsum Board Assemblies.
- H. Section 09 91 13 – Exterior Painting.

1.3 REFERENCE STANDARDS

Editor Note:

Other References you may want to include based on location of project.

- CAL-FIRE, Fire Engineering Division Building Materials Listing - Wildland Urban Interface (WUI) Listed Product.
- City of Los Angeles, Research Report No. 24862.
- Miami Dade County, -Notice of Acceptance -24-0221.07
- US Department of Housing and Urban Development Materials Release -1263h.
- Florida State Product Approval -FL13192 and FL13265.
- Texas Department of Insurance Product Evaluation EC-23.

- A. ASTM C1185, Standard Test Methods for Sampling and Testing Fiber-Cement Flat Sheet, Roofing and siding Shingles, and Clapboards; 2023.
- B. ASTM C1186, Standard Specification for Flat Fiber-Cement Sheets; 2022, with 2023 Editorial Revision.
- C. ASTM D3359, Standard Test Methods for Rating Adhesion by Tape Test; 2023.
- D. ASTM E84, Standard Test Method for Surface Burning Characteristics of Building Materials; 2020.
- E. ASTM E119, Standard Test Methods for Fire Tests of Building Construction and Materials; 2024.

- F. ASTM E136, Standard Test Method for Assessing Combustibility of Materials Using a Vertical Tube Furnace at 750 Degrees C; 2022.
- G. ASTM E330/E330M, Standard Test Method for Structural Performance of Exterior Windows, Doors, Skylights and Curtain Walls by Uniform Static Air Pressure Difference; 2021.
- H. ICC-ES Evaluation Reports ESR-2290 and ESR-2273 (IBC, IRC, CBC, CRC); Current Editions.
- I. []
- J. []

1.4 ADMINISTRATIVE REQUIREMENTS

- A. Pre-Installation Conference:
 - a. A minimum of 2-weeks prior to the commencement of the Work of this section, conduct a preliminary pre-installation conference at project site.
 - b. Meet with Owner, Architect, and Installer, and Subcontractors completing related work.
 - c. Review the Following:
 - i. Methods and procedures to complete the Work.
 - ii. Substrate and installation requirements.
 - iii. Temporary protection requirements.
 - iv. Repair procedures.
 - v. Schedule.
 - vi. Other pertinent topics.
 - d. Provide record of discussion with meeting minutes distributed to all attendees.

1.5 SUBMITTALS

- A. See Section 01 30 00, Administrative Requirements.
- B. Product Data:
 - a. Manufacturer's product data sheets.
 - b. Manufacturer's storage and handling requirements.
 - c. Manufacturer's preparation instructions.
 - d. Manufacturer's installation instructions.
 - e. Manufacturer's operation and maintenance instructions.
- C. Shop Drawings:
 - a. Provide detailed drawings showing dimensions, layout, joints, construction details, and attachments.
 - b. Indicate atypical non-standard applications outside of manufacturer's standard details and specifications.
- D. Selection Samples:
 - a. Provide two complete sets of color chips representing manufacturer's full range of available colors and patterns for each finish product specified.
- E. Verification Samples:
 - a. Provide two samples, minimum 4-inch x 6-inch (100 mm x 150 mm) representing selected product, color, texture, and patterns for each finish product specified.
- F. Installers qualification statement.
- G. Warranty:
 - a. Manufacturer's sample warranty.
 - b. Manufacturer's executed written warranty, completed in Owner's name and registered with manufacturer.

1.6 QUALITY ASSURANCE

- A. Installer Qualifications: Company specializing in work specified in this section with a minimum of []-years of experience with installation of products of this type.
- B. Mock-up:
 - a. Mock-Up: Build mock-up for evaluation of surface preparation techniques, installation workmanship, and to verify selections made from sample submittals to demonstrate aesthetic effects and set quality standards for fabrication and installation.
 - i. Minimum 48-inches wide x 60-inches high or similar area as fits the layout of the building exterior.
 - ii. Include outside corner on one end of mockup and inside corner on the other end.
 - iii. Finish areas designated by Architect.
 - iv. Approval of mock-up does not constitute approval of deviations from the Contract Documents unless approved in writing.
 - v. Approved mock-up **[may, may not]** remain as a part of the completed work.
 - b. Provide a minimum of []-days notification to Architect, Installer, and Manufacturer's Representative prior to application of mock-up for review.
 - c. Obtain approval of mock-up from Architect prior to commencement of Work.

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Deliver and store products in manufacturer's unopened packaging with labels intact until ready for installation.
- B. Store siding flat on a smooth level surface and carry on its side.
- C. Protect edges and corners from chipping.
- D. Store materials under dry, waterproof, well-ventilated cover, elevated above grade, and kept dry prior to installation.
- E. Store and dispose of solvent-based materials, and materials used with solvent-based materials, in accordance with requirements of the Authorities Having Jurisdiction.
- F. Protect materials from damage, dust, or other detrimental conditions.

1.8 FIELD CONDITIONS

- A. Maintain environmental conditions including temperature, humidity, and ventilation in accordance with the limits indicated in the manufacturer's written instructions.
- B. Do not install products in conditions outside of the manufacturer's stated limits.

1.9 WARRANTY

- A. Manufacturer's Limited, Non Pro-rated Product Warranty:
 - a. Plank, Soffit, and Trim: 30-year Warranty.
 - b. Color-Plus Finish: 15-year Warranty.
 - c. When installed and maintained in accordance with manufacturer's written requirements, warranty for 15-years from date of purchase covering peeling, cracking, and chipping.
- B. Installers Warranty:
 - a. Provide []-year installers warranty covering workmanship for work of this Section.

PART 2 – PRODUCTS

2.1 MANUFACTURERS

- A. Basis-of-Design: James Hardie Building Products, Inc.; Hardie Plank Lap Siding;
www.jameshardie.com.
- B. Substitutions: In accordance with the requirements of Division 01, General Requirements.

2.2 FIBER CEMENT – LAP SIDING

- A. Fiber Cement Lap Siding:
 - a. Type A, Grade II, ASTM C1186.
 - b. Non-combustible Material, ASTM E136.
 - c. Flame Spread Index: 0, ASTM E84.
 - d. Smoke Developed Index: <5, ASTM E84.
- B. Type:
 - a. Smooth:
 - i. 5-1/4 inches (133 mm) with 4-inches (102 mm) exposure.
 - ii. 6-1/4 inches (159 mm) with 5-inches (127 mm) exposure.
 - iii. 7-1/4 inches (184 mm) with 6-inches (152 mm) exposure.
 - iv. 8-1/4 inches (210 mm) with 7-inches (178 mm) exposure.
 - v. 9-1/4 inches (235 mm) with 8-inches (203 mm) exposure.
 - vi. 12-inches (305 mm) with 10-3/4 inches (273 mm) exposure.
 - b. Select Cedarmill:
 - i. 5-1/4 inches (133 mm) with 4-inches (102 mm) exposure.
 - ii. 6-1/4 inches (159 mm) with 5-inches (127 mm) exposure.
 - iii. 7-1/4 inches (184 mm) with 6-inches (152 mm) exposure.
 - iv. 8-1/4 inches (210 mm) with 7-inches (178 mm) exposure.
 - v. 9-1/4 inches (235 mm) with 8-inches (203 mm) exposure.
 - vi. 12-inches (305 mm) with 10-3/4 inches (273 mm) exposure.
 - c. Beaded Smooth:
 - i. 8-1/4 inches (210 mm) with 7-inches (178 mm) exposure.
 - d. Beaded Cedarmill:
 - i. 8-1/4 inches (210 mm) with 7-inches (178 mm) exposure.
- C. Color:
 - a. [_____].
 - b. As selected by Architect from manufacturer's standard range.
- D. Product:
 - a. Basis-of-Design: HardiePlank; www.jameshardie.com.
 - b. Substitutions: In accordance with the requirements of Division 01, General Requirements.

2.3 FIBER CEMENT NON-VENTED SOFFIT PANELS

- A. Type A, Grade II, ASTM C1186.
- B. Non-combustible Material, ASTM E136.
- C. Flame Spread Index: 0, ASTM E84.
- D. Smoke Developed Index: <5, ASTM E84.
- E. Thickness: 1/4-inch (6 mm).
- F. Type:
 - a. Smooth:
 - i. 12-inches (305 mm) x 12-feet (3658 mm).
 - ii. 16-inches (406 mm) x 12-feet (3658 mm).
 - iii. 24-inches (610 mm) x 8-feet (2438 mm).
- G. Color:
 - a. [_____].
 - b. As selected by Architect from manufacturer's standard range.
- H. Product:
 - a. Basis-of-Design: HardieSoffit; www.jameshardie.com.
 - b. Substitutions: In accordance with the requirements of Division 01, General Requirements.

2.4 FIBER CEMENT VENTED SOFFIT PANELS

- A. Type A, Grade II, ASTM C1186.
- B. Non-combustible Material, ASTM E136.
- C. Flame Spread Index: 0, ASTM E84.
- D. Smoke Developed Index: <5, ASTM E84.
- E. Net Free Ventilation: 5-square inches per linear foot (10583 sq. mm per linear meter).
- F. Thickness: 1/4-inch (6 mm).
- G. Type:
 - a. Smooth:
 - i. 12-inches (305 mm) x 12-feet (3658 mm).
 - ii. 16-inches (406 mm) x 12-feet (3658 mm).
 - iii. 24-inches (610 mm) x 8-feet (2438 mm).
 - b. Textured Cedarmill:
 - i. 12-inches (305 mm) x 12-feet (3658 mm).
 - ii. 16-inches (406 mm) x 12-feet (3658 mm).
 - iii. 24-inches (610 mm) x 8-feet (2438 mm).
- H. Color:
 - a. [_____].
 - b. As selected by Architect from manufacturer's standard range.
- I. Product:
 - a. Basis-of-Design: HardieSoffit; www.jameshardie.com.
 - b. Substitutions: In accordance with the requirements of Division 01, General Requirements.

2.5 FIBER CEMENT VENTED PLUS SOFFIT PANELS

- J. Type A, Grade II, ASTM C1186.
- K. Non-combustible Material, ASTM E136.
- L. Flame Spread Index: 0, ASTM E84.
- M. Smoke Developed Index: 5, ASTM E84.
- N. Net Free Ventilation: 12.6-square inches per linear foot (26670 sq. mm per linear meter).
- O. Thickness: 1/4-inch (6 mm).
- P. Type:
 - a. Smooth, Vented:
 - i. 12-inches (305 mm) x 12-feet (3658 mm).
 - ii. 16-inches (406 mm) x 12-feet (3658 mm).
 - iii. 24-inches (610 mm) x 8-feet (2438 mm).
 - b. Textured Cedarmill:
 - i. 12-inches (305 mm) x 12-feet (3658 mm).
 - ii. 16-inches (406 mm) x 12-feet (3658 mm).
 - iii. 24-inches (610 mm) x 8-feet (2438 mm).
- Q. Color:
 - a. [_____].
 - b. As selected by Architect from manufacturer's standard range.
- R. Product:
 - a. Basis-of-Design: HardieSoffit VentedPlus Panels; www.jameshardie.com.
 - b. Substitutions: In accordance with the requirements of Division 01, General Requirements.

2.6 ACCESSORIES

- A. HardieTrim Trim Boards; www.jameshardie.com:
 - a. Type A, Grade I, ASTM C1186.
 - b. Flame Spread Index: 0, ASTM E84.
 - c. Smoke Developed Index: <5, ASTM E84.
 - d. Batten Board: 2-1/2 inch (63 mm) width.
 - e. 4/4 Boards:
 - i. 3-1/2 inch (89 mm) width.
 - ii. 5-1/2 inch (140 mm) width.
 - iii. 7-1/4 inch (184 mm) width.
 - iv. 9-1/4 inch (235 mm) width.
 - v. 11-1/4 inch (286 mm) width.
 - f. 5/4 Boards:
 - i. 3-1/2 inch (89 mm) width.
 - ii. 5-1/2 inch (140 mm) width.
 - iii. 7-1/4 inch (184 mm) width.
 - iv. 9-1/4 inch (235 mm) width.
 - v. 11-1/4 inch (286 mm) width.
 - g. Color:
 - i. [_____].
 - ii. As selected by Architect from manufacturer's standard range.

- h. Texture:
 - i. Smooth.
 - ii. Rustic.
 - iii. Wood Grained.
 - i. Length: 12-feet (3658 mm).
 - j. Thickness:
 - i. 3/4-inch (19 mm).
 - ii. 1-inch.
- B. Seam Tape: HardieWrap; www.jameshardie.com.
- C. Flashing:
- a. HardieWrap Flashing Tape; www.jameshardie.com.
 - b. HardieWrap Flex Flashing Tape; www.jameshardie.com.
- D. Fasteners:
- a. Wood Framing Fasteners:
 - i. 4d common corrosion resistant nails.
 - ii. 6d common corrosion resistant nails.
 - iii. 8d box ring common corrosion resistant nails.
 - iv. 0.089-inch (2.2 mm) shank x 0.221-inch (5.6 mm) head x 2-inches (51 mm) corrosion resistant siding nails.
 - v. 0.093-inch (2.4 mm) shank x 0.222-inch (5.6 mm) head x 2-inches (51 mm) corrosion resistant siding nails.
 - vi. 0.093-inch (2.4 mm) shank x 0.222-inch (5.6 mm) head x 2-1/2 inches (64 mm) corrosion resistant siding nails.
 - vii. 0.091-inch (2.3 mm) shank x 0.221-inch (5.6 mm) head x 1-1/2 inches (38 mm) corrosion resistant siding nails.
 - viii. 0.091-inch (2.3 mm) shank x 0.225-inch (5.7 mm) head x 1-1/2-inches (38 mm) corrosion resistant siding nails.
 - ix. 0.121-inch (3 mm) shank x 0.371-inch (9.4 mm) head x 1-1/4 inches (32 mm) corrosion resistant roofing nails.
 - x. No. 11 gauge 1-1/4 inches (32 mm) corrosion resistant roofing nails.
 - xi. No. 11 gauge 1-1/2 inches (38 mm) corrosion resistant roofing nails.
 - xii. No. 11 gauge 1-3/4 inches (44 mm) corrosion resistant roofing nails.
 - xiii. 16 gauge 1-1/2 inches (38 mm) stainless finish nails.
 - b. Metal Framing Fasteners:
 - i. 1-1/4 inches (32 mm) No. 8-18 x 0.375-inch (9.5 mm) head self- drilling, corrosion resistant S-12 ribbed buglehead screws.
 - ii. 1-5/8 inches (41 mm) No. 8-18 x 0.323-inch (8.2 mm) head self- drilling, corrosion resistant S-12 ribbed buglehead screws.
 - iii. 1-inch (25 mm) No. 8-18 x 0.323-inch (8.2 mm) head self-drilling, corrosion resistant ribbed buglehead screws.
 - iv. 1-inch (25 mm) No. 8-18 x 0.311-inch (7.9 mm) head self-drilling, corrosion resistant S-12 ribbed buglehead screws.
 - v. 1.5-inch (38 mm) [AGS-100] .100-inches x 25-inches (2540 mm x 635 mm) ETandF Pin or equivalent pneumatic fastener.

- c. Masonry Walls:
 - i. Aerico Stud Nail, ET&F ASM No. 144-125, 0.14-inch (3.6 mm) shank x 0.30-inch (7.6 mm) head by 2-inches (51 mm) long corrosion resistant nails.

2.7 FINISHES

- A. Factory Primer: Provide factory applied universal primer.
 - a. Primer: Factory primed by manufacturer.
 - b. Topcoat: Reference Section 09 90 00, Painting and Coating and project Finish Schedule.
- B. Factory Finish: Reference project Finish Schedule.
 - a. As supplied by manufacturer.
 - b. Factory applied finish is finish applied by the same company and in the same facility that manufactures the siding substrate.
 - c. Require factory applied finish by fiber cement manufacturer applied in controlled environment within manufacturer's facility utilizing multi-coat, heat cured finish within one manufacturing process.
 - d. Each finish color to have documented color match to Delta E of 0.5 or better between product lines, manufacturing lots, or production runs as measured by photospectrometer and verified by third party.
 - e. Provide factory applied finish protection prior to transit to site. Remove finish protection after installation.
 - f. Accessories: Provide complete finishing system including pre-packaged touch-up kit provided by manufacturer.
 - g. Provide quantities as recommended by manufacturer.

PART 3 – EXECUTION

3.1 EXAMINATION

- A. Do not begin installation until substrates have been properly prepared.
- B. Examine substrate, clean and repair to eliminate conditions detrimental to installation.
- C. Do not commence with the Work until unacceptable conditions are remedied.
- D. Verify that weather barrier is installed over substrate and ready to receive the Work.
- E. If framing preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation prior to commencement of Work.

3.2 PREPARATION

- A. Clean surfaces thoroughly prior to installation.
- B. Prepare surfaces using methods recommended by manufacturer's written requirements.
- C. Protect surrounding work areas and surface during installation.
- D. Repair punctures or tears in weather barrier prior to installation of siding.

3.3 WEATHER BARRIER

- A. See Section 07 25 00, Weather Barriers.
- B. Ensure weather barrier is installed with penetration and junction flashing in accordance with manufacturer's written requirements and the Authorities Having Jurisdiction.

3.5 INSTALLATION – LAP SIDING

- A. Install in strict accordance with manufacturer's written installation instructions at locations shown on Drawings.
- B. General:
 - a. Protect siding from Work of other trades.
 - b. Surfaces to be dry prior to installation of weather barriers and siding.
 - c. Reference trim details on Drawings.
 - d. Touch-up cut edges prior to installation.
- C. Flashing:
 - a. Install above door and window trim and casings.
 - b. Install above horizontal trim in field of siding.
 - c. [_____].
 - d. [_____].

3.5 INSTALLATION OF SOFFIT AND VENTED PANELS

- A. Install in strict accordance with manufacturer's written installation instructions at locations shown on Drawings.
- B. Panels may be installed as soffit or ceiling over wood or steel framing.
- C. 20-gauge (33 mil) minimum to 16-gauge (54 mil) in compliance with the Authorities Having Jurisdiction.
- D. Additional framing may be necessary to ensure proper fastening of siding.

3.6 INSTALLATION OF TRIM BOARDS

- A. Install in strict accordance with manufacturer's written installation instructions at locations shown on Drawings.
- B. Install flashing around all wall openings.

3.7 FINISHING

- A. Finish in accordance with paint manufacturer's written application instructions.
- B. Finish unprimed siding with a minimum of one coat of manufacturer approved primer and one coat of 100 percent **[acrylic];[latex]** exterior grade topcoat or two coats of manufacturer approved high quality alkali resistant 100 percent **[acrylic; latex]** exterior grade topcoat within 90-days of installation.
- C. Finish factory primed siding with a minimum of one coat of manufacturer approved high quality 100 percent **[acrylic][latex]** exterior grade paint within 180-days of installation.

3.8 CLEANING

- A. See Section 01 70 00, Execution and Closeout Requirements.
- B. Clean siding in accordance with manufacturer's written instructions using materials and methods acceptable to manufacturer.

3.9 PROTECTION

- A. Protect installed products until date of Substantial Completion.
- B. Touch-up, repair or replace damaged areas prior to date of Substantial Completion.

END OF SECTION



Legend HBR

Windsor's finely crafted windows combine the traditional beauty of our Legend frame and low-maintenance aluminum clad sash with a stain-grade wood interior.

Features and Benefits

- 25-year CPVC warranty against rotting, warping, cracking or swelling
- Cellular PVC exterior with extruded clad sash
- Extruded aluminum in 24 standard colors, 20 feature colors or 7 matte colors. Custom color matching also available
- Architectural trim available in a variety of CPVC casing and sill options, providing a historically accurate appearance
- Factory-applied trim details save significant time and cost
- Rough openings are identical to standard Legend windows, making it easy to mix and match on the same job
- Standard EZ Tilt operation on both the top and bottom sash; both sashes tilt in for easy cleaning
- Block and tackle balance on standard EZ Tilt is quiet, secure and operates smoothly
- High-performance option available

Sizes

Available in hundreds of standard and custom sizes

Glazing

- Windsor Glazing System provides 3/4" double pane insulated glass; Cardinal® LoE 366 glass standard; tinted, tempered, obscure and laminated glass available
- Interior stop glazed with silicone
- Custom and special glass types available

Exterior Trim

- Units available with WM 180 brickmould, WM 180 brickmould with flange, Williamsburg, 3-1/2" flat, 4-1/2" backband, 5-1/2" flat or plantation casing; double hung sill nose, 2" bull nose sill nose, belly sill nose, casement subsill, 2" casement subsill or half round/ellipse sill nose

Grilles

Casement and Awning

Windsor Divided Lite (WDL) = simulated divided lite

- 7/8" and 1-1/4" Perimeter Grille
- 7/8" and 1-1/4" Stick Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Tall and Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Tall and Short Contemporary WDL
- 2" Simulated Check Rail
- Standard and custom grille patterns available

Double Hung

Windsor Divided Lite (WDL) = simulated divided lite

- 7/8" and 1-1/4" Perimeter Grille
- 7/8" and 1-1/4" Stick Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Short Contemporary WDL
- 2" Simulated Check Rail (DH picture only)
- Standard and custom grille patterns available

Sliding and Swinging Patio Door

Windsor Divided Lite (WDL) = simulated divided lite

- 7/8" and 1-1/4" Perimeter Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Short Contemporary WDL
- 3-3/8" Simulated Mid Rail
- Standard and custom grille patterns available

Finishes

- Interior – Available in Clear Select Pine
 - Primed: white or black
 - Painted: white, black or gray
 - Stained: 9 color options
- Exterior – Clad products feature heavy-duty extruded aluminum cladding on sash and frame; primed products offer an assortment of traditional trim options
- Patio door frames are primed wood

Clad Colors

All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments

- 24 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

Window Hardware

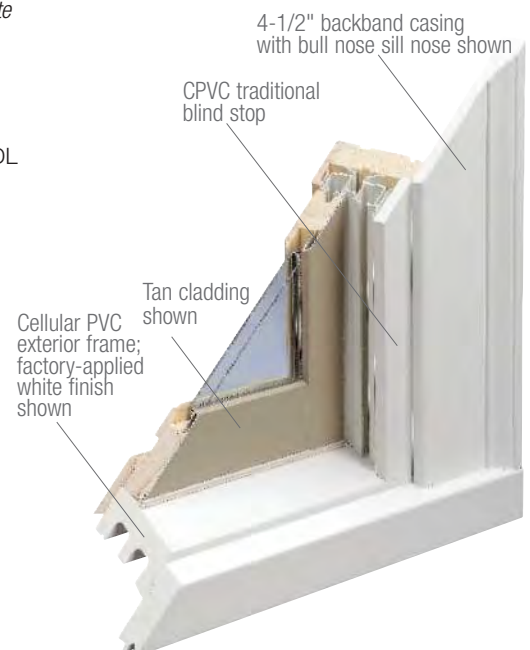
Casement and double hung hardware available in champagne, white, bronze and black; optional finishes in faux bronze, oil rubbed bronze, satin nickel and bright brass

Sliding Patio Door Hardware

Contemporary or Euro handle available in white, brushed chrome, polished chrome, satin nickel, antique nickel, brass, antique brass, faux bronze, oil rubbed bronze and black (Euro not available in antique nickel)

Performance Ratings

For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar



6/6/25, 11:38 AM

PrintOut



7 Southern Oaks Ct
Savannah, GA 31405

912-920-4090
Fax: 912-544-1061



pacelighting.com



hello@pacelighting.com



One Light Outdoor Wall Lantern

\$116.98

List Price: ~~\$194.97~~

You Save: **\$77.99**



Item ID: 317926
MFG #: 8547701-44
Manufacturer: **Generation Lighting**
Finish: **Weathered Copper**
Collection: **Fredricksburg**
Width: **10.00"**
Height: **11.94"**



The Fredricksburg one light outdoor wall fixture in weathered copper creates a warm and inviting welcome presentation for your home's exterior. The traditional Fredricksburg outdoor lighting collection by is an authentic take on the classic station light, perfect for a coastal hideaway, country home or urban abode, and can even be used indoors to enhance rustic decor. The two finish options of Satin Aluminum and Weathered Copper create completely different looks. Compliant with Dark Sky standards, the fixtures purposefully direct light downward, limiting any light leak out the sides. The collection includes a one-light outdoor pendant and small and large one-light outdoor wall lanterns. Incandescent, integrated LED and ENERGY STAR-qualified LED lamping are available. The advanced, integrated LED option has warm-on-dim technology that warms in color when dimmed, going from 2700K to 2200K and is California Title 24 compliant.

Bulbs

Voltage: 120 V

Qty.	Type	Base	Watt	Incl.	Source	LM.	CCT	CRI	Avg.Life	Dim	Beam
1	A19	Medium	100.00 W	-	-	-	-	-	-	-	-

Details

Safety Listing: cETL
Safety Rating: Wet
Canopy: D:4 3/4" DP:1 1/8" OB UP:5 3/4" OB DOWN:6 1/4" Round
Wire: 6"Black/White
Extension: 11.63"
Weight: 2.60 lb

Connection: **Hardwired**
Designer: **Sea Gull**
UPC: 785652108570

Please be advised that all prices and information shown here are subject to verification by showroom personnel. In the event of a discrepancy, we reserve the right to make any corrections necessary.



7 Southern Oaks Ct
Savannah, GA 31405



pacelighting.com



hello@pacelighting.com



18.5" Copper Lantern

\$904.00

List Price: ~~\$1,356.00~~

You Save: **\$452.00**



Manufacturer #: **AS41G-PY**

Manufacturer: **Coppersmith +**

Collection: **Adams Street**



from the Adams Street collection in Antique Copper finish with Natural Gas light source, Ceiling installation, Pendant Yoke mount, No accessory, As Shown top, As Shown bottom and No finial.

Options

			-	-	-	-	
G Natural Gas	Ceiling	PY Pendant Yoke	No	As Shown	As Shown	No	Antique Copper

This well known 18th-century architect's John and Robert Adam are well known for their enduring and famous works in London such as the Moffat House, The Hopetown House, Dumfries House and most notably the neoclassical Adelphi district where Collection is located in London. This lantern was designed using common architectural elements from these timeless works of architecture. To this day gas lanterns adorn these fabulous works. ?

Bulbs

Qty.	Type	Base	Watt	Incl.	Source	LM.	CCT	CRI	Avg.Life	Dim	Beam
2	-	Candelabra	-	-	-	-	-	-	-	-	-

Details

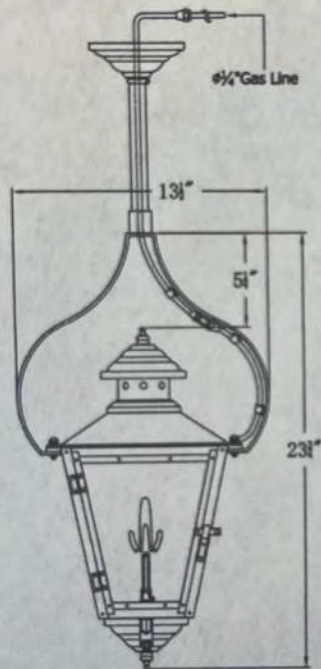
Height: **18.50"**
Width: **10.50"**
Length: **12.00"**
Extension: **12.00"**

Please be advised that all prices and information shown here are subject to verification by showroom personnel. In the event of a discrepancy, we reserve the right to make any corrections necessary.

<https://pacelighting.com/coppersmith--/as41/options-6201-6208-6217-6235-6245-6244-9184-6204/18-5---copper-lantern>

Temporary Printing Window

ADAM STREET 41 Gas With Pendent Yoke
(AS-41G PY12)



The CopperSmith

Product Description	Drawing Description	9152 Hard Drive Foley Alabama 36536
Burner: Single	REV: A/0	
Gas Valve Name: VNG(P)50	Date: 06/15/2021	SKU Number: AS-41G
	Drawing by: Jason Huang	Product Name: Adam Street 41 Gas

6/25, 11:39 AM

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7 Southern Oaks Ct
Savannah, GA 31405

912-920-4090
Fax: 912-544-1081



pacelighting.com



hello@pacelighting.com



23" Copper Lantern

\$624.00

List Price: ~~\$936.00~~
You Save: **\$312.00**



Manufacturer #: **SO22G**
Manufacturer: **Coppersmith +**
Collection: **Somerset**



from the Somerset collection in Antique Copper finish with Natural Gas light source, Wall installation, Wall mount, No hook and scroll, No accessory, No overlay, As Shown top, As Shown bottom and No finial.

Options

			-	-	-	-	-	-	
G	Wall	Wall	No	No	No	As Shown	As Shown	No	Antique Copper
Natural Gas									

Historic Collection county, known as the "Jewel of the Southwest", has some of the most stunning Towns and Villages in England. These towns and villages are still adorned with copper gas lighting. Lanterns similar to the Collection lantern family can be seen throughout this part of England.

Bulbs

Qty.	Type	Base	Watt	Incl.	Source	LM.	CCT	CRI	Avg.Life	Dim	Beam
2	-	Candelabra	-	-	-	-	-	-	-	-	-

Details

Height: 23.00"
Width: 10.00"
Length: 11.50"
Extension: 11.50"

Please be advised that all prices and information shown here are subject to verification by showroom personnel. In the event of a discrepancy, we reserve the right to make any corrections necessary.



TruStile (TS) Series

PL220

Sticking:	Bevel (BV)
Panel:	Raised (A)
Glass:	Clear
Material:	MDF
Finish:	Light Gray
Displayed Size:	32" x 84" x 1 ¾"

Your design code is:

1ibVOWYEG

(Click to see your design in the Door Visualizer)

Need assistance?

Contact us and reference your design code:

(877) 283-4511

visualizer@trustile.com

www.trustile.com

Every TruStile door is made to order. The TruStile Door Visualizer is designed to showcase a single door style as a static size in all material options and profiles. When choosing a wood door, please keep in mind it is a natural product and grain pattern will vary from results shown here. Individual computer and monitor settings may prevent exact product color duplication. Some limitations may apply based on size and application. To configure pairs, entry systems, or single doors of different sizes, please visit our [Project Configurator](#). Not all door styles and options are available in Entry Systems. Please see your TruStile dealer for samples and confirm product availability before selecting your final design.