

111 ANN STREET

SAVANNAH, GA 31401

HISTORIC DISTRICT BOARD OF REVIEW PETITION
PART 2: DESIGN DETAILS
FILE NUMBER: 18-005088-COA

MARCH 13, 2019

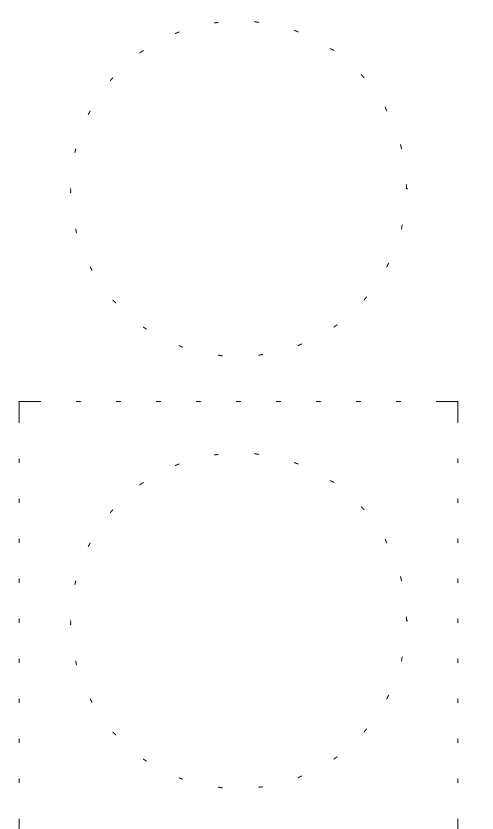
Flank

111 ANN STREET
MULTIFAMILY



LS3P

321 WEST CONGRESS STREET SUITE 301
SAVANNAH, GEORGIA 31401
TEL. 912.695.2111 FAX 912.298.0206
WWW.LS3P.COM



MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

ARCHITECT

LS3P ASSOCIATES LTD.
321 WEST CONGRESS STREET
SAVANNAH, GA 31401
PHONE: (912) 695-2111
NEIL DAWSON, AIA
EMAIL: NEILDAWSON@LS3P.COM

OWNER

FLANK
520 WEST 27TH STREET, SUITE 403
NEW YORK, NY 10001
PHONE: (212) 552-8224
JASON CAUSTON
EMAIL: JCAUSTON@FLANKONLINE.COM

SHEET INDEX

SHEET	NAME	ISSUE DATE	REVISION	REVISION DATE
G-001	COVER SHEET	03/13/19		
GDP001	EXISTING CONDITIONS SURVEY	10/24/18		
A001	EXISTING CONDITIONS & DEMOLITION PLAN	10/24/18		
A-011	ARCHITECTURAL SITE PLAN	03/13/19		
A-101	PARKING 1 FLOOR PLAN	03/13/19		
A-102	PARKING 2 FLOOR PLAN	03/13/19		
A-103	FIRST FLOOR PLAN	03/13/19		
A-104	PARKING 3 FLOOR PLAN	03/13/19		
A-105	SECOND FLOOR PLAN	03/13/19		
A-106	THIRD FLOOR PLAN	03/13/19		
A-107	FOURTH FLOOR PLAN	03/13/19		
A-108	FIFTH FLOOR PLAN	03/13/19		
A-109	SIXTH FLOOR PLAN	03/13/19		
A-151	ROOF PLAN	03/13/19		
A-201	EXTERIOR ELEVATIONS	03/13/19		
A-202	EXTERIOR ELEVATIONS	03/13/19		
A-203	EXTERIOR ELEVATIONS - COURTYARD	03/13/19		
A-211	SITE ELEVATIONS	03/13/19		
A-301	BUILDING SECTIONS	03/13/19		
A-302	BUILDING SECTIONS	03/13/19		
A-351	WALL SECTIONS	03/13/19		

SHEET INDEX

SHEET	NAME	ISSUE DATE	REVISION	REVISION DATE
A-352	WALL SECTIONS	03/13/19		
A-353	WALL SECTIONS	03/13/19		
A-354	WALL SECTIONS	03/13/19		
A-355	WALL SECTIONS	03/13/19		
A-421	ENLARGED ELEVATIONS	03/13/19		
A-422	ENLARGED ELEVATIONS	03/13/19		
A-423	ENLARGED ELEVATIONS	03/13/19		
A-424	ENLARGED ELEVATIONS	03/13/19		
A-425	ENLARGED ELEVATIONS	03/13/19		
A-426	ENLARGED ELEVATIONS	03/13/19		
A-427	ENLARGED ELEVATIONS	03/13/19		
A-428	ENLARGED ELEVATIONS	03/13/19		
A-511	SECTION DETAILS	03/13/19		
A-512	SECTION DETAILS	03/13/19		
A-521	HEAD & SILL DETAILS	03/13/19		
A-522	HEAD & SILL DETAILS	03/13/19		
A-551	ROOF DETAILS	03/13/19		
A-604	WINDOW ELEVATIONS	03/13/19		
A-605	STOREFRONT ELEVATIONS	03/13/19		

PROJECT: 5512-184770

DATE: 03/13/19

DRAWN BY: LS3P

CHECKED BY: BH

COVER SHEET

G-001

PART II SUBMITTAL

GENERAL DEVELOPMENT PLAN

110 ANN STREET
111 ANN STREET
111 MLK JR. BLVD
113 MLK JR. BLVD
119 MLK JR. BLVD



321 WEST CONGRESS STREET SUITE 301
SAVANNAH, GEORGIA 31401
TEL. 912.695.2111 FAX 912.298.0206
WWW.LS3P.COM

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date
-----	-------------	------

PROJECT:
DATE: OCTOBER 24, 2018
DRAWN BY:
CHECKED BY:

EXISTING
CONDITIONS
SURVEY

GDP001

PART 1 SUBMITTAL

GENERAL NOTES

110 ANN STREET
LOTS B, D, F & H OF MIDDLE OGLETHORPE WARD
PIN: 2-0016-21-001
ZONING: BC-1
0.736 ACRES (32,508 SF)
EXISTING USE: COMMERCIAL (MERCHANTILE)
PROPOSED USE: HOTEL
OFF-STREET PARKING REQUIREMENTS: NONE
UNITS: 224 TOTAL (43 STUDIO, 86 QUEEN, 95 KING)
DENSITY: N/A
PARKING PROVIDED: NONE

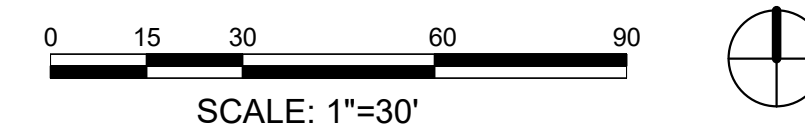
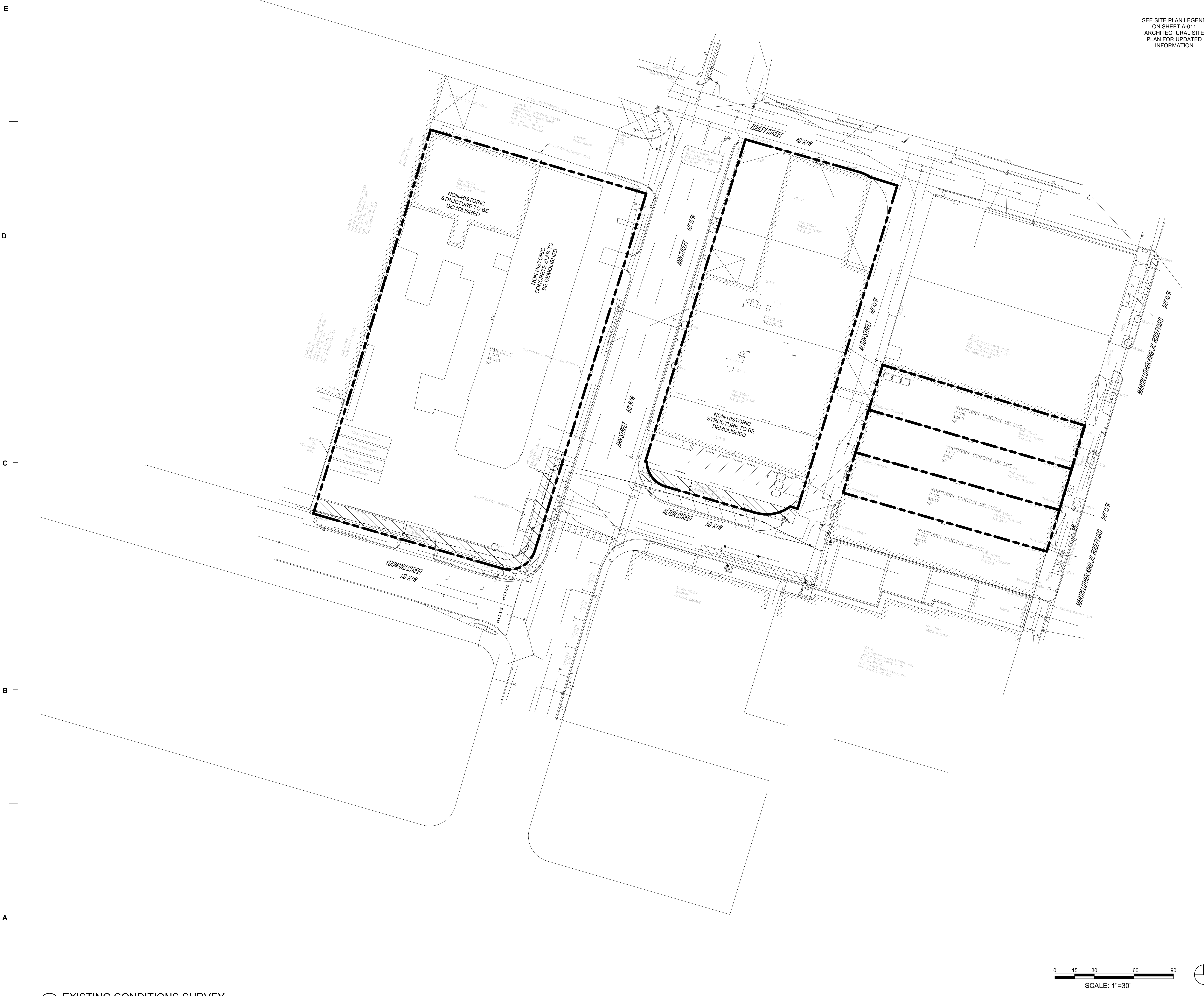
111 ANN STREET
PARCEL C OF OGLETHORPE PLAZA, SAVANNAH HISTORIC DISTRICT
PIN: 2-0016-20-001
ZONING: B-C
1.182 ACRES (51,401 SF)
EXISTING USE: WHOLESALING AND ACCESSORY WAREHOUSING
PROPOSED USE: APARTMENT BUILDING USED BY A COLLEGE (MIXED USE)
OFF-STREET PARKING REQUIREMENTS: MINIMUM OF 1 SPACE PER DWELLING UNIT IS
REQUIRED WHEN THERE ARE NO MORE THAN TWO BEDROOMS
UNITS: 212 TOTAL (163 STUDIO, 39 ONE-BEDROOM, 20 TWO-BEDROOM)
DENSITY: 180 UNITS PER ACRE
PARKING PROVIDED: 247 SPACES

111 MARTIN LUTHER KING JR. BLVD
NORTH HALF LOT C OF MIDDLE OGLETHORPE WARD
PIN: 2-0016-22-003
ZONING: B-C
0.125 ACRES (5,390 SF)
EXISTING USE: VACANT
PROPOSED USE: MIXED USE, NONRESIDENTIAL (RESTAURANT, BUSINESS OFFICE)
OFF-STREET PARKING REQUIREMENTS: NONE
UNITS: N/A
DENSITY: N/A
PARKING PROVIDED: NONE

113 MARTIN LUTHER KING JR. BLVD
SOUTH HALF LOT C OF MIDDLE OGLETHORPE WARD
PIN: 2-0016-22-004
ZONING: B-C
0.125 ACRES (5,390 SF)
EXISTING USE: RESTAURANT
PROPOSED USE: MIXED USE, NONRESIDENTIAL (RESTAURANT, BUSINESS OFFICE)
OFF-STREET PARKING REQUIREMENTS: NONE
UNITS: N/A
DENSITY: N/A
PARKING PROVIDED: NONE

119 MARTIN LUTHER KING JR. BLVD
NORTH HALF LOT A OF MIDDLE OGLETHORPE WARD
PIN: 2-0016-22-005
ZONING: B-C
0.125 ACRES (5,390 SF)
EXISTING USE: RESTAURANT
PROPOSED USE: MIXED USE, NONRESIDENTIAL (RESTAURANT, BUSINESS OFFICE)
OFF-STREET PARKING REQUIREMENTS: NONE
UNITS: N/A
DENSITY: N/A
PARKING PROVIDED: NONE

SEE SITE PLAN LEGEND
ON SHEET A-011
ARCHITECTURAL SITE
PLAN FOR UPDATED
INFORMATION



VICINITY MAP



A1 EXISTING CONDITIONS SURVEY
1" = 30'-0"

1

2

3

4

5

6



D5 VIEW FROM ANN STREET
12" = 1'-0"



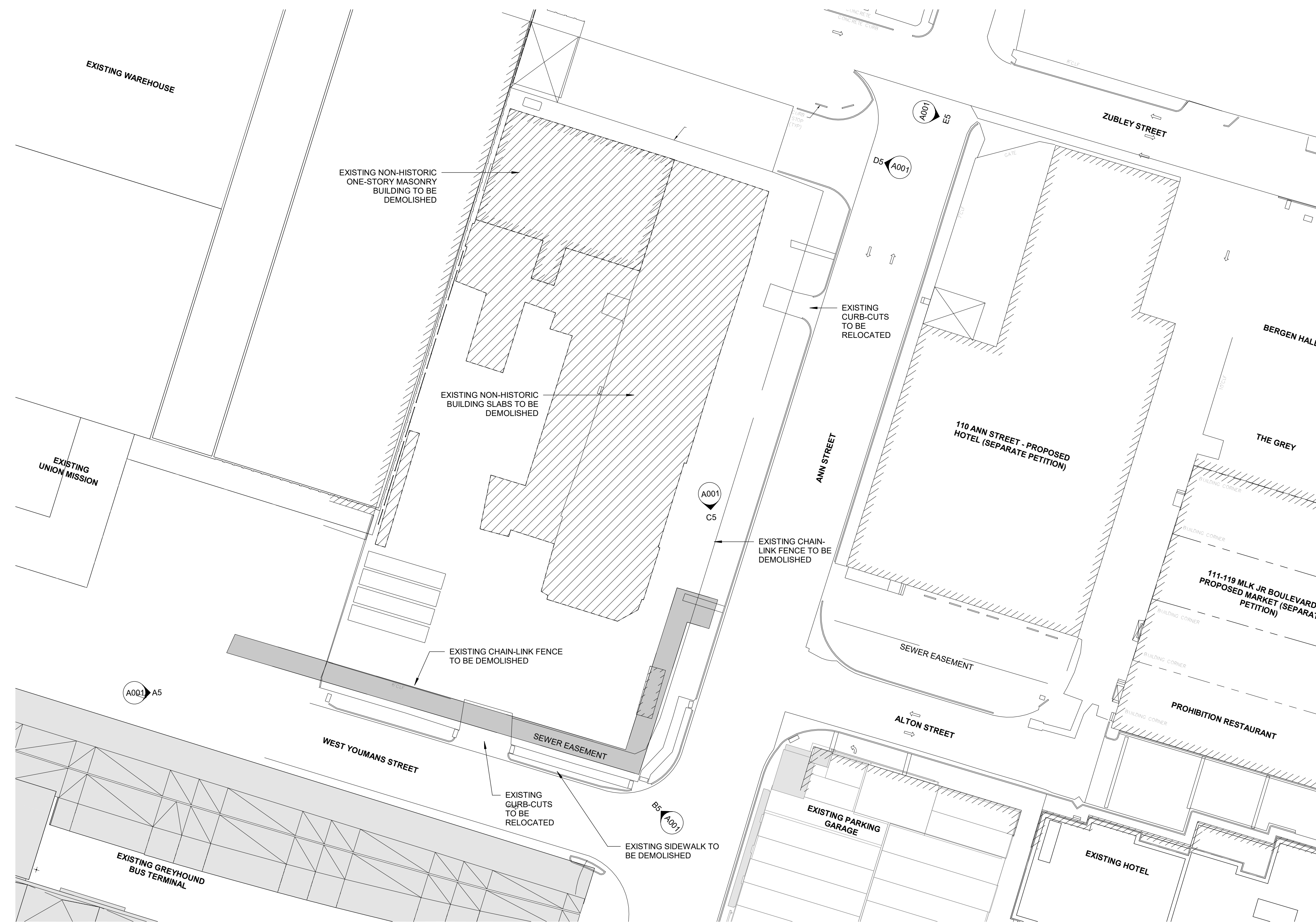
C5 VIEW TOWARDS ALTON STREET
12" = 1'-0"



B5 VIEW FROM YOUMANS STREET
12" = 1'-0"



A5 VIEW ALONG YOUMANS STREET
12" = 1'-0"



B1 EXISTING CONDITIONS & DEMOLITION SITE PLAN
1" = 30'-0"



A1 EXISTING AERIAL
12" = 1'-0"



SITE PLAN LEGEND

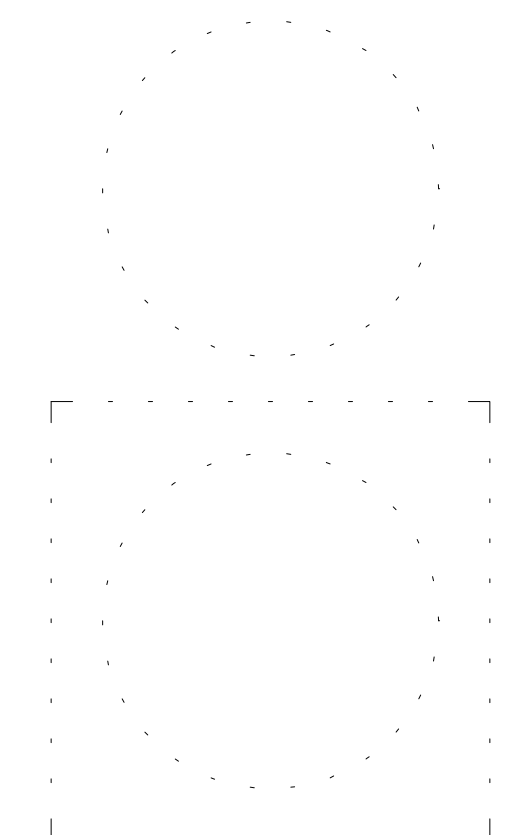
111 ANN STREET
 PARCEL C OF OGLETHORPE PLAZA, SAVANNAH HISTORIC DISTRICT
 PIN: 2-0016-20-001
 ZONING: B-C
 1.182 ACRES (51,401 SF)
 ALLOWABLE LOT COVERAGE: 100%
 PROPOSED LOT COVERAGE: 87%
 ALLOWABLE BUILDING FOOTPRINT (PER : 40,500 SF)
 PROPOSED BUILDING FOOTPRINT: 44,632 SF
 EXISTING USE: WHOLESALING AND ACCESSORY WAREHOUSING
 PROPOSED USE: APARTMENT BUILDING (MIXED USE)
 OFF-STREET PARKING REQUIREMENTS:
 RESIDENTIAL USES: 1 SPACE PER UNIT (213 DWELLING UNITS) = 213 SPACES
 COMMERCIAL USES, RETAIL: 1 SPACE PER 250 SF (9,410 SF) = 38 SPACES X 60 PERMITTED REDUCTION = 15 SPACES
 228 PARKING SPACES REQUIRED X 5% MAXIMUM REDUCTION = 11 SPACES (REQUIRING 22 MOTORCYCLE/MOPED PARKING SPACES)
 OFF-STREET BICYCLE PARKING REQUIREMENTS:
 RESIDENTIAL: 1 SPACE PER 10 UNITS (213 UNITS) = 21 SPACES
 COMMERCIAL USES, RETAIL, GENERAL: 5% OF VEHICLE PARKING (15 SPACES) = 1 SPACE
 PARKING PROVIDED:
 193 AUTO, REGULAR
 27 AUTO, COMPACT
 7 AUTO, ADA ACCESSIBLE
 24 MOPED / MOTORCYCLE
 25 BICYCLE

Flank

111 ANN STREET
 MULTIFAMILY



321 WEST CONGRESS STREET SUITE 301
 SAVANNAH, GEORGIA 31401
 TEL. 912.695.2111 FAX 912.298.0206
 WWW.LS3P.COM



MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
 COPYRIGHT 2018 ALL RIGHTS RESERVED
 PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

SHEET KEYNOTE LEGEND

PROJECT: 5512-184770
 DATE: 03/13/19
 DRAWN BY: BH
 CHECKED BY: BH

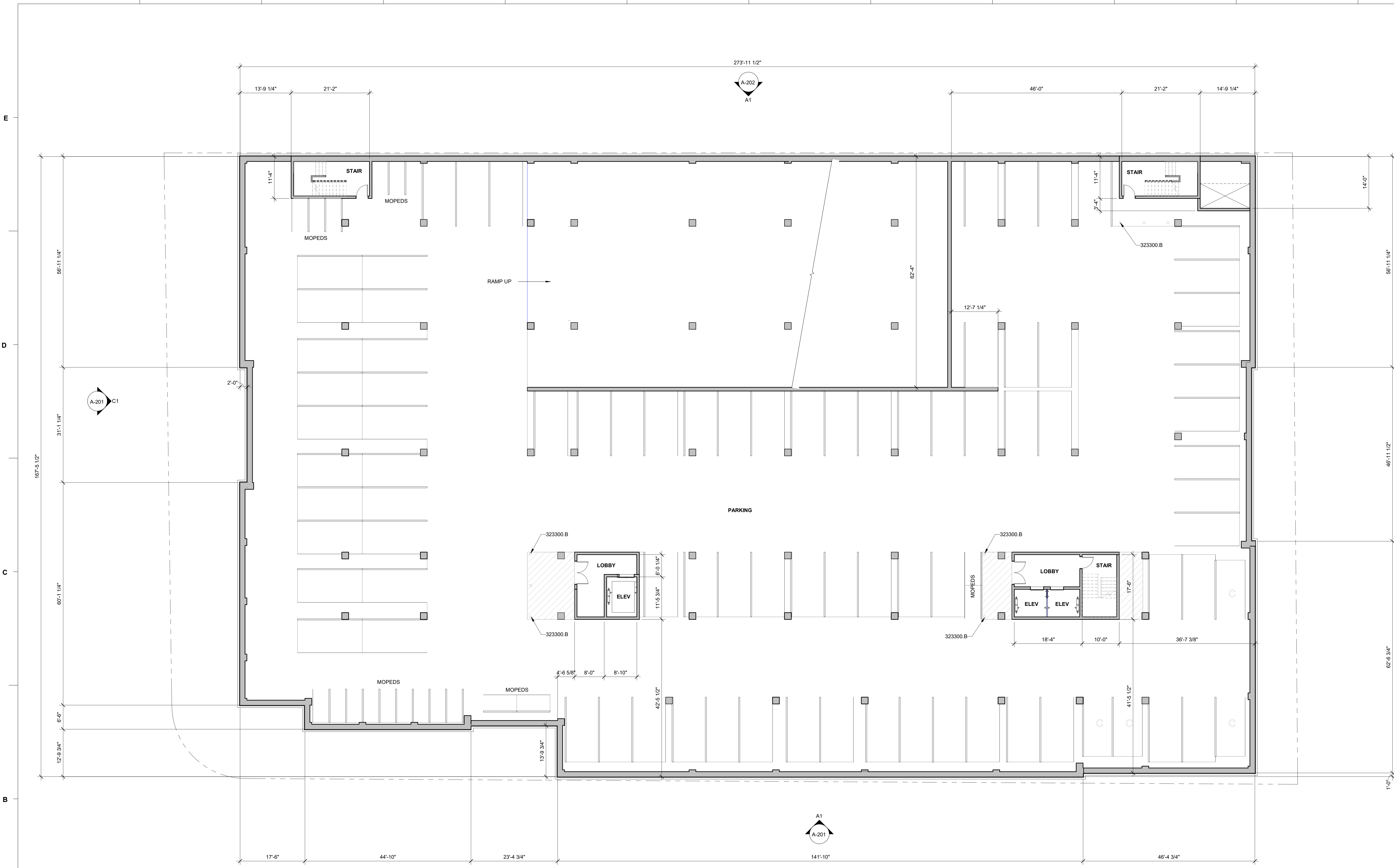
ARCHITECTURAL
 SITE PLAN

A-011

A1 ARCHITECTURAL SITE PLAN
 1/16" = 1'-0"

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_DDD\jryanhanden@ls3p.com.rvt
 3/13/2019 9:27:01 AM

No.	Description	Date



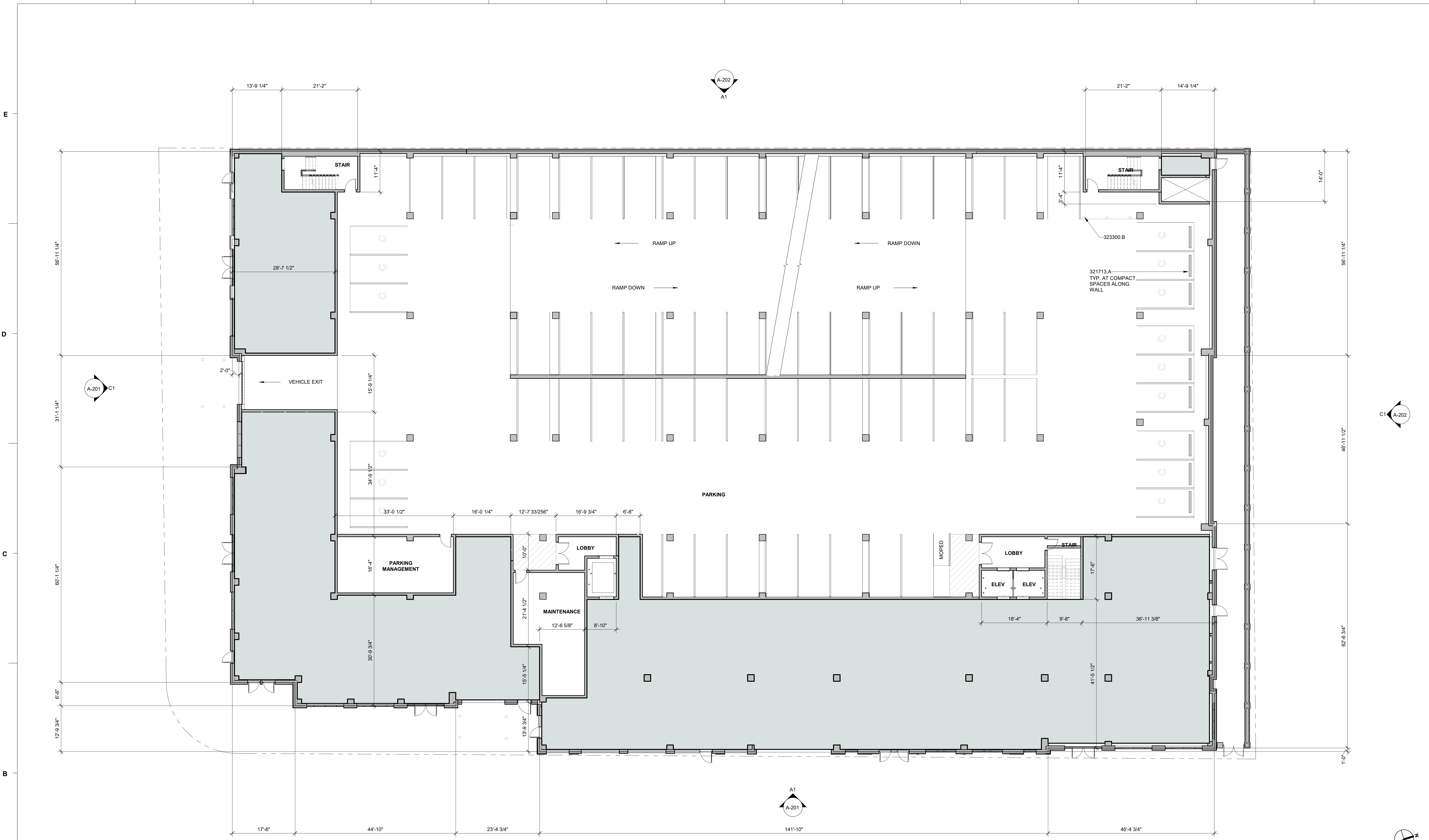
A1 PARKING 1
3/32" = 1'-0"

SHEET KEYNOTE LEGEND

323300 B BOLLARD

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_Laymanhand@ls3p.com.rvt
3/13/2019 9:46:13 AM

No.	Description	Date



A1 PARKING 2
3/32" = 1'-0"

SHEET KEYNOTE LEGEND

321713.A	CONCRETE PARKING BUMPER
323300.B	BOLLARD

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_Laymanhande@ls3p.com.rvt
3/13/2019 9:46:32 AM

REVISIONS:

No.	Description	Date

PROJECT: 5512-184770
DATE: 03/13/19
DRAWN BY: FL
CHECKED BY: BH

FIRST FLOOR PLAN

A-103



A1 1ST FLOOR
3/32" = 1'-0"

SHEET KEYNOTE LEGEND

105500.13.A FRONT-LOADING MAIL RECEPTACLE

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_Laymanhanden@ls3p.com.rvt
3/13/2019 9:46:51 AM

No.	Description	Date



A1 PARKING 3
3/32" = 1'-0"

SHEET KEYNOTE LEGEND

321713.A	CONCRETE PARKING BUMPER
323300.B	BOLLARD

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_Laymanhande@ls3p.com.rvt
3/13/2019 10:03:09 AM



A1 2ND FLOOR
3/32" = 1'-0"

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_Laymanhand@ls3p.com.rvt
3/13/2019 10:35:17 AM



A1 3RD FLOOR
3/32" = 1'-0"

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_Laymanhand@ls3p.com.rvt
3/13/2019 10:29:40 AM

No.	Description	Date



A1 FOURTH & FIFTH FLOORS PLAN
3/32" = 1'-0"

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_Laymanhand@ls3p.com.rvt
3/13/2019 10:27:40 AM

No.	Description	Date



A1 5TH FLOOR 3/32" = 1'-0"

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_Laymanhand@ls3p.com.rvt 3/13/2019 10:25:27 AM

REVISIONS:

No.	Description	Date

PROJECT: 5512-184770
DATE: 03/13/19
DRAWN BY: FL
CHECKED BY: BH

SIXTH FLOOR PLAN

A-109



A1 6TH FLOOR
3/32" = 1'-0"

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_Laymanhand@ls3p.com.rvt
3/13/2019 10:25:04 AM

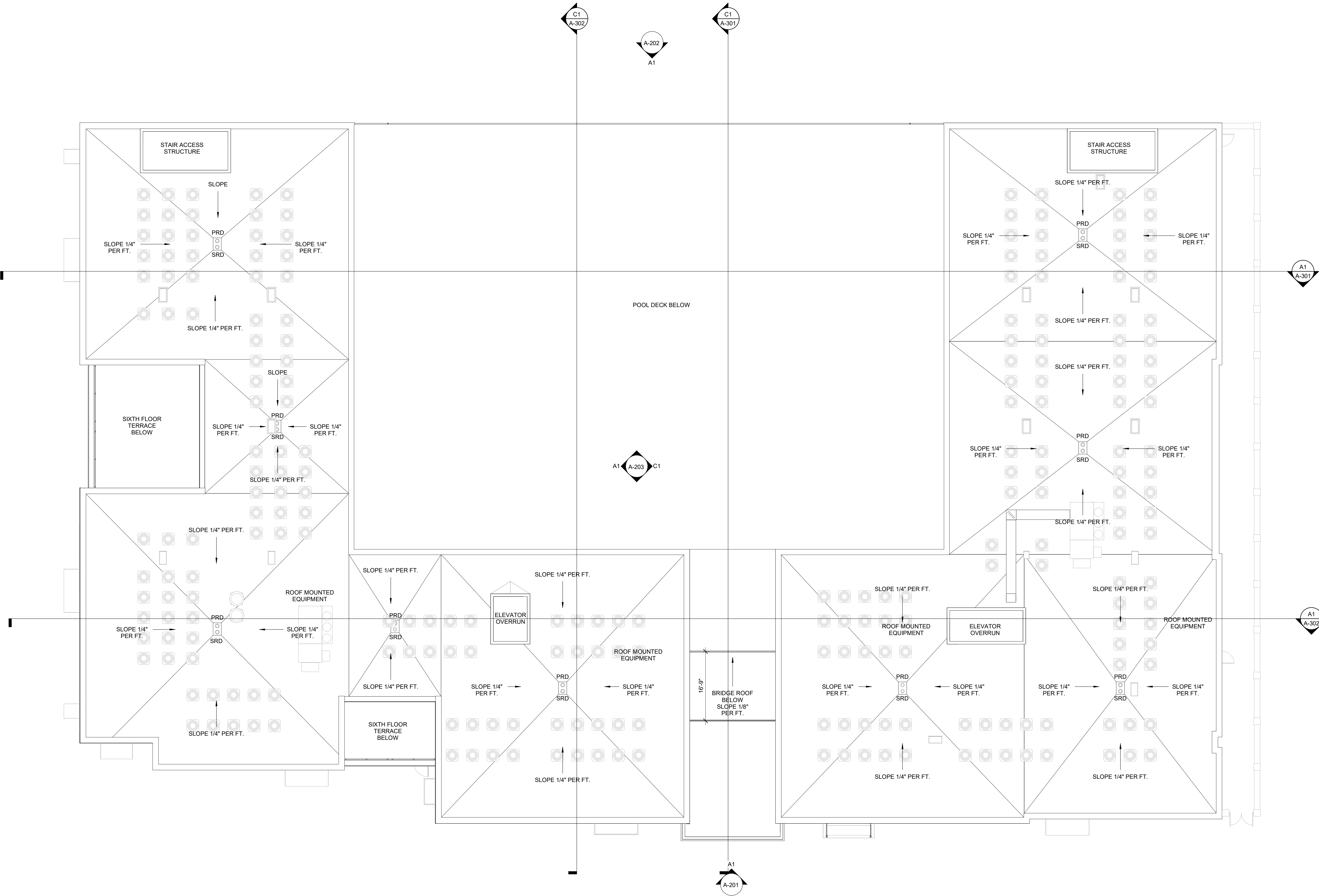
REVISIONS:

No.	Description	Date

PROJECT: 5512-184770
DATE: 03/13/19
DRAWN BY: WSM
CHECKED BY: BDH

ROOF PLAN

A-151



A1 ROOF PLAN
3/32" = 1'-0"

C:\Temp\Arch_111 Ann Street Multi-Family_2018_DD_Laymanhande@ls3p.com.rvt
3/13/2019 10:25:26 AM

No.	Description	Date

YOUMANS STREET GLAZING CALCULATIONS

GROUND FLOOR (OTHER USE - 55% MIN. REQ.)	57.8% (COMPLIES)
TYPICAL 2ND - 5TH FLOOR (UPPER FLOOR - 20% MIN. REQ.)	23.5% (COMPLIES)
6TH FLOOR (UPPER FLOOR - 20% MIN. REQ.)	25.3% (COMPLIES)

ANN STREET GLAZING CALCULATIONS

GROUND FLOOR (OTHER USE - 55% MIN. REQ.)	55.5% (COMPLIES)
TYPICAL 2ND - 5TH FLOOR (UPPER FLOOR - 20% MIN. REQ.)	32.8% (COMPLIES)
6TH FLOOR (UPPER FLOOR - 20% MIN. REQ.)	34.4% (COMPLIES)

STONE PERCENTAGE CALCULATIONS

PRIMARY FAÇADE	TOTAL WALL AREA	AREA OF NATURAL STONE	PERCENTAGE OF NATURAL STONE
SOUTH ELEVATION (YOUMANS STREET)	12,022 SF	3,603 SF	30.0%
EAST ELEVATION (ANN STREET)	19,768 SF	5,927 SF	30.0%
NORTH ELEVATION (BLDG ADJACENT)	12,305 SF	0 SF*	0%
WEST ELEVATION (BLDG ADJACENT)	12,867 SF	0 SF*	0%

* 100% MODULAR MASONRY ON NON-STREET-FRONTING FAÇADE

MATERIAL LEGEND

AL-1	ALUMINUM WINDSOR - DARK BRONZE OR YKK - BLACK	
AL-2	ALUMINUM WINDSOR - MATCH SHERWIN-WILLIAMS SW 7659 GRIS	
AL-3	ALUMINUM COLOR TO MATCH STUCCO FINISH	
ST-1	STUCCO STO STUCCO - WINTER WHITE	
PT-1	PAINT SHERWIN-WILLIAMS SW 6053 REDDENED EARTH SEMIGLOSS	
PT-2	PAINT SHERWIN-WILLIAMS SW 7674 PEPPERCORN SEMIGLOSS	
PT-3	PAINT SHERWIN-WILLIAMS SW 9173 SHITAKE SEMIGLOSS	
PT-4	PAINT SHERWIN-WILLIAMS SW 6990 CAVIAR SEMIGLOSS	
FB-1	FABRIC SUNBRELLA - SILICA CHARCOAL ACRYLIC	
GR-1A	GROUT COOSA - MAHOGANY (PROMENADE) 3/8" JOINT	
GR-1B	GROUT COOSA - DARK WALNUT (MAROUS) 3/8" JOINT	
BR-1	BRICK PALMETTO BRICK - CARAMEL MODULAR, STANDARD RUNNING BOND FIELD BRICK	
GR-2	GROUT COOSA - PREMIUM DARK (PROMENADE) 3/8" JOINT	
BR-2	BRICK ACME BRICK - ONYX VELOUR MODULAR, STANDARD RUNNING BOND FIELD BRICK	
S-1	STONE POLYCOR GRANITE - AMERICAN BLACK SANDBLASTED	
CS-1	CAST STONE ARRISCRAFT - MAGNOLIA SMOOTH	



C1 SOUTH ELEVATION (AT YOUMANS STREET)

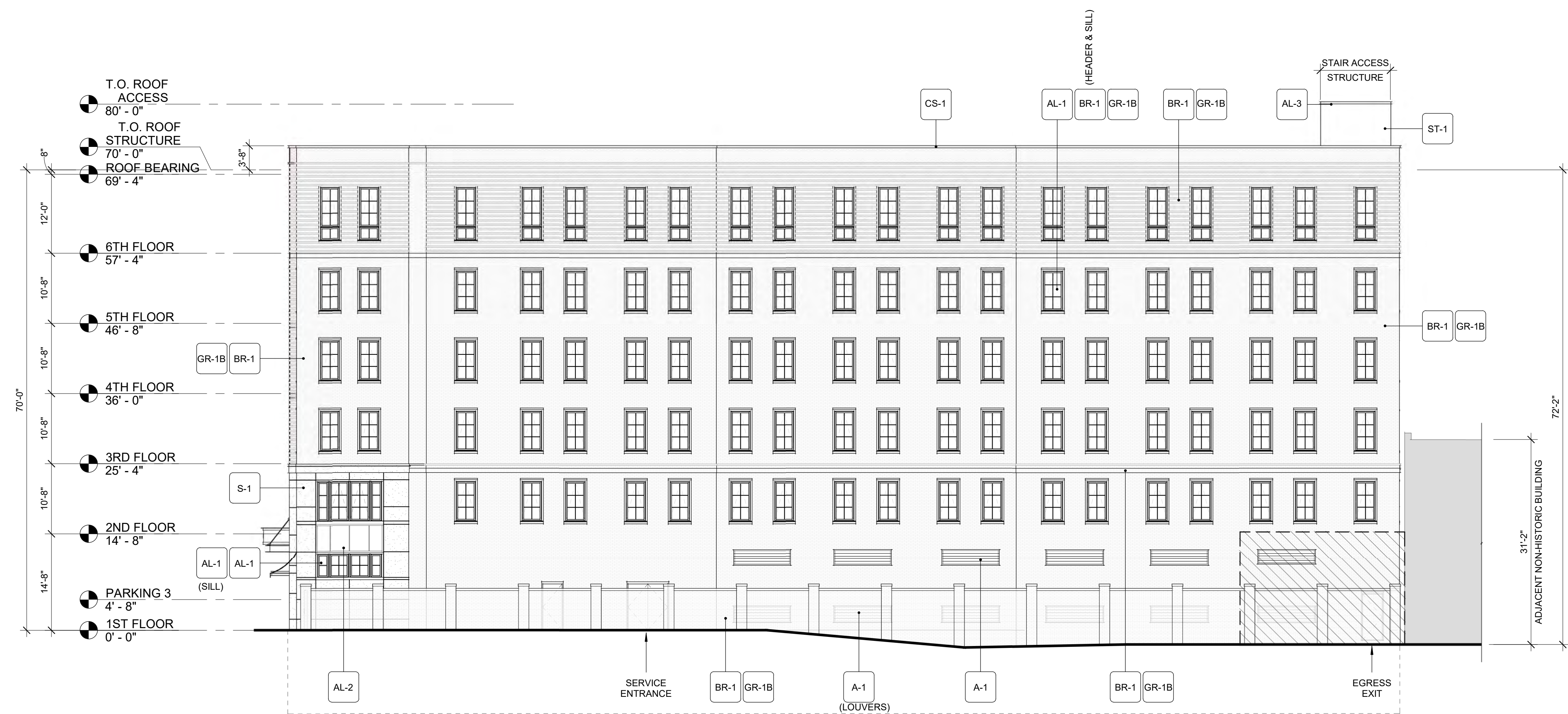
3/32" = 1'-0"



A1 EAST ELEVATION (AT ANN STREET)

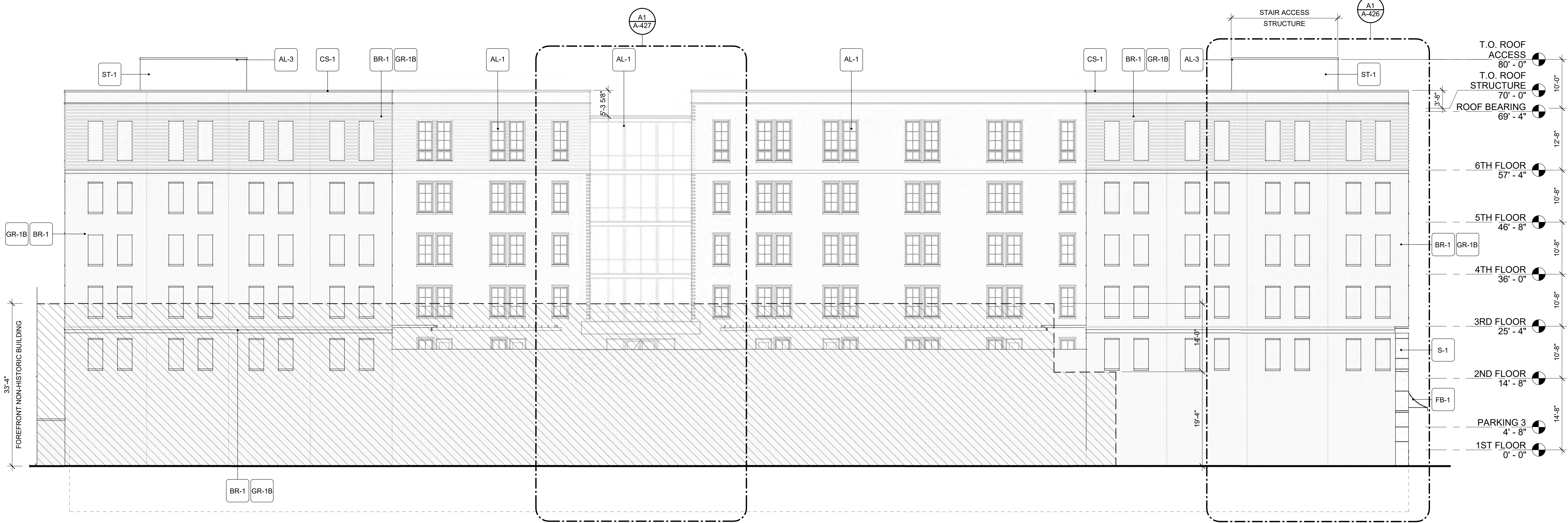
3/32" = 1'-0"

No.	Description	Date



C1 NORTH PROPERTY ELEVATION

3/32" = 1'-0"



A1 WEST PROPERTY ELEVATION

3/32" = 1'-0"

MATERIAL LEGEND

AL-1	ALUMINUM WINDSOR - DARK BRONZE OR YKK - BLACK	
AL-2	ALUMINUM WINDSOR - MATCH SHERWIN-WILLIAMS SW 7859 GRIS	
AL-3	ALUMINUM COLOR TO MATCH STUCCO FINISH	
ST-1	STUCCO STO STUCCO - WINTER WHITE	
PT-1	PAINT SHERWIN-WILLIAMS SW 6053 REDDENED EARTH SEMIGLOSS	
PT-2	PAINT SHERWIN-WILLIAMS SW 7674 PEPPERCORN SEMIGLOSS	
PT-3	PAINT SHERWIN-WILLIAMS SW 9173 SHITAKE SEMIGLOSS	
PT-4	PAINT SHERWIN-WILLIAMS SW 6990 CAVIAR SEMIGLOSS	
FB-1	FABRIC SUNBRELLA - SILICA CHARCOAL ACRYLIC	
GR-1A	GROUT COOSA - MAHOGANY (PROMENADE) 3/8" JOINT	
GR-1B	GROUT COOSA - DARK WALNUT (MAROUS) 3/8" JOINT	
BR-1	BRICK PALMETTO BRICK - CARAMEL MODULAR, STANDARD RUNNING BOND FIELD BRICK	
GR-2	GROUT COOSA - PREMIUM DARK (PROMENADE) 3/8" JOINT	
BR-2	BRICK ACME BRICK - ONYX VELOUR MODULAR, STANDARD RUNNING BOND FIELD BRICK	
S-1	STONE POLYCOR GRANITE - AMERICAN BLACK SANDBLASTED	
CS-1	CAST STONE ARRISCRAFT - MAGNOLIA SMOOTH	

REVISIONS:

No.	Description	Date

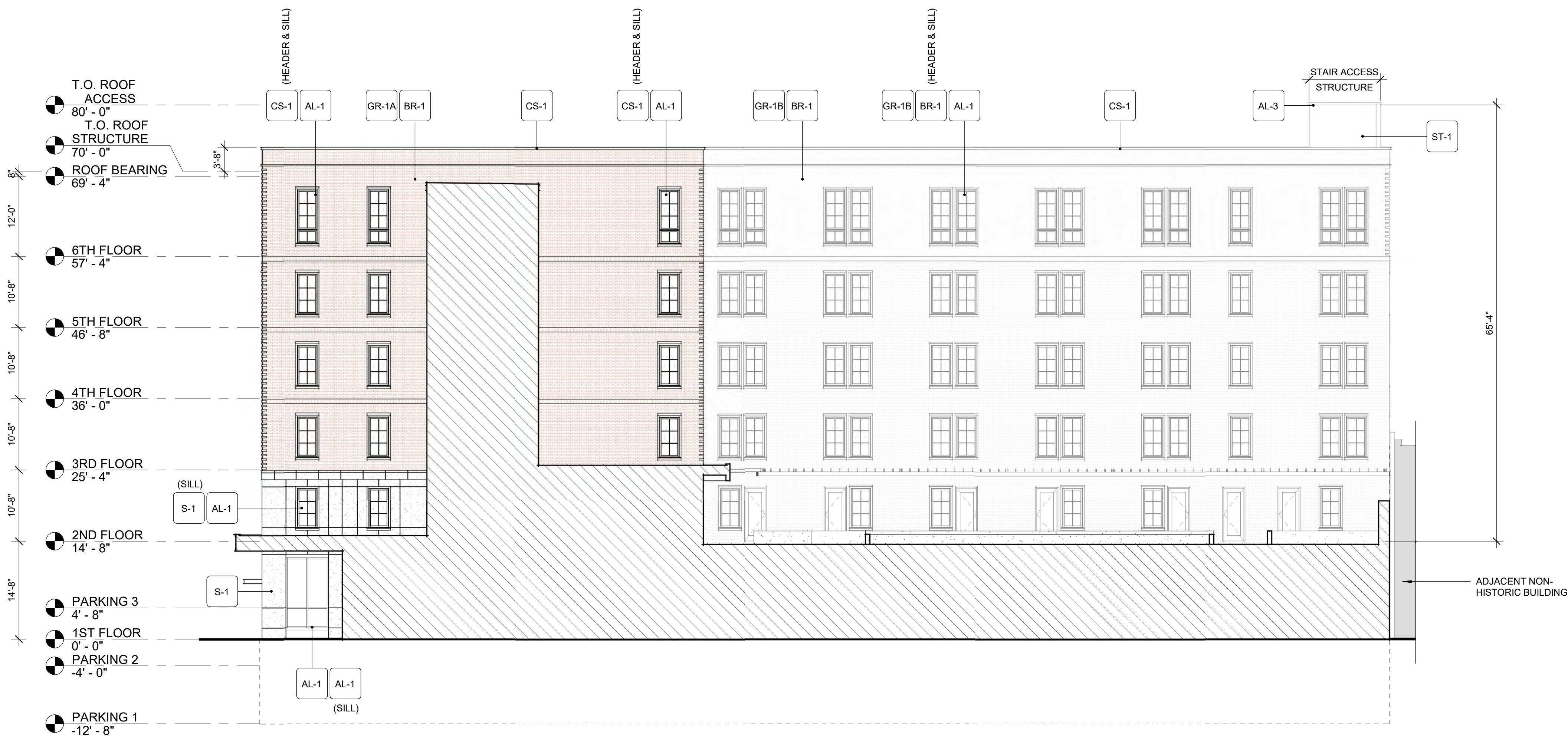
PROJECT: 5512-184770
DATE: 03/13/19
DRAWN BY: FL
CHECKED BY: BH

EXTERIOR ELEVATIONS - COURTYARD

A-203



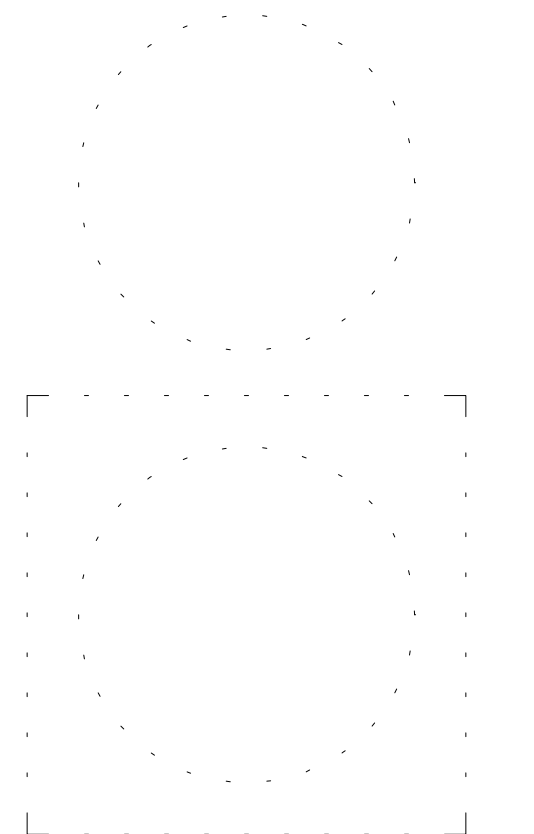
C1 INTERIOR COURTYARD NORTH ELEVATION
3/32" = 1'-0"



A1 INTERIOR COURTYARD SOUTH ELEVATION
3/32" = 1'-0"

MATERIAL LEGEND

- AL-1 ALUMINUM WINDSOR - DARK BRONZE OR YK - BLACK
- AL-2 ALUMINUM WINDSOR - MATCH SHERWIN-WILLIAMS SW 7559 GRIS
- AL-3 ALUMINUM COLOR TO MATCH STUCCO FINISH
- ST-1 STUCCO STO STUCCO - WINTER WHITE
- PT-1 PAINT SHERWIN-WILLIAMS SW 6053 REDDENED EARTH SEMIGLOSS
- PT-2 PAINT SHERWIN-WILLIAMS SW 7674 PEPPERCORN SEMIGLOSS
- PT-3 PAINT SHERWIN-WILLIAMS SW 9173 SHITAKE SEMIGLOSS
- PT-4 PAINT SHERWIN-WILLIAMS SW 6990 CAVIAR SEMIGLOSS
- FB-1 FABRIC SUNBRELLA - SILICA CHARCOAL ACRYLIC
- GR-1A GROUT COOSA - MAHOGANY (PROMENADE) 3/8" JOINT
- GR-1B GROUT COOSA - DARK WALNUT (MAROUS) 3/8" JOINT
- BR-1 BRICK PALMETTO BRICK - CAMEL MODULAR, STANDARD RUNNING BOND FIELD BRICK
- GR-2 GROUT COOSA - PREMIUM DARK (PROMENADE) 3/8" JOINT
- BR-2 BRICK ACME BRICK - ONYX VELOUR MODULAR, STANDARD RUNNING BOND FIELD BRICK
- S-1 STONE POLYCOR GRANITE - AMERICAN BLACK SANDBLASTED
- CS-1 CAST STONE ARRISCRRAFT - MAGNOLIA SMOOTH



MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

PROJECT: 5512-184770
DATE: 03/13/19
DRAWN BY: FL
CHECKED BY: BH

SITE
ELEVATIONS

A-211

E

D

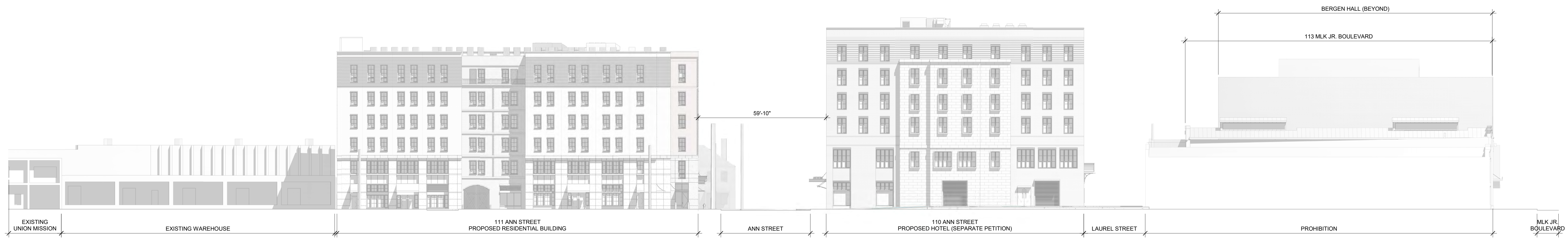


C1 ANN STREET ELEVATION
1" = 20'-0"

C

B

A



A1 YOUAMANS STREET ELEVATION
1" = 20'-0"

1

2

3

4

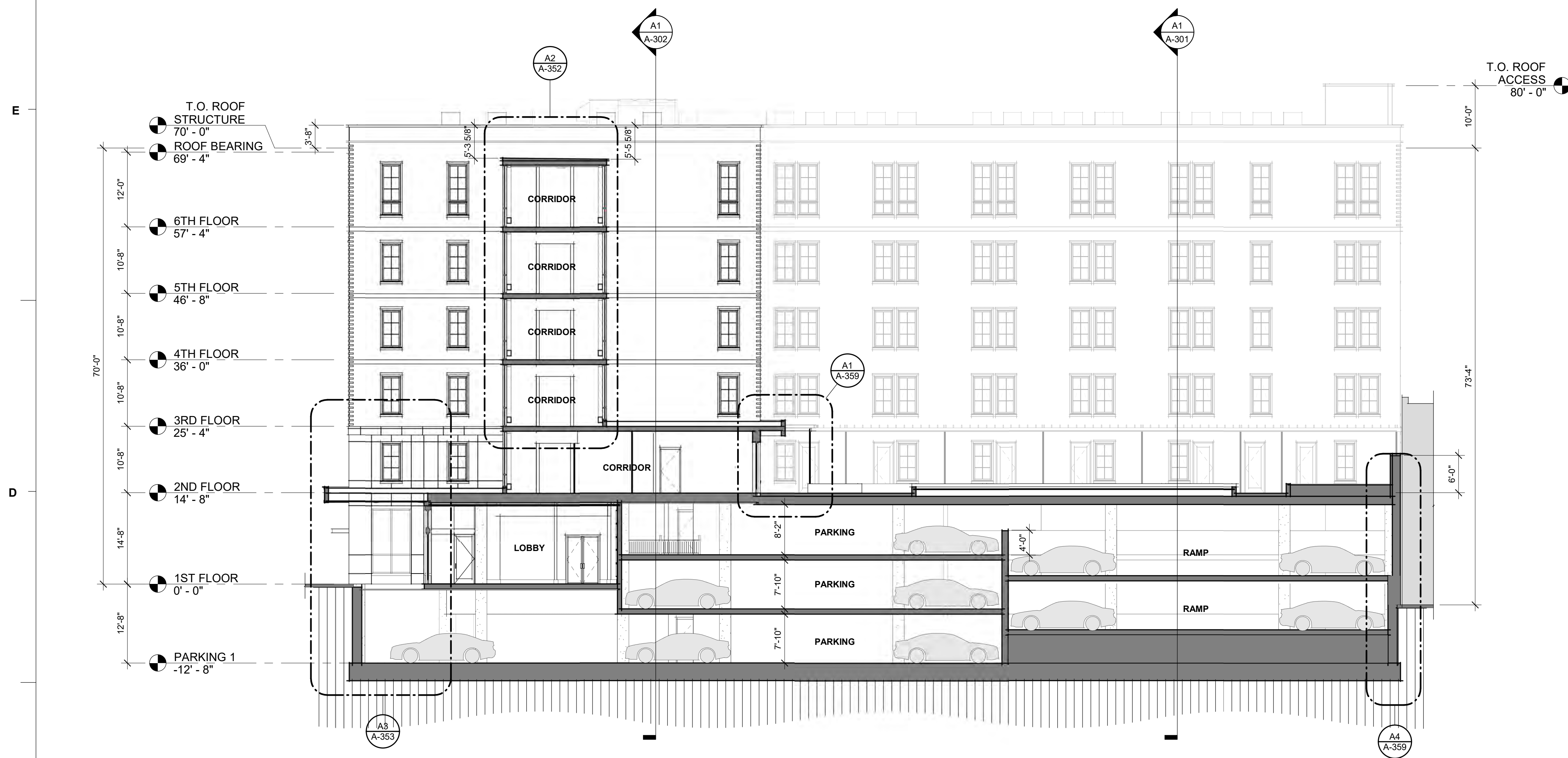
5

6

GENERAL NOTES

- POST-TENSIONED PODIUM SLABS ARE DESIGNED TO THE FOLLOWING THICKNESSES:
 - 34" CONCRETE MAT SLAB
 - 10" POST-TENSIONED CONCRETE SLAB (PARKING LEVELS)
 - 16" POST-TENSIONED CONCRETE SLAB (POOL DECK)
 - 18" POST-TENSIONED CONCRETE TRANSFER SLAB (PODIUM DECK) - THICKNESS MAY INCREASE, PENDING STRUCTURAL SYSTEM SELECTION
- PODIUM COLUMNS ARE 22" X 22" CAST-IN-PLACE, TYPICAL.

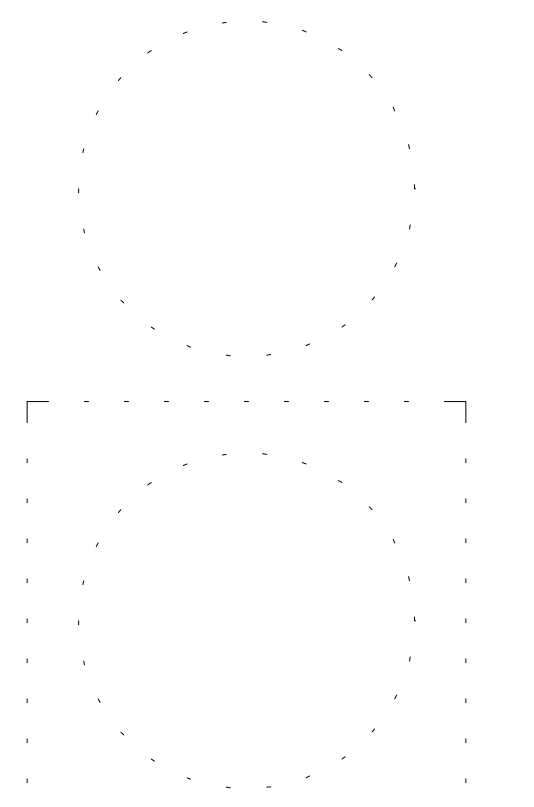
SHEET NOTES



C1 BUILDING SECTION
3/32" = 1'-0"



A1 BUILDING SECTION
3/32" = 1'-0"



MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

PROJECT: 5512-184770
DATE: 03/13/19
DRAWN BY: WM
CHECKED BY: BH

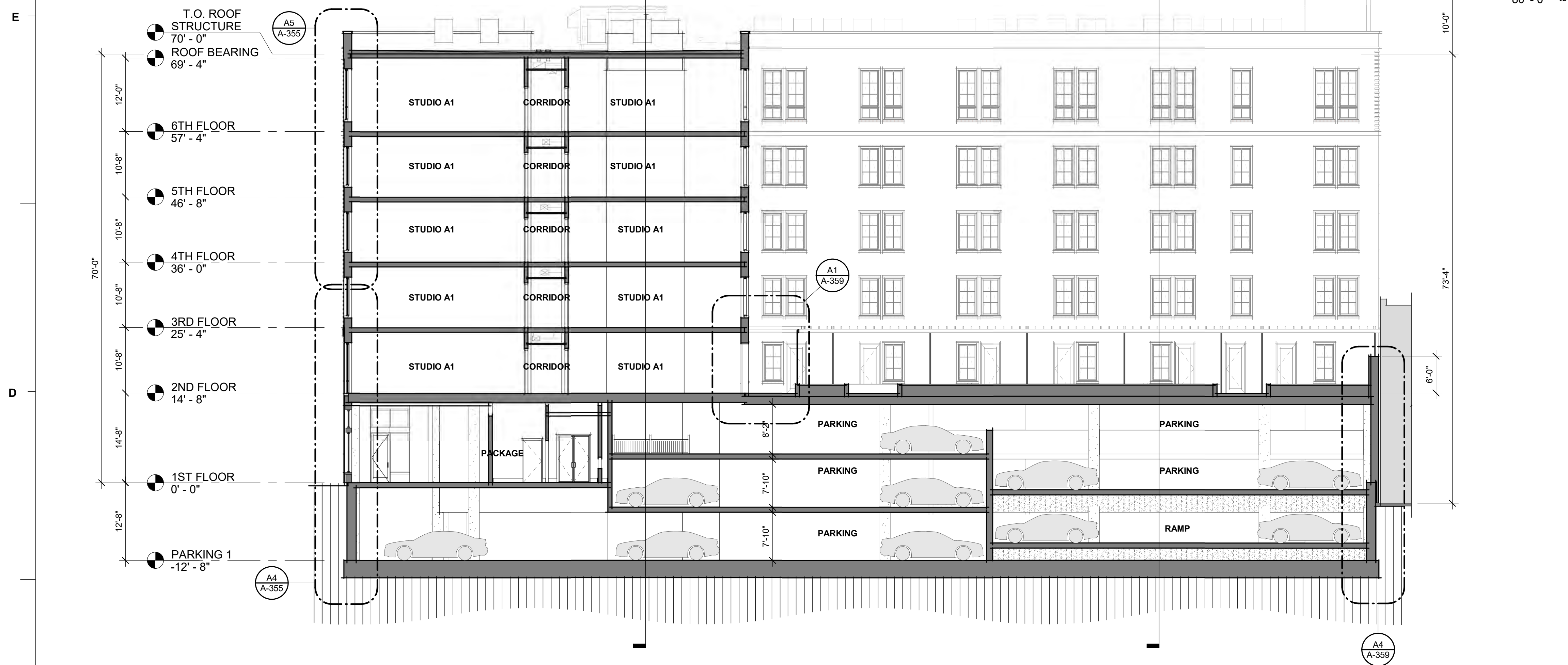
BUILDING SECTIONS

A-301

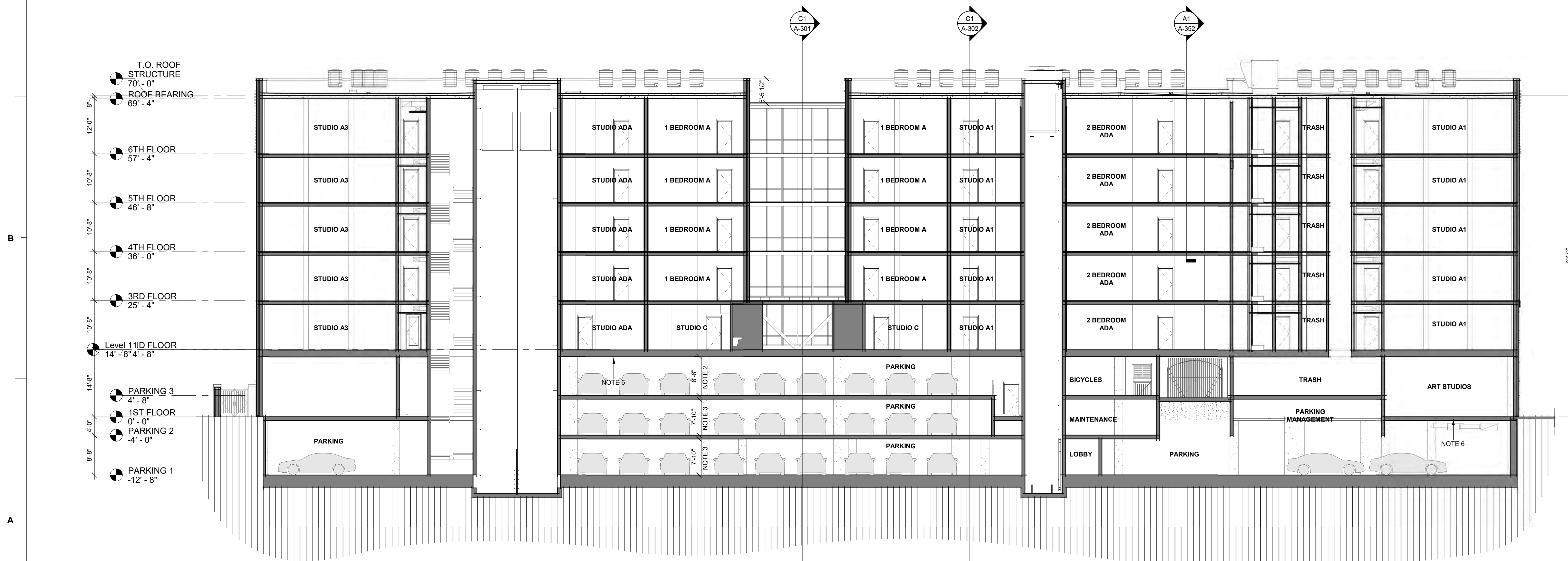
GENERAL NOTES

- POST-TENSIONED PODIUM SLABS ARE DESIGNED TO THE FOLLOWING THICKNESSES:
 - 34" CONCRETE MAT SLAB
 - 10" POST-TENSIONED CONCRETE SLAB (PARKING LEVELS)
 - 18" POST-TENSIONED CONCRETE SLAB (POOL DECK)
 - 18" POST-TENSIONED CONCRETE TRANSFER SLAB (PODIUM DECK) - THICKNESS MAY INCREASE, PENDING STRUCTURAL SYSTEM SELECTION
- PODIUM COLUMNS ARE 22" X 22" CAST-IN-PLACE, TYPICAL

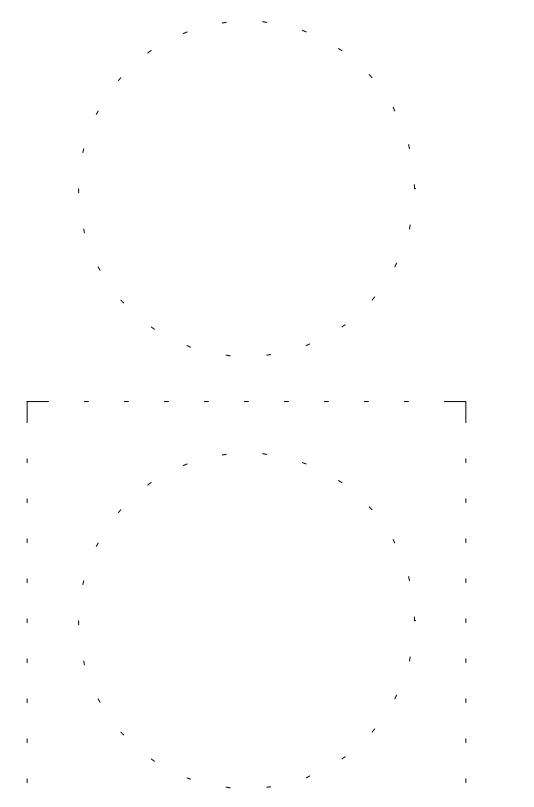
SHEET NOTES



C1 BUILDING SECTION
3/32" = 1'-0"



A1 BUILDING SECTION
3/32" = 1'-0"



MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

PROJECT: 5512-184770
DATE: 03/13/19
DRAWN BY: WM
CHECKED BY: BH

BUILDING SECTIONS

A-302

C:\Temp\Arch\111 Ann Street Multi-Family_2018_DD_Dayahandran@ls3p.com.rvt
3/13/2019 4:08:42 PM