

SAVANNAH DOWNTOWN HISTORIC OVERLAY DISTRICT
SUBMITTAL PACKAGE
JUNE 16, 2022

REHABILITATION FOR
THE SOUTHERN TAVERN
117 WEST RIVER STREET
SAVANNAH, GA 31401



FELDER ★ ASSOCIATES

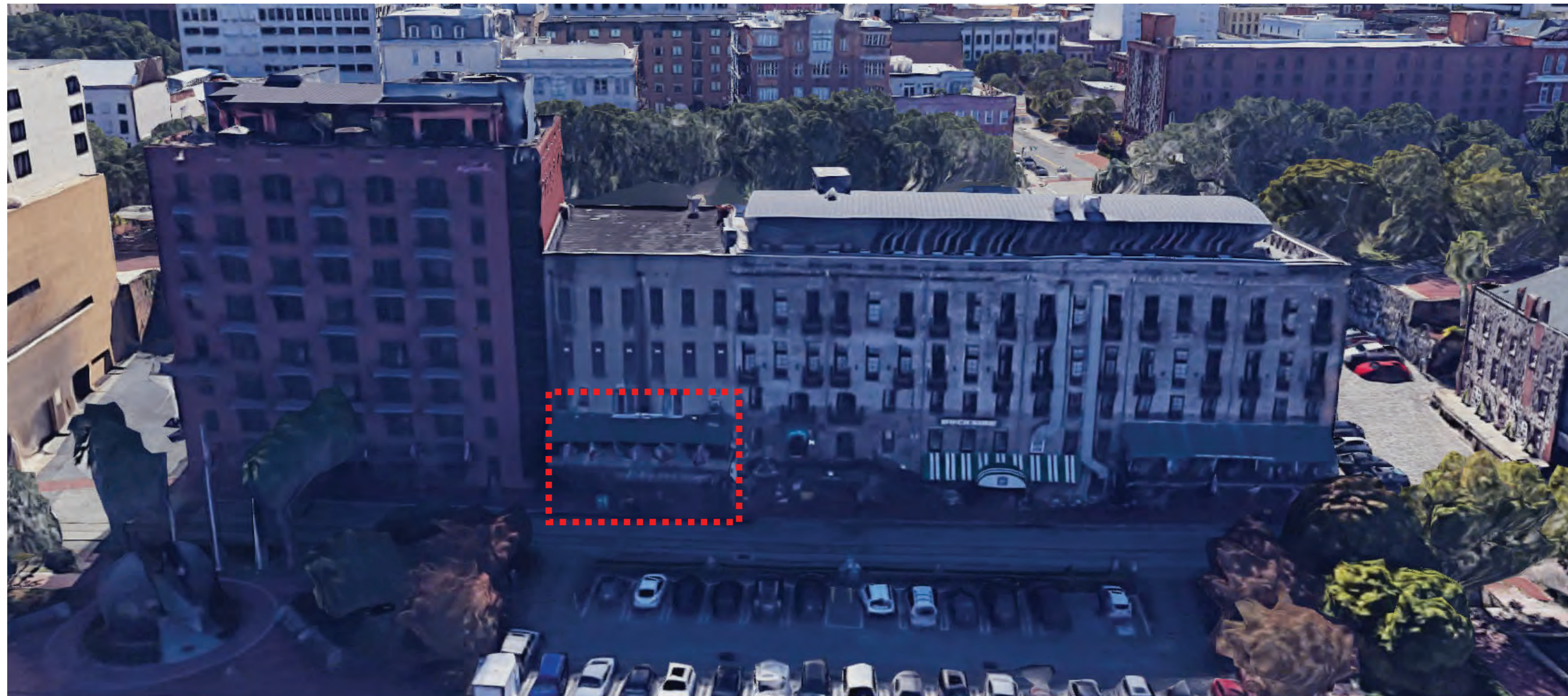
117 West River Street
June 16, 2022, HDBR Submittal



PROJECT DESCRIPTION:

The project includes renovations to the River Street and Lower Factor's Walk level of the existing five-story building located at 117 West River Street. The upper floors are not within our scope of work. The building was constructed in 1852 and is a contributing structure within the Savannah National Historic Landmark District and the Savannah Local Historic District.

The existing lower two floors were home to Kevin Berry's, which closed in 2019. The proposed work is a re-design of the existing Kevin Berry's space for a new restaurant. We are working in team with designers from The Irish Pub Company (IPC) to design The Southern Tavern. Interior work will include raising the floor within the eastern bay to provide a level floor along River Street. There are currently no accessible entrances. We are proposing modifications to the existing sidewalk to provide a low-sloped entry to an accessible entrance at the eastern door. This same sidewalk modification is utilized at the adjacent building. The contractor excavated small areas within the River Street floor to investigate lowering the interior floor level. The work uncovered a 12" concrete slab poured over the original stone flooring. Because of the ground water, we are not able to remove this floor. The concrete slab was poured higher than the existing entrances. All existing exterior entrances do not meet code. Each door is under the required 6'-8". We are requesting permission to raise the existing head height at each entrance to align with the adjacent windows. The existing enclosed wood deck is not historic and in poor condition. The existing roofing and plywood enclosure will be removed to provide an open deck. The design includes a complete overhaul with repaired floor framing, new pergola roofing, railing, louvers and supports. The footprint will not be altered. All new signage will be by others and is not included within this submission.



REMOVE EXISTING ROOFING AND WINDOWS

PLYWOOD HALF WALL/RAILING TO BE REMOVED.

EXISTING FLOOR FRAMING TO REMAIN



DOOR OPENING (AND ARCH) TO BE RAISED TO ALIGN WITH WINDOWS



SIDEWALK TO BE MODIFIED TO PROVIDE SLOPE TO ENTRANCE



EXISTING RIVER STREET PHOTOS

FELDER ★ ASSOCIATES



ORIGINAL STUCCO TO BE UNCOVERED, REPAIRED IN KIND AND PAINTED.



UTILITIES TO REMAIN IN THESE LOCATIONS

NEW WOOD DOOR @ WESTERN BAY



LOWER FACTOR'S WALK PHOTOS



NEW WOOD DOOR @ EASTERN BAY

NEW WOOD SHUTTERS



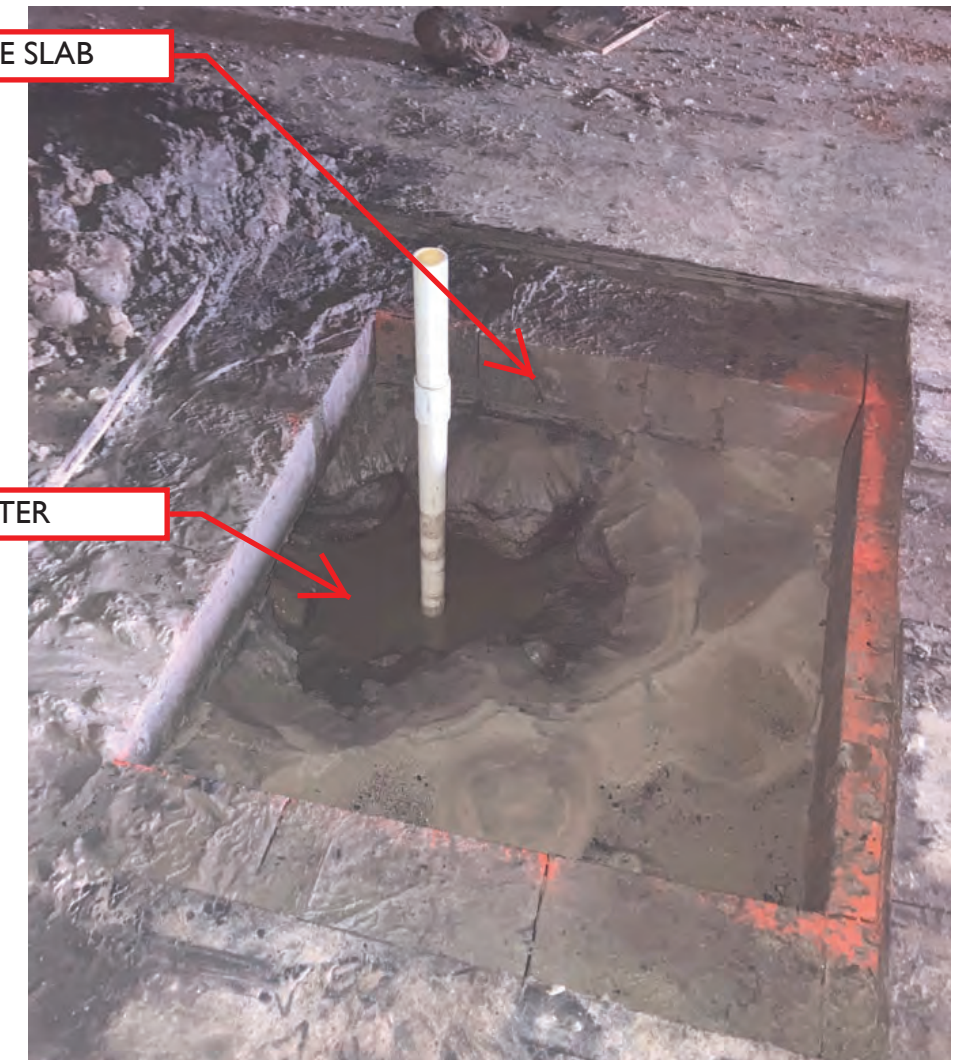
EXISTING ENTRANCE (WESTERN BAY)

EXISTING ENCLOSED DECK



12" CONCRETE SLAB

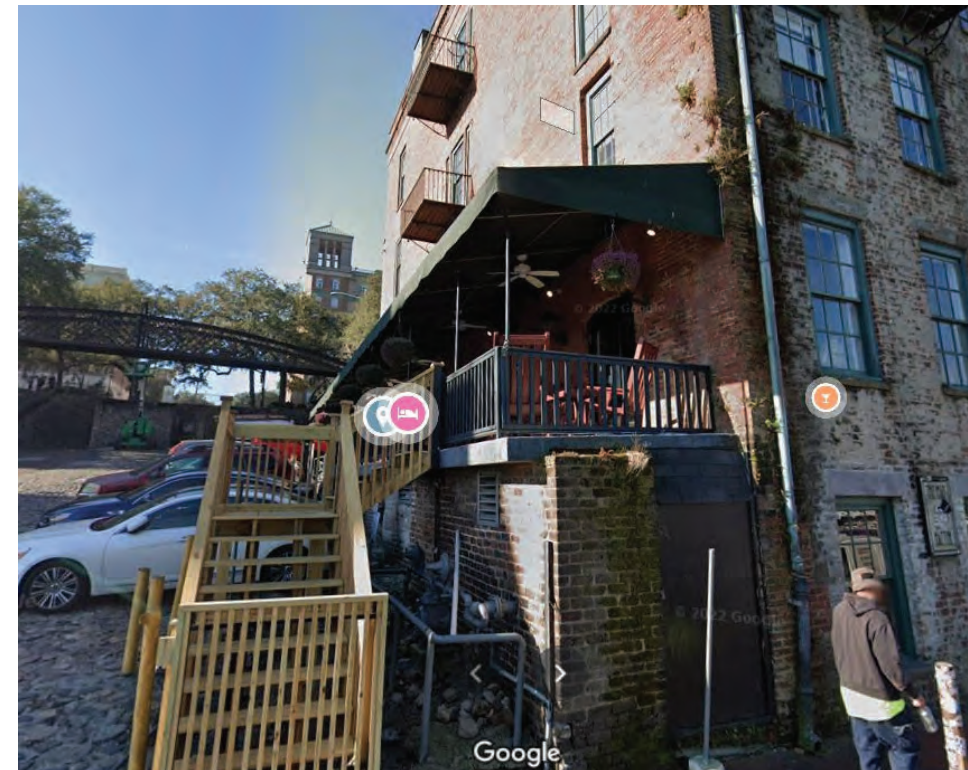
GROUND WATER



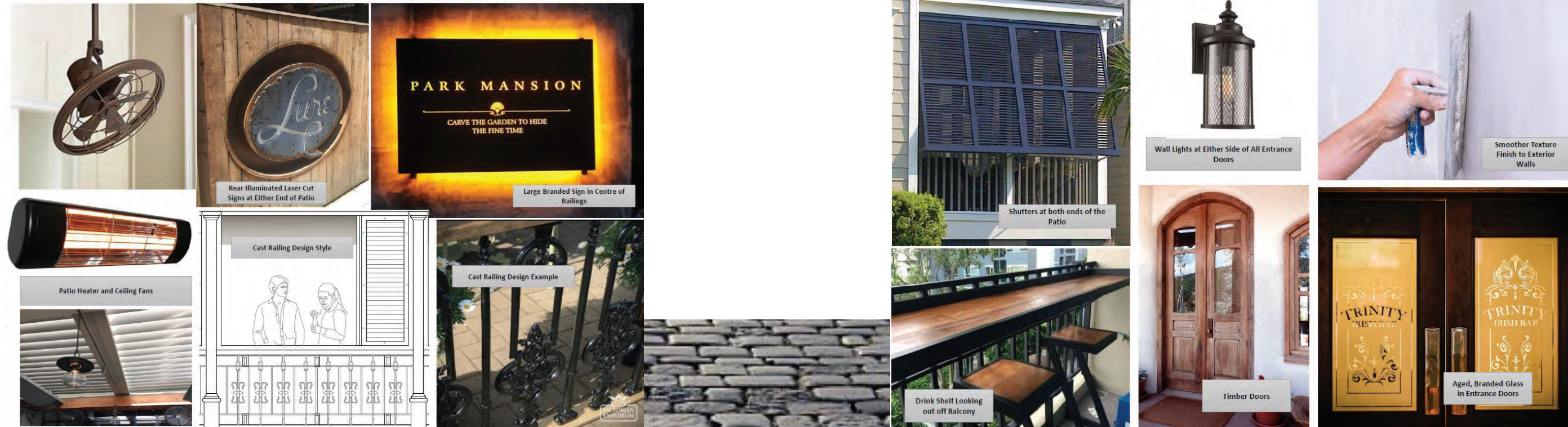
EXISTING ENTRANCE (EASTERN BAY)

INTERIOR PHOTOS

FELDER ★ ASSOCIATES



RIVER STREET DECKS
FELDER ★ ASSOCIATES



The Southern Tavern @ 117

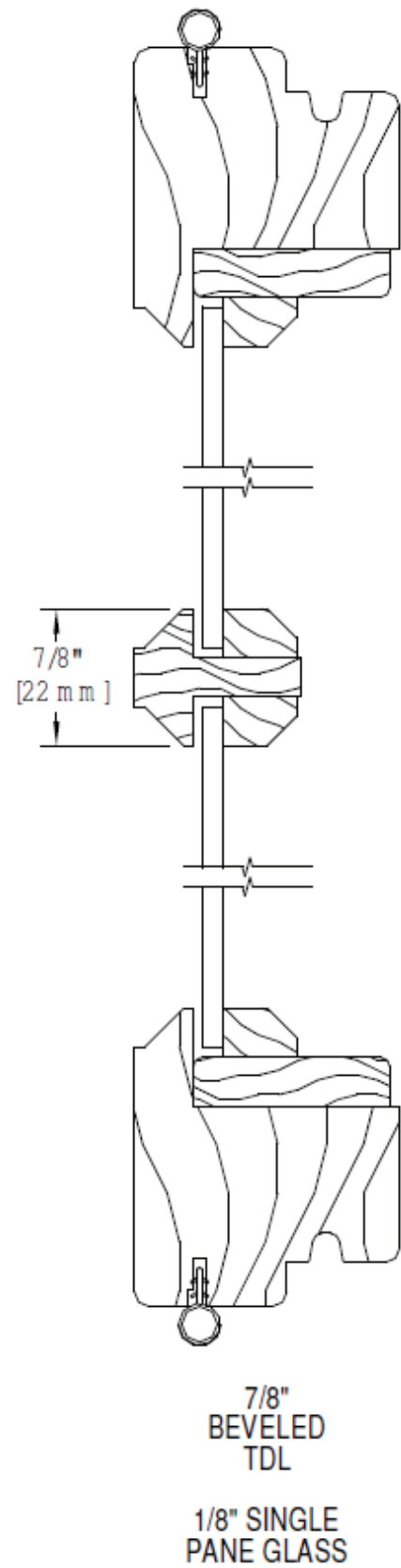
Where Southern History meets Southern Hospitality
In the thriving community of Savannah



DESIGN INSPIRATION

FELDER ★ ASSOCIATES

NEW WINDOWS



MATERIALS AND PRODUCTS:

Doors

- River Street: new doors shall be custom wood /glass doors, stained. Doors shall be single-glazed and true-divided lights with a 7/8" muntin.
- Lower Factor's Walk: New wood, vertical board.

Windows

- The new window shall be custom wood French casement windows. Kolbe Heritage Series. Single-glazed, true-divided lights with a 7/8" muntin. Windows shall be painted.

Shutters:

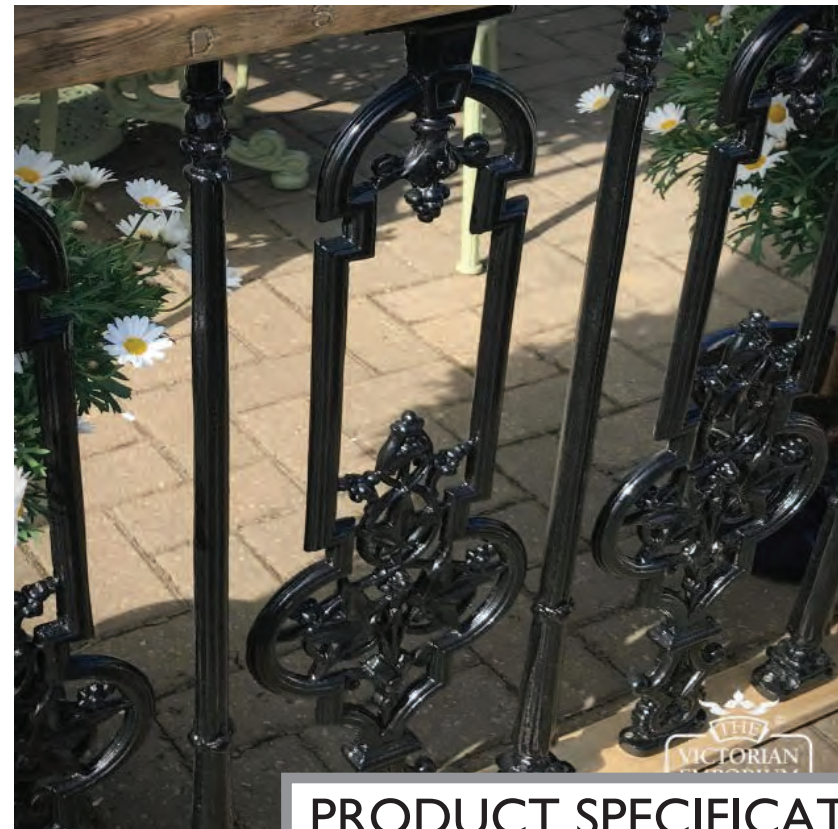
- Shutters shall be wood composite Atlantic Shutter - sized to fit openings.
- Shutters to be operable (sliding) with a concealed track.
- New shutters at Lower Factor's Walk shall be vertical board.

Railing:

- New railing to utilize cast iron panels and a wood handrail/drink rail

Lighting:

- Exterior wall mounted light fixtures from Trans Globe Lighting



PRODUCT SPECIFICATIONS
FELDER ★ ASSOCIATES

NEW DOOR AND SHUTTERS



Standard

40742



Wall Lantern

- Width (in): 8
- Height (in): 20
- Depth (in):
- Glass Type: Clear
- Bulb Type: Medium Base
- Number of Bulbs: 1
- Wattage: 100
- Finish Shown: Black
- Available Finishes: Black (BK)
- UL Listed: Wet
- Country of Origin: China
- Material: Metal, Glass, Electrical

NEW LIGHT FIXTURES

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION:

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The preservation standard is met.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The preservation standard is met. Historic features will be preserved. Alterations include removal of non-historic material only.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The preservation standard is met.

4. Most properties change over time; those changes that have acquired historic significance shall be retained and preserved.

The preservation standard is met. No items of historic significance will be removed. The existing deck is in disrepair, we are proposing an updated design.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The preservation standard is met.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The preservation standard is met.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The preservation standard is met. The façade shall be cleaned with the gentlest means possible and repainted.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not Applicable

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The preservation standard is met.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The preservation standard is met. Alterations to the existing deck improve the historic integrity of the structure.

VISUAL COMPATIBILITY FACTORS:

Visual compatibility factors. New construction and existing buildings and structures and appurtenances thereof in the historic district which are moved, reconstructed, materially altered, repaired, or changed in color shall be visually compatible with structures, squares and places to which they are visually related. The following factors shall be considered in determining the visual compatibility of such a building, structure, or appurtenance. These factors shall not be the basis for appeal of an adverse decision. Greater weight shall be given to adjacent historic structures.

- a) *Height.* New construction shall be permitted to build to the number of stories as shown on the Historic District Height Map and the Height of a building and the height of individual components of a building shall be visually compatible to the contributing structures to which it is Visually Related.

(Not Altered)

- b) *Proportion of structure's front facade.* The relationship of the width of a structure to the height of its front facade shall be visually

compatible to the contributing structures to which it is Visually Related.

(Not Altered)

- c) *Proportion of openings.* The relationship of the width of the windows to height of windows within a structure shall be visually compatible to the contributing structures to which the structure is Visually Related.

(Not Altered)

- d) *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the facades visible from the public right-of-way of a structure shall be visually compatible with the contributing structures to which the structure is Visually Related.

(Not Altered)

- e) *Rhythm of structures on streets.* The relationship of a structure to the open space between it and adjacent structures shall be visually compatible with the open spaces between contributing structures to which it is Visually Related.

(Not Altered)

- f) *Rhythm of entrance and/or porch projection.* The relationship of entrances, porch projections, and walkways to structures shall be visually compatible with the contributing structures to which they are Visually Related.

Alterations improve the deck and walkways.

- g) *Relationship of materials, texture, and color.* The relationship of materials, texture, and color of the facade of a structure shall be visually compatible with the predominate materials, textures, and colors used on contributing structures to which the structure is Visually Related.

With the proposed alterations, the relationship of materials, texture and color will now be visually compatible with contributing structures.

- h) *Roof shapes.* The roof shape of a structure shall be visually compatible with the contributing structures to which it is Visually Related.

Primary roof is not altered. The roof over the deck will be more open and compatible with contributing structures. The majority of balconies are not enclosed/conditioned.

- i) *Walls of continuity.* Appurtenances of a structure such as walls, wrought iron, fences shall form consistent walls of enclosure along a street.

(Not Altered)

- j) *Scale of a building.* The mass of a structure and size of windows, door openings, porches column spacing, stairs, balconies and additions shall be visually compatible with the contributing structures to which the structure is Visually Related.

The scale of building is not altered in ways to diminish the existing.

- k) *Signs:* Signs, where permitted, shall be visually compatible with contributing buildings and structures to which they are visually related.

(Not Applicable)

- l) *Directional expression of front elevation.* A structure shall be visually compatible with the structures to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

(Not Altered)

DESIGN STANDARDS:

Design standards. The following design standards shall apply to new construction, additions, and alterations to historic and non-historic buildings and structures. Though certain building materials are prescribed herein, the Board may approve alternative materials that are not listed as prohibited upon a showing by the applicant that the material or product is visually compatible with historic building materials and has performed satisfactorily in the local climate.

- (a) **Streets and Lanes. (Not applicable to this project)**
- i. Development shall preserve or reconstruct the historic ward pattern of streets and lanes within the Oglethorpe Plan Area. The Oglethorpe Plan Area is that portion of the Savannah National Historic Landmark District comprised of the city plan, established by James Oglethorpe in 1733 and continued until 1851, that is unique to Savannah for its system of wards containing a series of urban blocks divided by streets and lanes with a central public square. For the purpose of this section, a square is a common public open space in the center of a ward, typically one (1) acre in size.
 - ii. The Oglethorpe Plan Area is bounded by the centerline of the following streets: Gaston Street on the south, Bay Street on the north, Martin Luther King, Jr., Boulevard on the west, and East Broad Street on the east as shown in Figure 7.8-3.
 - iii. Within the Oglethorpe Plan Area, streets are classified as one of the following (Figure 7.8-2):
 - (1) Service Street A north-south street bounding the eastern and western perimeter of a ward, usually a one-way street.

- (2) Connecting Street East-west streets and north-south streets that are internal to the ward, portions of which surrounds and forms the square.
 - (3) Through Street An east-west street bounding the northern and southern perimeter of a ward.
 - (4) Trust Street The east-west street between trust blocks.
 - (5) Lane The service corridor that divides a tithing block.
- iv. Streets and lanes shall not be bridged, except for pedestrian bridges on Factors Walk. Such bridges shall be for pedestrian use only. Factors Walk bridges

- (b) **Height.** The number of stories as shown on the Height Map (Fig. 7.8-4) shall be permitted. Variances from the Height Map shall not be permitted. Additionally, the following standards shall apply:

- i. Large-Scale Development shall also be subject to the provisions of Sec. 7.8.10.t., Large-Scale Development.

(Not applicable to this project)

- ii. Stories are further clarified as follows:

(Existing to remain -Not applicable)

- (1) Buildings throughout the Historic District, which front a street, shall be at least two stories, except in the Beach Institute Character Area or for accessory buildings which front a lane.
- (2) Accessory buildings which front a lane shall be no taller than two stories.
- (3) A mezzanine shall not count as a story. Mezzanines are limited in area; see Section (a) Definitions.
- (4) A basement that is entirely underground shall not count as a story.
- (5) A crawl space or partial basement that is four feet or less above grade shall not count as a story.
- (6) Non-habitable rooftop structures such as church spires; cupolas; chimneys; tanks and supports; parapet walls not over 4 feet high; and Mechanical or Access Structures shall not be considered a story.
- (7) Habitable space within a roof or structures above a roof used other than to enclose stairways or elevator machinery shall be considered a story.
- (8) In calculating the dimensions of a story, the following provisions shall apply (except in cases where the floor-to floor heights can be shown to be historically predominately lower, such as in the Beach Institute Character Area):
 - (a) Residential buildings:
 - (i) The exterior expression of the height of raised basements shall be not less than 6'-6" and not higher than 9'-6".

- (ii) The exterior expression of the height of the first story, or the second story in the case of a raised basement shall be not less than 11 feet.

- (iii) The exterior expression of the height of each story above the second shall not be less than 10 feet.

- (b) Commercial buildings:

- (i) The exterior expression of the height of the ground floor shall not be less than 14 feet, six (6) inches.

- (ii) The exterior expression of the height of the second story shall be not less than 12 feet.

- (iii) The exterior expression of the height of each story above the second shall be not less than 10 feet.

- (9) Commercial buildings:

- (a) The first story shall be designed as a storefront (See Sec. 7.8.10.h. Commercial Storefronts).

- (b) Subdivide the facade horizontally into base, middle and top. The first story shall be separated from the upper stories by an architectural feature such as a string course (i.e. projecting horizontal band) or change in material. Such features may be placed at the top of the second story when the first and second stories have the visual appearance of a unified exterior expression.

- (c) The height of the first story shall not be less than the exterior visual expression of the height of any single story above the first story.

- (d) The exterior visual expression of the top story of buildings over three (3) stories shall be distinctive from the stories below the top story.

- (c) **Building Form.** The proposed building form for new construction shall comply with the following:
(Existing to remain – Not Altered)
 - i. A proposed building on an east-west connecting street shall utilize an existing historic building form located within the existing block front or on an immediately adjacent tithing or trust block.
 - ii. A proposed building located on an east west through street shall utilize an historic building form fronting the same street within the same ward or in an adjacent ward.
 - lii, A proposed building located on a trust block which fronts into a tithing block shall utilize an historic building form within such trust block. If, however, no historic buildings exist on such trust block, an historic building form from the tithing block across the street shall be utilized.
 - iv. A proposed building located on a trust block with front another trust block shall utilize an historic building form from the same trust block. If, however, no historic building exists on the trust block, an historic building form from the trust block across the street shall be utilized. If, however, no historic building exists on such trust block, a historic building form from the tithing block across the street shall be utilized.
- (d) **Setbacks. Setbacks shall comply with the following:**
(Existing to remain – All alterations are within the existing footprint)
 - i. Front yards. There shall be no front yard setbacks except as follows:
 - (1). On tithing lots where there is a historic setback along a particular block front, such setback shall be provided.
 - (2). On a trust lot fronting a square, proposed buildings may establish a front yard setback not to exceed 20 feet.
 - ii. Side and rear yards.
Side and rear yard setbacks shall not be required.
- (e.) **Foundations**
(No alterations to the main structure. Foundations under the balcony columns will be modified.)
 - i. Alterations to contributing resources
 - (1) Foundations shall be repaired with in-kind materials rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director and the new foundation shall be of the same materials and configuration as the original foundation.
The new steel columns will extend to the sidewalk with a concealed foundation.

- (2) If the original foundation material and/or configuration is unknown, the new foundation material and configuration shall be based on historic context.
- (3) The space between piers may be filled with heavy gauge wood lattice with at least one-half (0.5) inch thick lattice boards, horizontal boards, brick, or stucco over concrete block. Infill material shall be recessed a minimum of three inches behind the front edge of the pier so that the piers are clearly visible and differentiated. **Not Applicable.**
- ii. New construction, alterations to non-contributing resources and additions
 - (1) Configuration Beneath a wood frame building, the foundation shall be recessed and not project forward of the building plane.
 - (2) Materials
 - (a) Foundations piers shall be constructed of brick, stone, or stucco over concrete block piers. CITY OF SAVANNAH ZONING ORDINANCE FINAL – EFFECTIVE SEPTEMBER 1, 2019 AMENDED OCTOBER 10, 2019 Article 7.0 Sec. 7.8 Savannah Downtown Historic Overlay District 7-30
 - (b) The space between piers may be filled with wood lattice, horizontal boards, brick, or stucco over concrete block. Infill material shall be recessed a minimum of three (3) inches behind the front edge of the pier so that the piers are clearly visible and differentiated.
- (f.) **Exterior Walls**
 - i. Alterations to contributing resources
 - (1) Materials
 - (a) Exterior walls shall be repaired with in-kind materials rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director, and the replacement materials and configuration shall be of the same materials and configuration as the original wall.
A layer of stucco was applied over the existing. This layer will be

- removed, original stucco repaired and painted.**
- (b) Prohibited
 - (i) Materials that cause damage, obscure, or change the appearance to the underlying historic fabric are prohibited.
 - (ii) Vinyl siding, aluminum siding, rolled asphalt, precast concrete panels, fiber cement wood simulated horizontal lap siding, fiber cement panels, EIFS, T-111, ceramic-based coatings and sealers on siding.
- (2) Finishes and Treatments
 - (a) Color changes to contributing resources shall be historically appropriate.
 - (b) Ceramic based coatings and sealers on wood siding shall not be permitted.
 - (c) Cleaning, when undertaken, shall be so as not to damage historic fabric. Sandblasting and disk sanding shall not be permitted.
The facades will be cleaned with the gentlest means possible)
- ii. New construction, alterations to non-contributing resources and additions
 - (1) Configuration On lots less than 60 feet in width the front face shall be constructed to form a continuous plane parallel to the street. Bays and porches attached to such elevation may project street ward of the plane.
 - (2) Materials
 - (a) Permitted materials
 - (i) Residential exterior walls shall be finished in brick, wood, or true stucco. Commercial exterior walls shall be finished in brick, concrete formed or assembled as stone, precast concrete panels with finish to simulate stucco texture, polished stone and glazed brick or tile where similar historic examples exist along the same block front.
 - (ii) Wood siding shall be permitted on townhouses only in wards where

wood-sided townhouses already exist or where more than 75% of the lot frontage in the ward contains wood-sided buildings. Where wood siding has been determined to be appropriate, smooth finish fiber cement siding may be used.

- (b) Prohibited materials: Vinyl siding, aluminum siding, rolled asphalt, EIFS, T111, corrugated metal, unpainted exposed CMU blocks, fiber cement panels, ceramic-based coatings, and sealers on siding.

- (3) Finishes and Treatments Colors, stains, and finishes shall be visually compatible with contributing resources within the block. If none exist, the color shall be compatible with contributing resources within the ward.

(g) Entrances and Doors

i. Alterations to contributing resources

- (1) Doors shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation of the door shall be photographically documented and verified by the Planning Director, and the new door shall be of the same material and configuration as the original.

- (2) If the original door material and/or configuration is unknown, or if a new door is proposed in an unoriginal opening, the new door material and configuration shall be based on historic context.

The original door material and configuration is unknown. We are proposing new wood/glass doors along River Street. The head height of the doors will be raised.

We are proposing new vertical board wood doors along Lower Factor's Walk to fit within the existing masonry openings.

ii. New construction, alterations to non-contributing resources and additions

(1) Location

(a) Trust Lots

- (i) A building on a trust lot facing a square shall locate its primary entrance to front the square.
- (ii) A building on a trust lot not facing a square shall locate its primary entrance so that it fronts the same street as other contributing buildings on the same block.

- (b) Tithing Blocks: A building on a tithing block shall locate its primary entrance to front the east-west street.

- (c) Broughton Street: A building on Broughton Street shall locate its entrances at no greater intervals than 50 feet; provided, however, that for a corner entrance the interval to the next entrance may be increased to 60 feet.

- (d) North of Broughton Street: North of Broughton Street, a corner building located adjacent to a north-south service street shall have an entrance on the service street.

- (e) East-West Connecting Street: A building along an east-west connecting street fronting a square shall entrances at intervals not to exceed 50 feet.

- (f) Corner Entrance: An angled entrance shall only be permitted at intersections of streets or lanes.

- (g) If none of the above conditions apply, the building entrance shall be consistent with contributing buildings within the context.

- (2) Configuration Door frames shall be inset not less than three (3) inches from the exterior surface of the façade of a building, excluding facades with wood siding.

(3) Materials

- (a) Permitted: Glass, wood, clad wood, or steel (without wood grain simulation). See Sec. 7.8.10.h Commercial Storefronts.

- (b) Prohibited: Vinyl; sliding glass doors visible from a street; steel-pressed doors simulating wood grain, half-moon, semi-circular, diamond or similar light insets; boarded-up doors or entrances.

(h) Windows, Shutters and Commercial Storefronts

The original window configuration is unknown. We are proposing new operable casements within the existing openings on River Street. Existing non-historic, large windows on the existing deck will be removed. New louvered shutters are proposed. Shutters on the end shall be fixed and shutters along River Street will be operable.

New vertical board wood shutters are proposed at Lower Factor's Wall. Shutters will fit within the existing masonry opening.

(1) Alterations to contributing resources

- (a) Windows shall be repaired rather than replaced, provided however, if the degree of degradation

does not allow repair, the degradation of each window shall be photographically documented and verified by the Planning Director, and the new window shall be of the same materials and configuration as the original (including single-glazed and true-divided lights, when appropriate).

- (b) If the original window material and/or configuration is unknown, or if a new window is proposed in an unoriginal opening, the new window material and configuration shall be based on historic context.

We are proposing a new wood, operable casement windows. Windows will be single-glazed and true-divided lights.

- (c) The boarding of windows and/or window openings shall not be permitted (see Sec. 3.20, Proactive Preservation, contributing buildings for temporary boarding). Windows and frames shall be weather-tight and free from cracks. Openings shall contain windows, doors, or storefronts.

We will remove the boarding of a window along Lower Factor's walk and provide fixed shutters.

(2) New construction, alterations to non-contributing resources and additions

a. Configuration

- (i) All windows facing a street, exclusive of storefronts, basement and top story windows, shall be rectangular and shall have a vertical to horizontal ratio of no less than 5:3; provided, however, nothing in this section precludes an arched window being used. Accent windows may be round or other shapes.

- (ii) Windows facing a street shall be double or triple hung, awning, casement or Palladian.

- (iii) The boarding of windows and/or window openings shall not be permitted; however, exceptions may be made for emergency situations as provided in Sec. 3.19, Certificate of Appropriateness for the Savannah Downtown Historic District. Windows and frames shall be weather-tight and free from cracks. Openings shall contain windows, doors, or storefronts.

- (iv) The centerline of the window and door openings all align vertically.

- (v) Double glazed, simulated divided light, windows shall be permitted provided that the following are met:

- a. The muntin is 7/8 inches or less,

- i. The muntin profile shall simulate traditional putty glazing,
 - ii. The lower sash rail shall be wider than the meeting and top rails,
 - iii. There shall be a spacer bar in between double panes of glass, and
 - iv. Extrusions shall be covered with appropriate molding.
- (vi) Between-the-glass, snap-in or applied muntin shall not be permitted.
 - (vii) Framing members shall be covered with appropriate trim; trim shall feature a header, surrounds, and pronounced sill where appropriate.
 - (viii) Window sashes shall be inset a minimum of three (3) inches from the façade of a building, excluding exterior surfaces with wood siding.
 - (ix) The distance between windows shall not be less than for adjacent contributing buildings, nor more than two (2) times the width of the windows on primary facades. The Board may waive strict compliance with this standard where historic precedent exists within the visually- related context and is visually compatible.
 - (x) Paired or grouped windows shall be permitted, provided the individual sashes have a vertical to horizontal ratio of not less than 5:3.
 - (xi) Bay windows shall extend to the ground unless they are oriel, beveled or are supported by brackets.
- (b) Materials
 - (i) Window casings and sashes shall be made of metal, wood, or clad wood material.
 - (ii) Window glass shall be transparent with no dark tints or reflective effects (except for stained glass windows). This provision does not preclude the use of Low Emissivity glass.
 - (iii) Solid vinyl windows shall be prohibited.

- ii. Shutters
 - New Shutters are proposed. New Shutters will be operable and meet the set guidelines below.**
 - (1) Exterior shutters shall consist of a durable wood. **Shutters will be of wood composite.**
 - (2) Shutters shall be hinged and operable and sized to fit the window opening. **Shutters will be operable and sized to fit opening. Shutters at Lower Factor’s Walk will be sized to fit opening and fixed.**
 - (3) The placement of the horizontal rail(s) shall correspond to the location of the meeting rail(s) of the window. **Shutters are provided within openings and not associated with windows.**
- iii. Commercial Storefronts **(Not applicable)**
 - (1) Alterations to contributing resources
 - (a) Original storefronts shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director, and the new storefront shall be the of same materials and configuration as the original.
 - (b) If the original storefront material and/or configuration is unknown, the new storefront material and configuration shall be based on historic context.
 - (2) New construction, alterations to non-contributing resources and additions
 - (a) Configuration
 - (i) The first story of a commercial building (except buildings with offices on the ground floor) shall be designed as a storefront.
 - (ii) Storefront area glazing shall be not less than 55% of surface area. Such glazing shall be transparent; provided, however, opaque glass may be used in the storefront window transoms. Storefront glazing shall extend from the sill, or from an 18-24-inch base of contrasting design or material to the lintel.
 - (iii) Storefront glazing in subdivided sashes shall be inset a minimum of four (4) inches from the face of the building; provided, however, that

- (iv) Entrances fronting Broughton Street shall be recessed and centered within the storefront.

- (b) Materials
 - (i) Storefronts shall be constructed of wood, cast iron, Carrera glass, aluminum, steel, or copper as part of a glazed storefront system.
 - (ii) Storefront bases shall consist of wood, bronze, masonry, glazed brick or tile.
 - (iii) Exterior burglar bars, fixed “riot shutters”, roll-down shutters, or similar
- (i) **Porches, Stoops, Balconies, Porticos, Exterior Stairs and Decks**
 - i. Alterations to contributing resources
 - (1) Porches shall be repaired rather than replaced, provided however, if the degree of degradation does not allow for repair, the degradation shall be photographically documented and verified by the Planning Director, and the new porch materials and configuration shall be the same of the same materials and configuration as the original. **The re-design of the deck is intended to provide a more compatible design along River Street.**
 - (2) If the original porch material and/or configuration is unknown, the new porch material and configuration shall be based on historic context. **N/A**
 - (3) Front porches shall not be enclosed. Historic side and rear porches may be screened with fine wire mesh, lattice or shutters, provided the porch continues to read as a porch and character defining features (including but not limited to columns, balustrades, entablature, etc.) are retained and not obscured or damaged. Historic rear porches may also be enclosed with glazing. **The existing deck is enclosed. The re-design is intended to open the existing deck. Operable louvers are proposed.**
 - (4) Prohibited materials: Fiberglass (including Perma-Cast), vinyl and PVC. **All proposed materials are wood, steel and cast iron.**
 - (5) Wrought iron brackets shall not be used with wood balcony railings. **N/A**

- ii. New construction, alterations to non-contributing resources and additions Porches, stoops, balconies, porticos and exterior stairs within the public right-of-way may be permitted with the approval of the encroachment by the Mayor and Aldermen and provided that the following criteria are met:
 - (1) Configuration
 - (a) Wood portico posts shall have a cap and base molding. The column capital shall extend outward of the porch architrave.
 - (b) Balusters shall be placed between the upper and lower rails, and the distances between balusters shall not exceed four inches on center. The height of the railing shall not exceed 36 inches for single- and two-family dwelling units.
 - (c) Stoop heights shall be visually comparable to other historic stoops to which they are visually related and shall not exceed nine (9) feet, six (6) inches.
 - (d) Infill between foundation piers shall be recessed so that the piers are distinguishable.
 - (e) Residential balconies shall not extend more than three (3) feet in depth from the face of a building and shall be supported by brackets of other types of architectural support.
 - (f) Decks shall be screened from view from the street and shall be stained or painted to blend with the colors of the main building.
 - (g) New exterior basement stairs may be established in the D-CBD district with approval of the encroachment by the Mayor and Aldermen and provided the following criteria are met:
 - (i) A minimum of three (3) feet of unobstructed sidewalk shall be maintained between the edge of the exterior basement stairs and the tree lawn. A minimum of six (6) feet shall be maintained if no tree lawn exists. No portion of any tree lawn may be used for exterior basement stair space.
 - (ii) New exterior basement stairs shall be located only on a secondary façade.

- (iii) An exterior basement stair shall not dominate the façade or interfere with the visual expression or architectural features of a building.
- (2) Materials
 - (a) On porches, porticos, and stoops, if proposed, piers and base walls shall be the same material as the foundation wall facing the street.
 - (b) Porch elements shall be constructed of brick, painted, or stained wood, wood composite, precast stone, marble, sandstone, or slate.
 - (c) Supported front porticos shall be constructed of wood unless the proposed material matches other façade details on the same building, such as terracotta, marble, or metal.
 - (d) Prohibited material: Vinyl.
 - (e) Wrought iron brackets shall not be used with wood balcony railings.

- (j). **Awnings, Canopies and Shade Structures**
 Awnings, canopies, and shade structures within the public right-of-way may be permitted with the approval of the encroachment by the Mayor and Aldermen and provided that the following criteria are met:
The project contains an existing encroachment. We are not proposing any alterations to the footprint. A proposed shade structure is intended to replace the existing metal roof.

- i. Configuration
 - (1) Installations extending above the public right-of-way shall have a minimum vertical clearance of eight (8) feet above the sidewalk.
Existing vertical clearance shall be maintained.
 - (2) Awnings and canopies shall be structurally and architecturally integrated into the design of the façade.
 - (3) Installations shall not obscure character-defining features. **Proposed alterations help bring character-defining features within view.**
 - (4) Back-lit (internally lit) awnings shall be prohibited. **N/A**
 - (5) Awnings shall not connect two (2) façades. **N/A**
 - (6) Prefabricated shade structures not specifically custom designed for a particular site or building shall be located to the rear of the property, minimally visible, or screened from view. The maximum height shall be 11 feet and the maximum area shall be 100 square feet on any property,

- unless specifically required by state law for playground equipment. Colors shall be neutral.
The proposed shade structure will be a custom designed pergola with operable louvers.
- ii. Materials
 - (1) Installations shall be constructed of canvas, cloth or equivalent, metal, or glass.
 - (2) Supports shall consist of metal or wood. PVC shall not be permitted. **Steel and wood composite are proposed.**
- (k). **Roofs**
The main roof shall remain and unaltered.
 - i. Contributing Resources
 - (1) Configuration
 - (a) Original roof configuration shall be maintained.
 - (b) Skylights, roof decks, pergolas and roof vents shall be permitted only on the roof plane opposite the street, or when screened from public view and shall not damage or obscure character-defining features.
 - (c) Dormers shall not damage or obscure character-defining features and shall reinforce the existing historic window pattern.
 - (2) Materials
 - (a) Original roof material shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director, and the new roof shall be of the same material and configuration as the original (except wood or asbestos).
 - (b) Metal roofs shall have a metal drip edge covering all edges.
 - ii. New construction, alterations to non-contributing
 - (1) Configuration
 - (a) Gable and hip roofs pitches shall be between 4:12 and 8:12. Gable and hip roofs in excess of 8:12 pitch shall be permitted only where a similar contributing building roof pitch exists within the same block front.
 - (b) Pitched roofs parallel to the street with less than 4:12 pitch shall have an overhang and be bracketed or have a similar projecting eave

- detail or be screened from the street by a parapet wall.
- (c) Shed roofs, and porch roofs, subordinate and attached to the primary building, shall be pitched between 2:12 and 6:12. Where historically appropriate, flat roofs may be utilized.
 - (d) Parapets shall have a stringcourse and a coping.
 - (e) Mansard roofs shall slope from all four sides to a flat or low hipped plane, shall have a molded cornice both above and below the lower roof slope, and shall be used only in conjunction with a habitable story.
 - (f) Skylights and roof vents may be permitted if integrated into roof design.
 - (g) Pergolas and roof decks shall not be permitted on the street façade.
 - (h) Eaves shall extend no less than 12 inches beyond the supporting walls.
 - (i) Gable end rakes shall overhang at least eight (8) inches.
 - (j) Eaves and rakes on accessory buildings and dormers shall overhang at least eight (8) inches.
 - (k) Soffits shall be placed perpendicular to the building wall, not sloping in plane with the roof (except for gable end rakes).
 - (l) Applied mansard roofs shall not be permitted.
- (2) Materials
- (a) Roof coverings shall be standing seam metal, v-crimp, slate or equivalent synthetic, tile, or architectural asphalt or similar shingles.
 - (b) Metal roofs shall have a metal drip edge covering all edges.
 - (c) Rooftop gardens or green roofs, as defined by City Code Part 8 (Planning and Regulation of Development), Article F (Green Roofs) shall be permitted.

(l.) Additions to Contributing Resources

The project does not include an addition.

Additions shall comply with the above standards and the following standards:

- i. Additions shall not be on the primary or front façade of the resource and shall be located to the rear of the resource or the most inconspicuous façade.
- ii. Additions shall be subordinate in height and mass to the resource.

- iii. Additions shall not obscure or damage any character-defining features.
- iv. Additions to roofs shall not be visible from the front elevation.
- v. An addition shall be sited such that it is clearly an appendage and distinguishable from the contributing building.
- vi. Additions shall be reversible with minimal damage to the contributing building.

(m.) Accessory Structures

Accessory structures, including accessory dwellings, shall comply with the Visual Compatibility Criteria, the above design standards, the requirements set forth in Sec. 8.7, Accessory Structures and Uses, except as provided below:

The project does not include any new accessory structures.

- i. Configuration Accessory structures shall be in the rear yard even if there is no lane access.
 - (1) The height and mass of the primary building shall not be exceeded by any accessory building or structure on the same parcel.
 - (2) Accessory buildings and structures shall not be more than two (2) stories tall.
 - (3) Where contributing accessory dwellings are to be expanded in depth, such expansion shall not occur on the lane façade of the building.
 - (4) New accessory dwellings and garages may have up to a five (5) foot lane setback to allow a turning radius into the garage.
 - (5) Roofs shall be side gable, hip with parapet, flat or shed with parapet.
 - (6) Driveway aprons shall not be erected on the public right-of-way.
- ii. Doors and Openings
 - (1) In contributing accessory dwellings or accessory structures, original entry dimensions shall not be modified.
 - (2) Where garage doors front streets or are adjacent to sidewalks, they shall resemble carriage house doors.
 - (3) Garage openings shall not exceed 12 feet in width.

(n.) Satellite Dishes

The project does not include satellite dishes.

- i. Ground mounted satellite dishes shall not be located in a front yard.
- ii. Ground mounted satellite dishes in the side (street) yard shall be completely screened by a fence or wall or landscaping.
- iii. Building mounted satellite dishes shall not be located on a street fronting façade (except lanes).

(o.) Fuel Canopies

The project does not include fuel canopies.

- i. The entire canopy, including columns and roof, shall be architecturally compatible with the design of the principal building.
- ii. The entire canopy, including columns and roof, shall be constructed of building materials consistent with the principal building, and should be complementary to the overall color scheme of the building façade from which it projects.
- iii. A canopy may be counted toward the building frontage requirements, if applicable to the district, only where the spacing of columns along the frontage is no greater than 20 feet and where the columns are placed at the edge of the canopy.

(p.) Mechanical Equipment and Refuse

The existing condensing unit at the enclosed deck will be removed. All other equipment will be located at the main roof and not visible.

Mechanical equipment and refuse shall comply with Sec. 9.5.3, Screening of Service Areas, except as provided below.

- i. Electrical vaults, meter boxes, communications devices, and similar equipment shall be located on the secondary and/or rear façades and shall be minimally visible from view. **Utilities shall remain at Lower Factor's Walk**
- ii. Roof mounted equipment and HVAC units shall be screened from view from the public right-of-way. **We will coordinate with the architects designing the upper floors.**
- iii. Through-the-wall air conditioners may be installed in new construction when they are incorporated into the design and screened by a decorative grate. **N/A**
- iv. Refuse storage areas shall be located within a building or to the side or rear of the building and screened from the public right-of-way. **Standard shall be met, but this has not been designed.**
- v. Alternative energy source devices may be permitted on new construction and noncontributing resources. Such devices may be permitted on contributing resources provided they are not visible from a street fronting elevation and do not damage or obscure any character-defining features. **N/A**

(q.) Lighting

In addition to the requirements set forth in Sec. 9.8, Lighting, the following standards apply:

New façade mounted light fixtures are proposed along River Street.

- i. Configuration Light fixtures shall be compatible with the scale of the subject property and with the character of the district.
- ii. Materials Light fixtures shall be constructed of metal and/or glass. **New lights will be metal and glass.**
- iii. Source Type White light source only.

(r.) Parking and Paving

In addition to the requirements set forth in Sec. 9.3, Off-Street Parking and Loading, parking, and paving shall comply with the following:

No alterations

- i. Parking areas shall be in the rear yard. Properties on Trust lots or with double street frontage are exempt from this provision.
- ii. Vehicular access shall be from lanes or north-south service streets. When a property does not front a lane or north-south service street, parking may be accessed from east west connecting streets or trust streets.
- iii. Structured parking within the first story of a building shall be setback a minimum of 30 feet from property lines along all public rights-of-way (not including lanes). This standard does not apply to structured parking on the same lot as single family and two-family residential dwellings that are

either on a corner lot with lane access or on a parcel that does not have access to a lane.

- iv. Curb cuts shall not exceed 20 feet in width. Loading areas for commercial development are exempt from this provision and shall be the minimum required.
- v. Loose paving materials, such as crushed shell or gravel, may be permitted if it is no closer than 18 inches of the public right-of-way.
- vi. Vehicle and pedestrian drop-off areas shall not be accommodated within the footprint of the building on the primary façade, unless the Board determines that there are site specific constraints which require it.

(s.) Fences, Trellises and Walls

Not Applicable to this project.

Fences and walls shall comply with Sec. 9.6, Fences and Walls except as provided below.

- i. Configuration
 - (1) Fences, trellises, or walls shall not exceed 11 feet in height; however, where adjoining walls exceed 11 feet, any new wall may be constructed to the height of the existing wall. Rooftop trellises may exceed 11 feet in height, provided they are visually compatible.
 - (2) Fences, trellises, and walls shall not extend beyond the front façade of a building except in the following cases:
 - (a) A building set back on a trust lot with a front garden.

(b) A building set back on an east-west street with a front garden.

- (3) Where permitted, fences or walls shall not exceed 48 inches within the front yard.
- ii. Materials
 - (1) Fences and walls facing a public street shall be constructed of the material and color of the primary building; provided however, iron, or extruded aluminum fencing may be used with a masonry structure.
 - (2) Wood fences shall be painted or stained wood.
 - (3) Trellises shall be wood, metal or wire.
 - (4) A masonry base shall be used with iron or extruded aluminum fencing.
 - (5) Prohibited: Chain-link, vinyl, PVC, corrugated metal, barbed wire, razor wire.

(t.) Large-Scale Development Standards

Large-Scale Development shall comply with the following standards. New construction on monumental buildings shall be exempt from Large-Scale Development Standards.

Not Applicable to this project.

END OF HISTORIC DISTRICT ZONING ORDINANCE

THE FOLLOWING DRAWINGS ARE NOT TO SCALE.

SEE FULL-SIZE DRAWINGS SUBMITTED WITH THIS PACKAGE FOR MORE INFORMATION



2514 ABERCORN STREET
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SAVANNAH, GA 31401
912.777.3979

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REHABILITATION FOR
THE SOUTHERN TAVERN
DOWNTOWN SAVANNAH HISTORIC DISTRICT
117 W RIVER STREET
SAVANNAH, GA 31401

REVISIONS	DESCRIPTION
ADD	DATE

DEMOLITION PLAN -
FIRST FLOOR

ISSUED FOR REVIEW
06.16.2022

JOB NO: 22.006
ISSUE DATE: 06.16.2022
DRAWN: CS

D1.1

GENERAL DEMOLITION NOTES

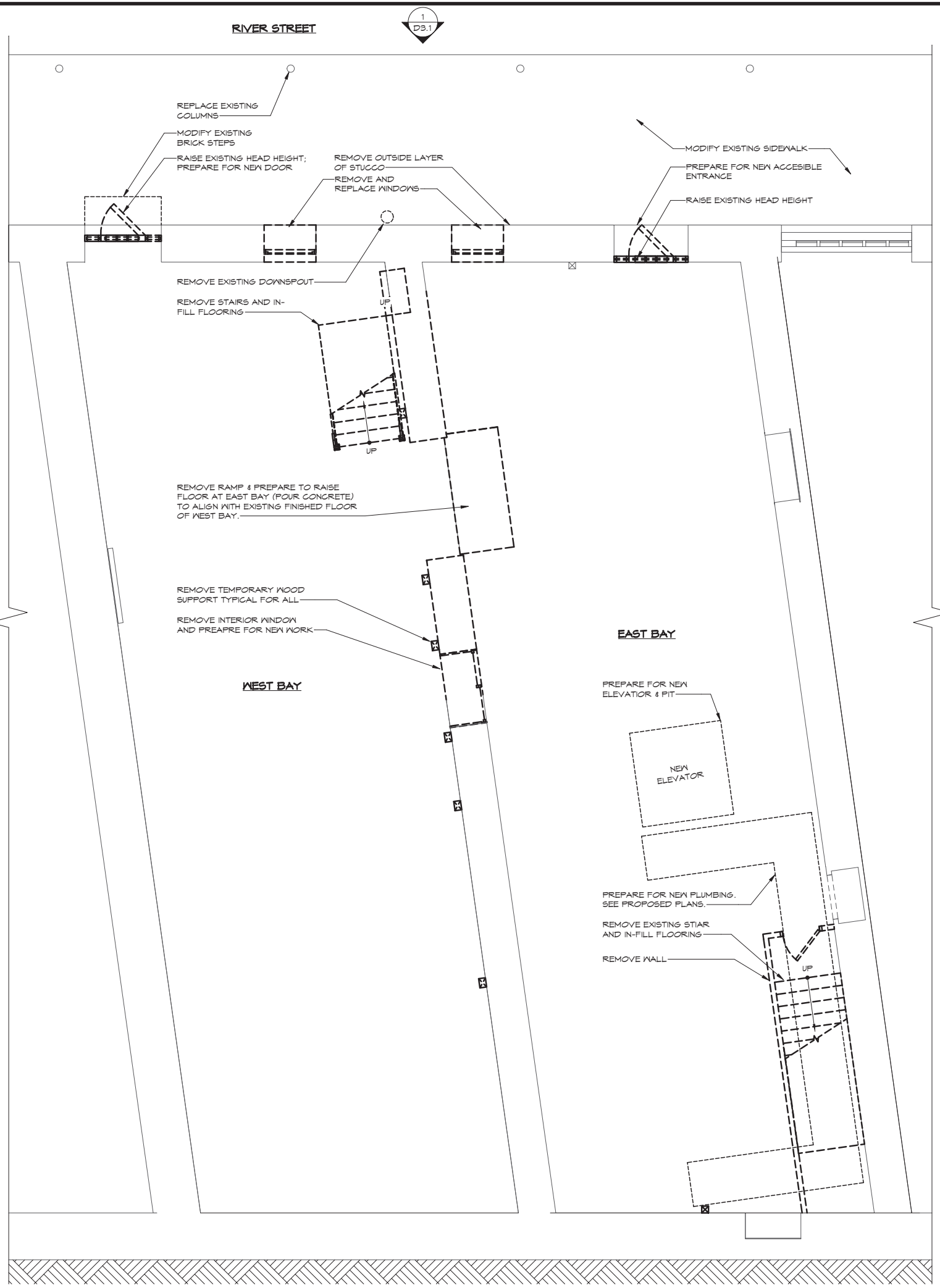
- AS WITH ALL RENOVATION PROJECTS, DIMENSIONS ARE TAKEN FROM AS-BUILT DRAWINGS. THE GREATEST CARE HAS BEEN TAKEN IN MAKING THOSE AS-BUILT DRAWINGS AS ACCURATE AS POSSIBLE. THE GENERAL CONTRACTOR AND ALL TRADES WILL TAKE THE GREATEST CARE TO VERIFY EXISTING CONDITIONS PRIOR TO CUTTING AND DEMOLISHING OR INSTALLING NEW MATERIALS. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY. INSTALLATIONS THAT NEED TO ALIGN FLOOR TO FLOOR IN A MULTI-STORY BUILDING ARE INTENDED TO ALIGN (I.E. ELEVATIONS, STAIRS, & MECHANICAL SHAFTS) REGARDLESS OF DIMENSION GIVEN.
- ALL DEMOLITION WORK SHALL CONFORM W/ ALL LOCAL, STATE, & FEDERAL CODES AND SAFETY STANDARDS. PROVIDE & INSTALL TEMPORARY SHORING SUPPORT FOR DEMOLITION & CONSTRUCTION AS NECESSARY. CONTRACTOR IS RESPONSIBLE FOR DESIGN & SHALL PROVIDE STAMPED, ENGINEERED SHOP DRAWINGS FOR DEMOLITION OF A STRUCTURAL SUPPORTING PORTION OF THE BUILDING FOR A/E REVIEW.
- PRESERVE & PROTECT ALL ADJACENT WALLS, FLOORS, CEILINGS, WINDOWS & DOORS WHERE DEMOLITION IS NOT INTENDED. **USE DUST CONTAINMENT MEASURES.**
- CONTRACTOR IS TO PROVIDE SAFEGUARDS AGAINST DAMAGE TO NEIGHBORING BUILDING(S) AT ALL TIMES. BUILDER TO WARN NEIGHBORS SEVEN DAYS PRIOR TO MAJOR DEMOLITION, USE OF HEAVY EQUIPMENT, VIBRATIONS AND/OR EXTREMELY LOUD CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL SPECIAL PERMITTING FOR DUMPSTERS, WALKWAY CLOSINGS, PARKING SPACE CLOSINGS, AND HEAVY EQUIPMENT USAGE.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL OSHA PUBLIC SAFETY REQUIREMENTS AND ADEQUATELY DIVERTING PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION SITE.
- CONTRACTOR SHALL PROTECT THE EXTERIOR ENVELOPE OF THE BUILDING TO ENSURE WEATHER TIGHTNESS & SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED DURING THE DEMOLITION PROCESS.
- REMOVE WALLS, FLOORS, CEILINGS, CASEWORK, & ALL ASSOCIATED MATERIALS AS INDICATED ON PLANS. CONTACT ARCHITECT IMMEDIATELY IF INFORMATION IS CONFLICTING OR UNCLEAR. INSTALL NEW HEADER WHERE EXISTING OPENINGS ARE RELOCATED. INSTALL NEW BEAMS WHERE EXISTING BEARING WALLS ARE REMOVED. STORE AND PROTECT MATERIALS, FIXTURES AND ANY ITEMS AS NOTED ON PLANS. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING.
- DURING DEMOLITION AND CONSTRUCTION, BUILDER SHALL REPORT ANY UNEXPECTED SUBSURFACE CONDITIONS INCLUDING PRESENCE OF MOLD, MILDEW, ACTIVE TERMITES OR TERMITE DAMAGE, DRY ROT OR MOISTURE INFILTRATION TO THE ARCHITECT IMMEDIATELY.
- WHERE EXISTING ELECTRICAL IS TO BE ABANDONED, ELECTRICAL WIRING, BOXES AND PANEL(S) TO BE REMOVED.
- CONTRACTOR IS RESPONSIBLE FOR PERMANENTLY CAPPING OFF ANY EXISTING UNUSED WASTELINES, PLUMBING SUPPLY LINES, ELECTRICAL WIRING, UTILITY SERVICE OR DATA LINES.
- CONTRACTOR TO PERFORM WALK-THROUGH WITH OWNER PRIOR TO ANY DEMOLITION TO DETERMINE ANY ITEMS TO BE SALVAGED & RE-USED.
- ALL TRADES TO INSPECT EXISTING CONDITIONS PRIOR TO BEGINNING WORK OR PROVIDING GENERAL CONTRACTOR WITH COST ESTIMATES.
- COORDINATE ALL DEMOLITION W/ NEW CONSTRUCTION PLANS. COORDINATE W/ ARCHITECT IF ANY DIFFERENCES IN DEMOLITION ARE SHOWN.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES.
- PREPARE ENTIRE FLOOR WHERE REQUIRED FOR NEW FINISHES, FILL IN ANY HOLES.

WALL LEGEND

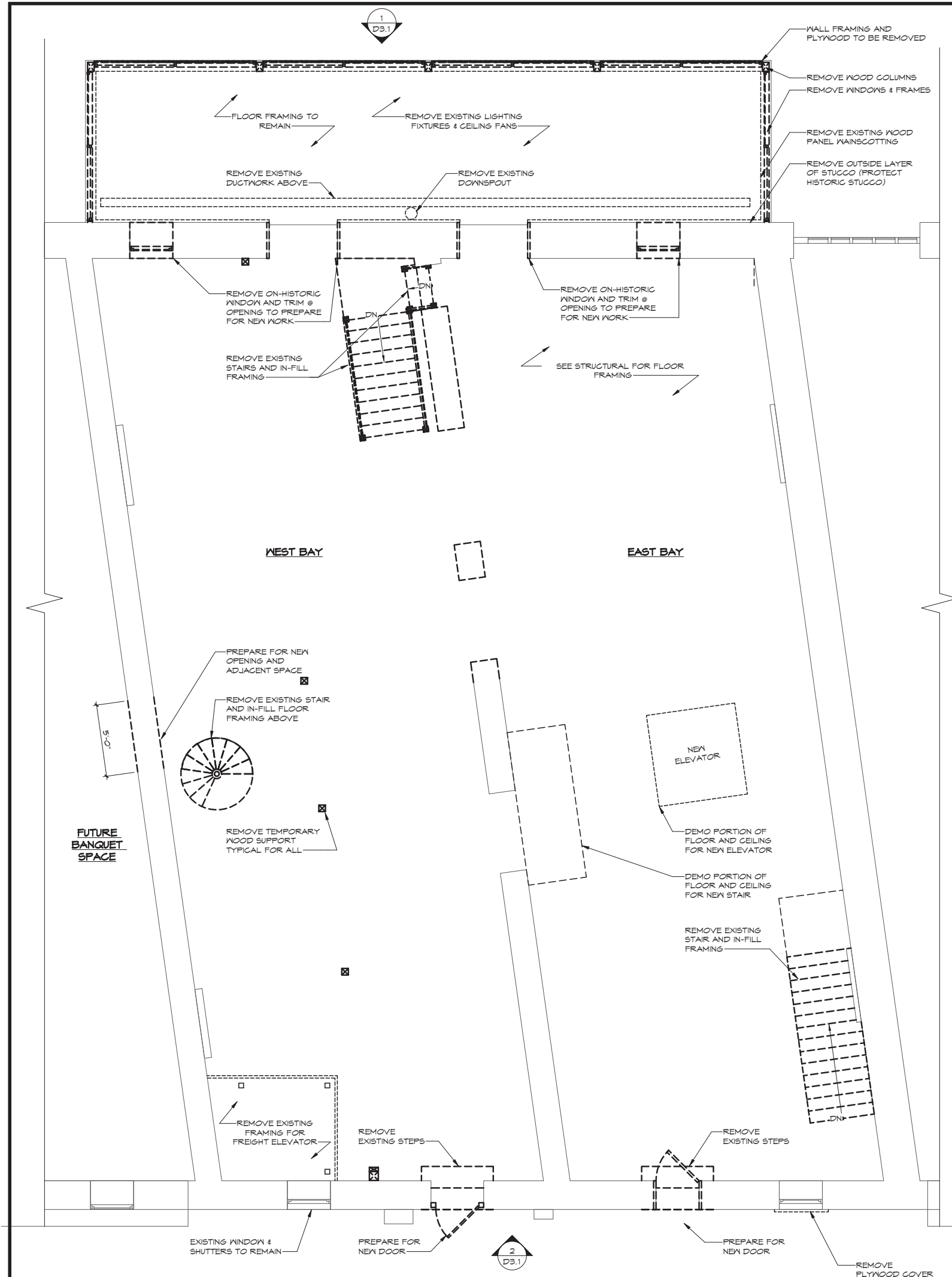
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW WALL CONSTRUCTION

DEMOLITION LEGEND

- ALL DASHED ITEMS TO BE REMOVED
- NO WORK IN THIS AREA



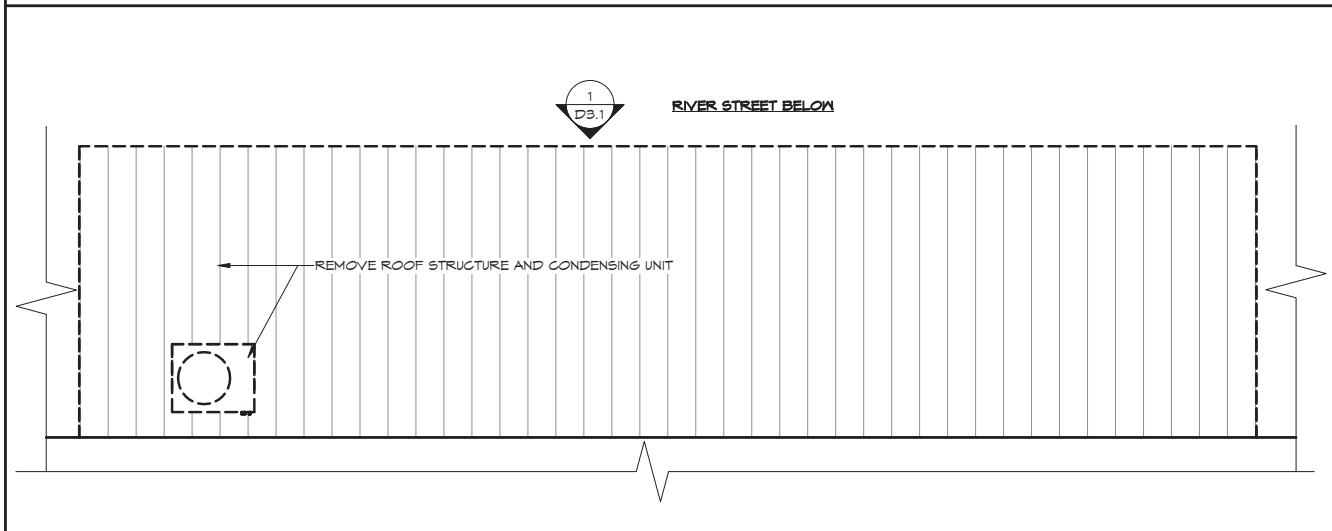
1 D1.1 DEMOLITION PLAN - RIVER STREET DEMOLITION
SCALE: 1/4" = 1'-0"



- ### GENERAL DEMOLITION NOTES
1. AS WITH ALL RENOVATION PROJECTS, DIMENSIONS ARE TAKEN FROM AS-BUILT DRAWINGS. THE GREATEST CARE HAS BEEN TAKEN IN MAKING THOSE AS-BUILT DRAWINGS AS ACCURATE AS POSSIBLE. THE GENERAL CONTRACTOR AND ALL TRADES WILL TAKE THE GREATEST CARE TO VERIFY EXISTING CONDITIONS PRIOR TO CUTTING AND DEMOLISHING OR INSTALLING NEW MATERIALS. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY. INSTALLATIONS THAT NEED TO ALIGN FLOOR TO FLOOR IN A MULTI-STORY BUILDING ARE INTENDED TO ALIGN (I.E. ELEVATIONS, STAIRS, & MECHANICAL SHAFTS) REGARDLESS OF DIMENSION GIVEN.
 2. ALL DEMOLITION WORK SHALL CONFORM W/ ALL LOCAL, STATE, & FEDERAL CODES AND SAFETY STANDARDS. PROVIDE & INSTALL TEMPORARY SHORING SUPPORT FOR DEMOLITION & CONSTRUCTION AS NECESSARY. CONTRACTOR IS RESPONSIBLE FOR DESIGN & SHALL PROVIDE STAMPED, ENGINEERED SHOP DRAWINGS FOR DEMOLITION OF A STRUCTURAL SUPPORTING PORTION OF THE BUILDING FOR A/E REVIEW.
 3. PRESERVE & PROTECT ALL ADJACENT WALLS, FLOORS, CEILINGS, WINDOWS & DOORS WHERE DEMOLITION IS NOT INTENDED. **USE DUST CONTAINMENT MEASURES.**
 4. CONTRACTOR IS TO PROVIDE SAFEGUARDS AGAINST DAMAGE TO NEIGHBORING BUILDING(S) AT ALL TIMES. BUILDER TO WARN NEIGHBORS SEVEN DAYS PRIOR TO MAJOR DEMOLITION, USE OF HEAVY EQUIPMENT, VIBRATIONS AND/OR EXTREMELY LOUD CONDITIONS.
 5. CONTRACTOR IS RESPONSIBLE FOR ALL SPECIAL PERMITTING FOR DUMPSTERS, WALKWAY CLOSINGS, PARKING SPACE CLOSINGS, AND HEAVY EQUIPMENT USAGE.
 6. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL OSHA PUBLIC SAFETY REQUIREMENTS AND ADEQUATELY DIVERTING PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION SITE.
 7. CONTRACTOR SHALL PROTECT THE EXTERIOR ENVELOPE OF THE BUILDING TO ENSURE WEATHER TIGHTNESS & SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED DURING THE DEMOLITION PROCESS.
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 9. DURING DEMOLITION AND CONSTRUCTION, BUILDER SHALL REPORT ANY UNEXPECTED SUBSURFACE CONDITIONS INCLUDING PRESENCE OF MOLD, MILDEW, ACTIVE TERMITES OR TERMITE DAMAGE, DRY ROT OR MOISTURE INFILTRATION TO THE ARCHITECT IMMEDIATELY.
 10. WHERE EXISTING ELECTRICAL IS TO BE ABANDONED, ELECTRICAL WIRING, BOXES AND PANEL(S) TO BE REMOVED.
 11. CONTRACTOR IS RESPONSIBLE FOR PERMANENTLY CAPPING OFF ANY EXISTING UNUSED WASTELINES, PLUMBING SUPPLY LINES, ELECTRICAL WIRING, UTILITY SERVICE OR DATA LINES.
 12. CONTRACTOR TO PERFORM WALK-THROUGH WITH OWNER PRIOR TO ANY DEMOLITION TO DETERMINE ANY ITEMS TO BE SALVAGED & RE-USED.
 13. ALL TRADES TO INSPECT EXISTING CONDITIONS PRIOR TO BEGINNING WORK OR PROVIDING GENERAL CONTRACTOR WITH COST ESTIMATES.
 14. COORDINATE ALL DEMOLITION W/ NEW CONSTRUCTION PLANS. COORDINATE W/ ARCHITECT IF ANY DIFFERENCES IN DEMOLITION ARE SHOWN.
 15. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES.
 16. PREPARE ENTIRE FLOOR WHERE REQUIRED FOR NEW FINISHES, FILL IN ANY HOLES.

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW WALL CONSTRUCTION

DEMOLITION LEGEND	
	ALL DASHED ITEMS TO BE REMOVED
	NO WORK IN THIS AREA



1 DEMOLITION - ROOF PLAN
SCALE: 1/4" = 1'-0"

2 DEMOLITION PLAN - LOWER FACTOR'S WALK
SCALE: 1/4" = 1'-0"



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REHABILITATION FOR
THE SOUTHERN TAVERN
DOWNTOWN SAVANNAH HISTORIC DISTRICT
117 W RIVER STREET
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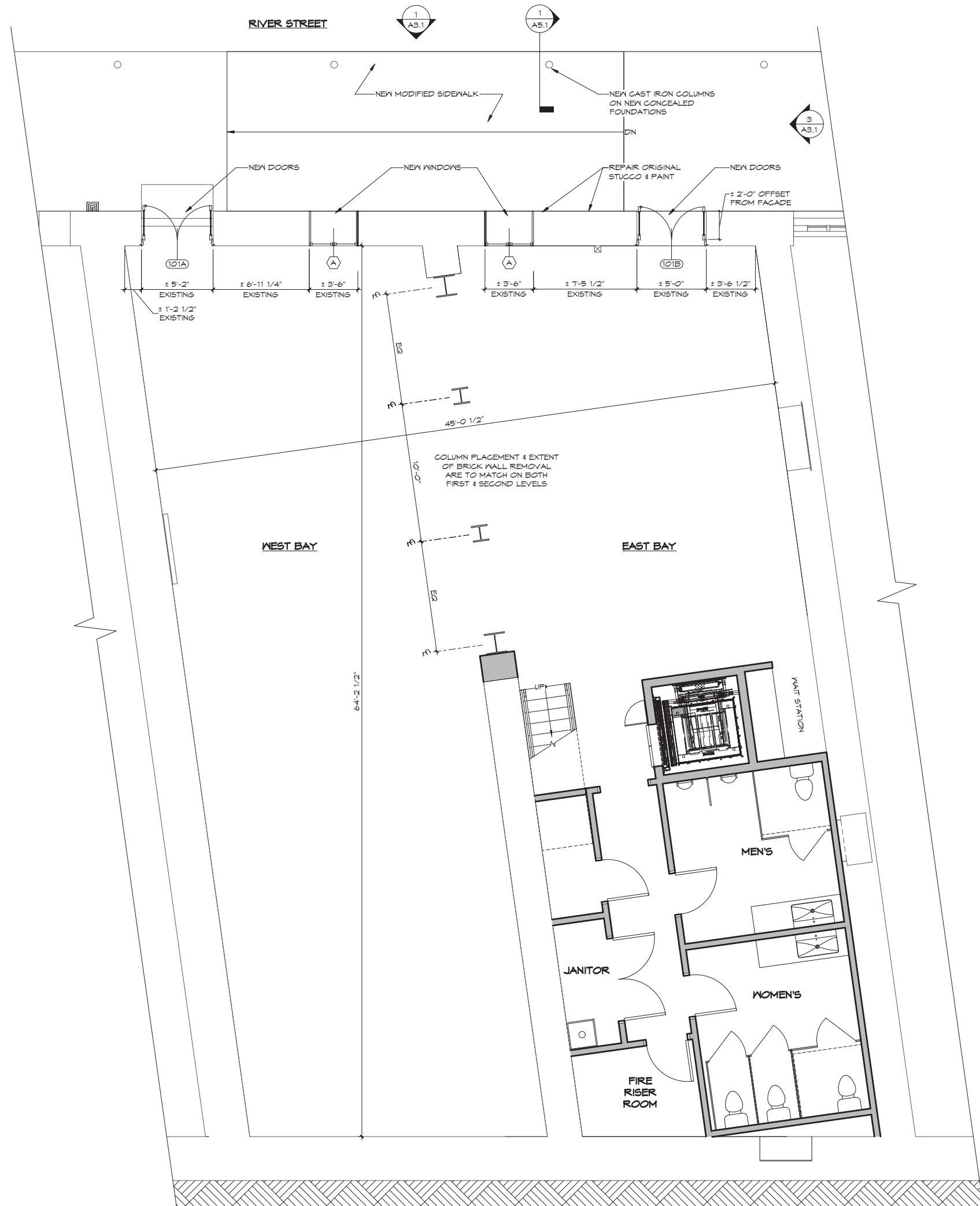
REVISIONS	DESCRIPTION
ADD	DATE

DEMOLITION PLAN -
SECOND FLOOR &
ROOF PLAN

ISSUED FOR REVIEW
06.16.2022

JOB NO: 22.006
ISSUE DATE: 06.16.2022
DRAWN: CS

D1.2



ABBREVIATIONS	
E.O.S.	EDGE OF STUD
E.O.C.	EDGE OF COLUMN
EXIST.	EXISTING
F.O.M.	FACE OF MASONRY
F.O.B.	FACE OF BLOCK
C.O.	CASED OPENING
CL	CENTERLINE

- GENERAL NOTES**
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 - ALL NEW WALLS IN LINE WITH EXISTING SHALL ALIGN.

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW WALL CONSTRUCTION



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REHABILITATION FOR
THE SOUTHERN TAVERN
DOWNTOWN SAVANNAH HISTORIC DISTRICT
117 W RIVER STREET
SAVANNAH, GA 31401

REVISIONS	
ADD.	DESCRIPTION

RIVER STREET FLOOR PLAN

ISSUED FOR REVIEW
06.16.2022

JOB NO: 22.006
ISSUE DATE: 06.16.2022
DRAWN: NWH

A1.1

1 RIVER STREET FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0"



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SUITE 120
SAVANNAH, GA 31401
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REHABILITATION FOR
THE SOUTHERN TAVERN
DOWNTOWN SAVANNAH HISTORIC DISTRICT
117 W RIVER STREET
SAVANNAH, GA 31401

REVISIONS	DATE	DESCRIPTION

PROPOSED LOWER
FACTORS WALK
FLOOR PLAN &
ROOF PLAN

ISSUED FOR REVIEW
06.16.2022

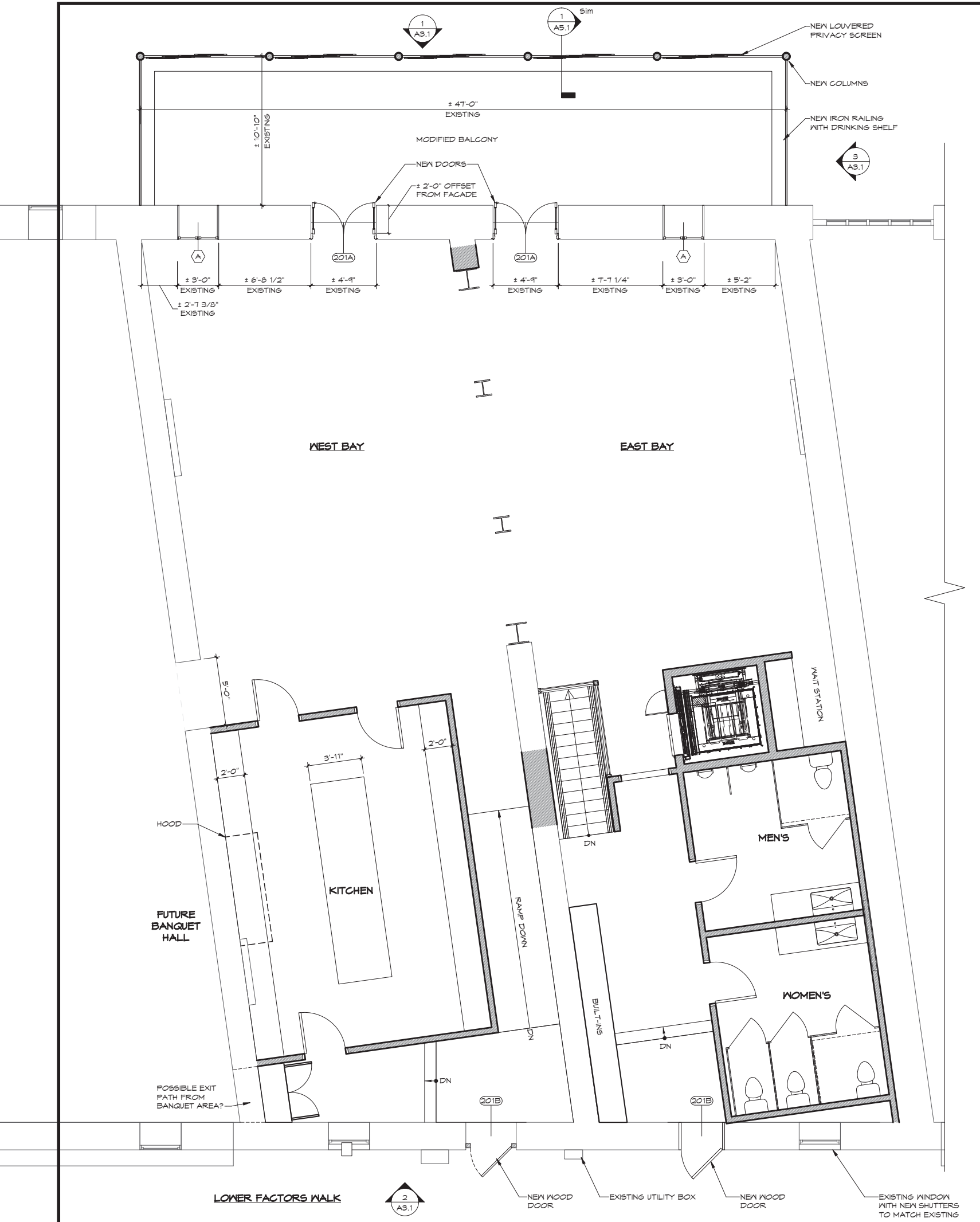
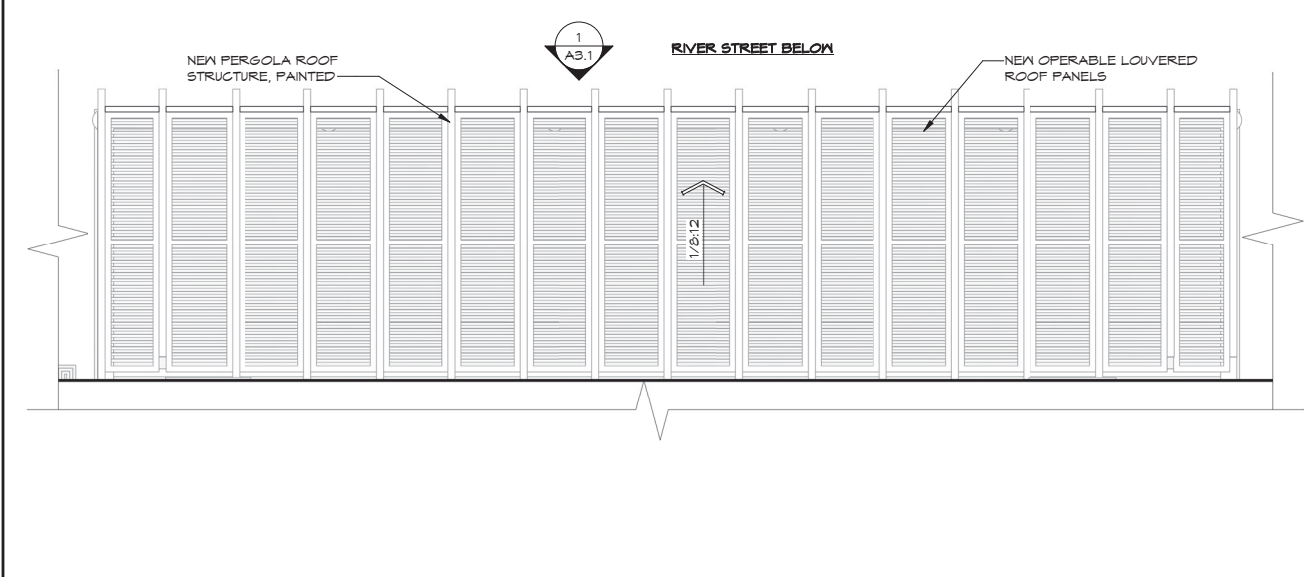
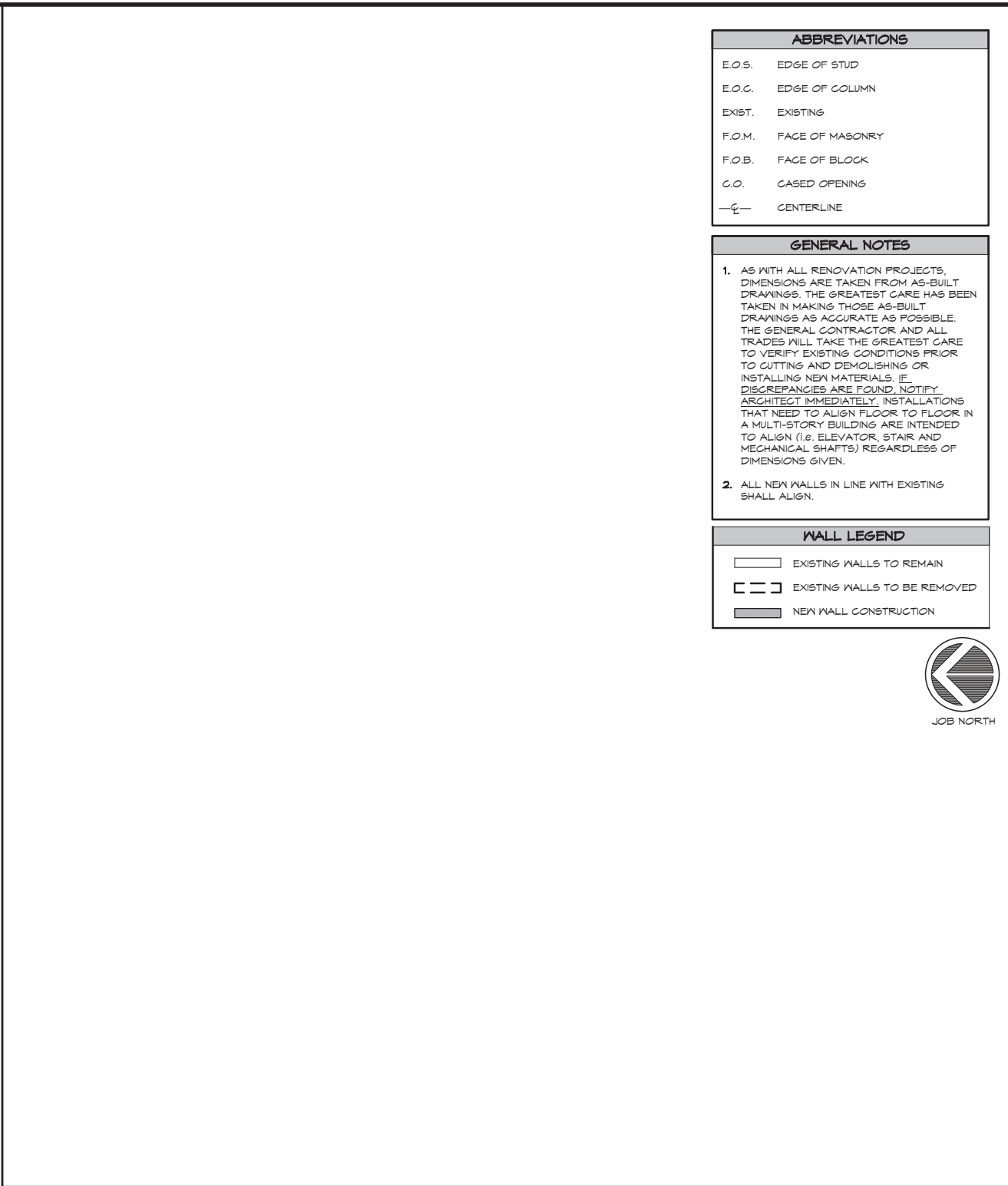
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A1.2

ABBREVIATIONS	
E.O.S.	EDGE OF STUD
E.O.C.	EDGE OF COLUMN
EXIST.	EXISTING
F.O.M.	FACE OF MASONRY
F.O.B.	FACE OF BLOCK
C.O.	CASED OPENING
—C—	CENTERLINE

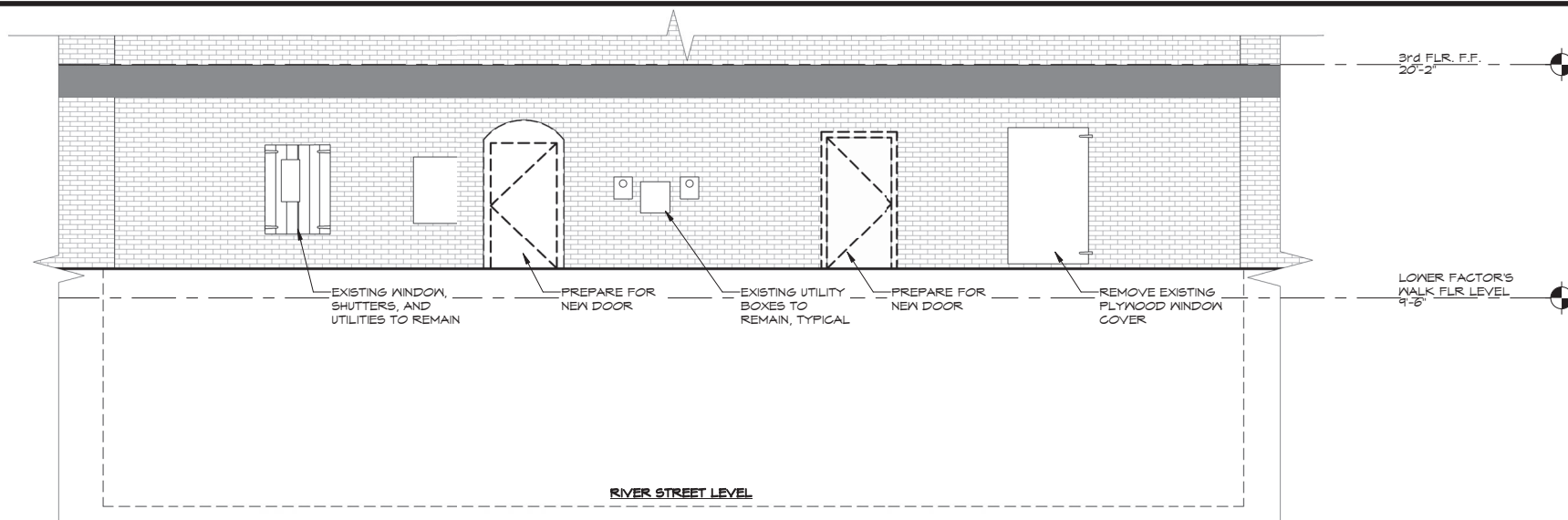
- GENERAL NOTES**
- AS WITH ALL RENOVATION PROJECTS, DIMENSIONS ARE TAKEN FROM AS-BUILT DRAWINGS. THE GREATEST CARE HAS BEEN TAKEN IN MAKING THOSE AS-BUILT DRAWINGS AS ACCURATE AS POSSIBLE. THE GENERAL CONTRACTOR AND ALL TRADES WILL TAKE THE GREATEST CARE TO VERIFY EXISTING CONDITIONS PRIOR TO CUTTING AND DEMOLISHING OR INSTALLING NEW MATERIALS. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY. INSTALLATIONS THAT NEED TO ALIGN FLOOR TO FLOOR IN A MULTI-STORY BUILDING ARE INTENDED TO ALIGN (I.E. ELEVATOR, STAIR AND MECHANICAL SHAFTS) REGARDLESS OF DIMENSIONS GIVEN.
 - ALL NEW WALLS IN LINE WITH EXISTING SHALL ALIGN.

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW WALL CONSTRUCTION



2
A1.2 LOWER FACTOR'S WALK FLOOR PLAN
SCALE: 1/4" = 1'-0"

1
A1.2 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



2 DEMOLITION ELEVATION - LOWER FACTORS WALK
 (D3.1) SCALE: 1/4" = 1'-0"



1 DEMOLITION ELEVATION - RIVER STREET
 (D3.1) SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

1. AS WITH ALL RENOVATION PROJECTS, DIMENSIONS ARE TAKEN FROM AS-BUILT DRAWINGS. THE GREATEST CARE HAS BEEN TAKEN IN MAKING THOSE AS-BUILT DRAWINGS AS ACCURATE AS POSSIBLE. THE GENERAL CONTRACTOR AND ALL TRADES WILL TAKE THE GREATEST CARE TO VERIFY EXISTING CONDITIONS PRIOR TO CUTTING AND DEMOLISHING OR INSTALLING NEW MATERIALS. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY. INSTALLATIONS THAT NEED TO ALIGN FLOOR TO FLOOR IN A MULTI-STORY BUILDING ARE INTENDED TO ALIGN (I.E. ELEVATIONS, STAIRS, & MECHANICAL SHAFTS) REGARDLESS OF DIMENSION GIVEN.
2. ALL DEMOLITION WORK SHALL CONFORM W/ ALL LOCAL, STATE, & FEDERAL CODES AND SAFETY STANDARDS. PROVIDE & INSTALL TEMPORARY SHORING SUPPORT FOR DEMOLITION & CONSTRUCTION AS NECESSARY. CONTRACTOR IS RESPONSIBLE FOR DESIGN & SHALL PROVIDE STAMPED, ENGINEERED SHORING DRAWINGS FOR DEMOLITION OF A STRUCTURAL SUPPORTING PORTION OF THE BUILDING FOR A/E REVIEW.
3. PRESERVE & PROTECT ALL ADJACENT WALLS, FLOORS, CEILINGS, WINDOWS & DOORS WHERE DEMOLITION IS NOT INTENDED. **USE DUST CONTAINMENT MEASURES.**
4. CONTRACTOR IS TO PROVIDE SAFEGUARDS AGAINST DAMAGE TO NEIGHBORING BUILDING(S) AT ALL TIMES. BUILDER TO WARN NEIGHBORS SEVEN DAYS PRIOR TO MAJOR DEMOLITION, USE OF HEAVY EQUIPMENT, VIBRATIONS AND/OR EXTREMELY LOUD CONDITIONS.
5. CONTRACTOR IS RESPONSIBLE FOR ALL SPECIAL PERMITTING FOR DUMPSTERS, WALKWAY CLOSINGS, PARKING SPACE CLOSINGS, AND HEAVY EQUIPMENT USAGE.
6. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL OSHA PUBLIC SAFETY REQUIREMENTS AND ADEQUATELY DIVERTING PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION SITE.
7. CONTRACTOR SHALL PROTECT THE EXTERIOR ENVELOPE OF THE BUILDING TO ENSURE WEATHER TIGHTNESS & SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED DURING THE DEMOLITION PROCESS.
8. REMOVE WALLS, FLOORS, CEILINGS, CASEWORK, & ALL ASSOCIATED MATERIALS AS INDICATED ON PLANS. CONTACT ARCHITECT IMMEDIATELY IF INFORMATION IS CONFLICTING OR UNCLEAR. INSTALL NEW HEADER WHERE EXISTING OPENINGS ARE RELOCATED. INSTALL NEW BEAMS WHERE EXISTING BEARING WALLS ARE REMOVED. STORE AND PROTECT MATERIALS, FIXTURES AND ANY ITEMS AS NOTED ON PLANS. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING.
9. DURING DEMOLITION AND CONSTRUCTION, BUILDER SHALL REPORT ANY UNEXPECTED SUBSURFACE CONDITIONS INCLUDING PRESENCE OF MOLD, MILDEW, ACTIVE TERMITES OR TERMITE DAMAGE, DRY ROT OR MOISTURE INFILTRATION TO THE ARCHITECT IMMEDIATELY.
10. WHERE EXISTING ELECTRICAL IS TO BE ABANDONED, ELECTRICAL WIRING, BOXES AND PANEL(S) TO BE REMOVED.
11. CONTRACTOR IS RESPONSIBLE FOR PERMANENTLY CAPPING OFF ANY EXISTING UNUSED WASTELINES, PLUMBING SUPPLY LINES, ELECTRICAL WIRING, UTILITY SERVICE OR DATA LINES.
12. CONTRACTOR TO PERFORM WALK-THROUGH WITH OWNER PRIOR TO ANY DEMOLITION TO DETERMINE ANY ITEMS TO BE SALVAGED & RE-USED.
13. ALL TRADES TO INSPECT EXISTING CONDITIONS PRIOR TO BEGINNING WORK OR PROVIDING GENERAL CONTRACTOR WITH COST ESTIMATES.
14. COORDINATE ALL DEMOLITION W/ NEW CONSTRUCTION PLANS. COORDINATE W/ ARCHITECT IF ANY DIFFERENCES IN DEMOLITION ARE SHOWN.
15. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES.
16. PREPARE ENTIRE FLOOR WHERE REQUIRED FOR NEW FINISHES, FILL IN ANY HOLES.

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW WALL CONSTRUCTION

DEMOLITION LEGEND	
	ALL DASHED ITEMS TO BE REMOVED
	NO WORK IN THIS AREA



2514 ABERCORN STREET
 SUITE 120
 SAVANNAH, GA 31401
 912.777.3979

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 DRAWN: CS

D3.1



2514 ABERCORN STREET
SUITE 120
SAVANNAH, GA 31401
912.777.3979

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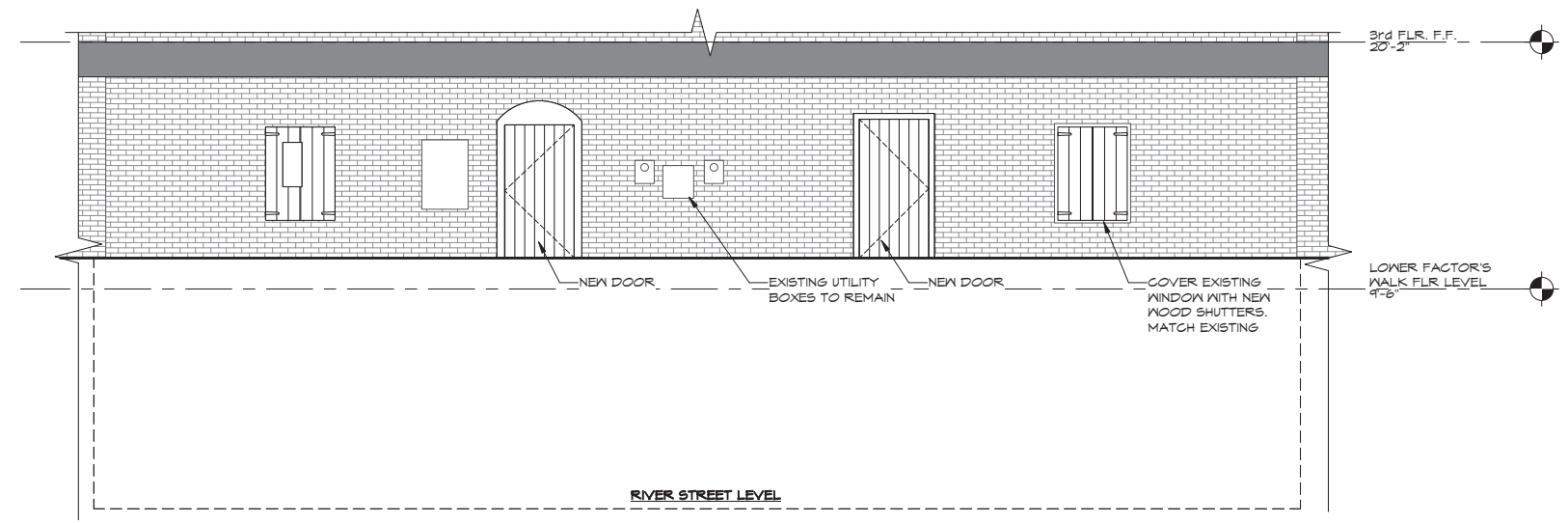
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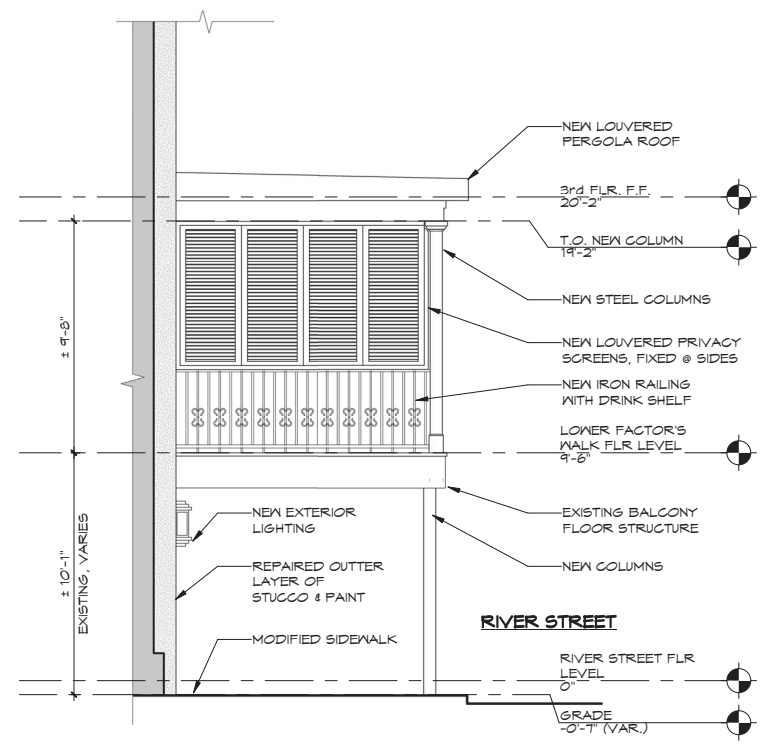
A3.1



2
A3.1 **PROPOSED LOWER FACTORS WALK ELEVATION**
SCALE: 1/4" = 1'-0"



1
A3.1 **PROPOSED RIVER STREET ELEVATION**
SCALE: 1/4" = 1'-0"



3
A3.1 **PROPOSED SIDE ELEVATION**
SCALE: 1/4" = 1'-0"

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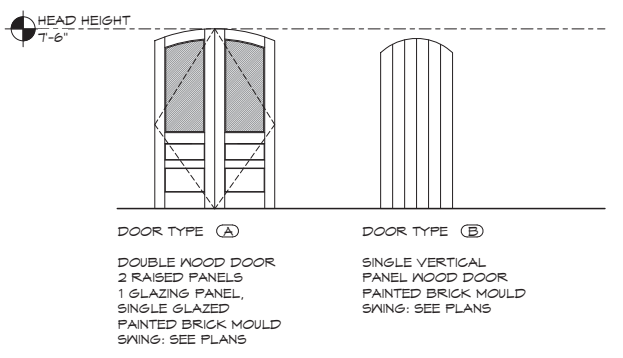
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DETAILS

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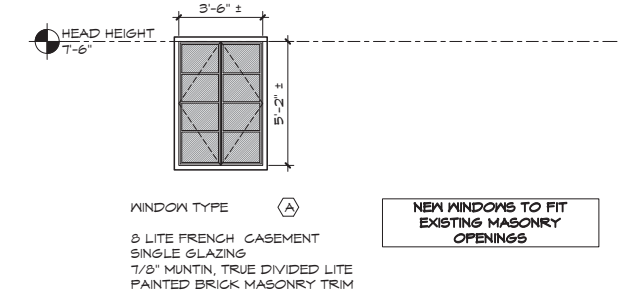
A5.1

EXTERIOR DOOR ELEVATIONS

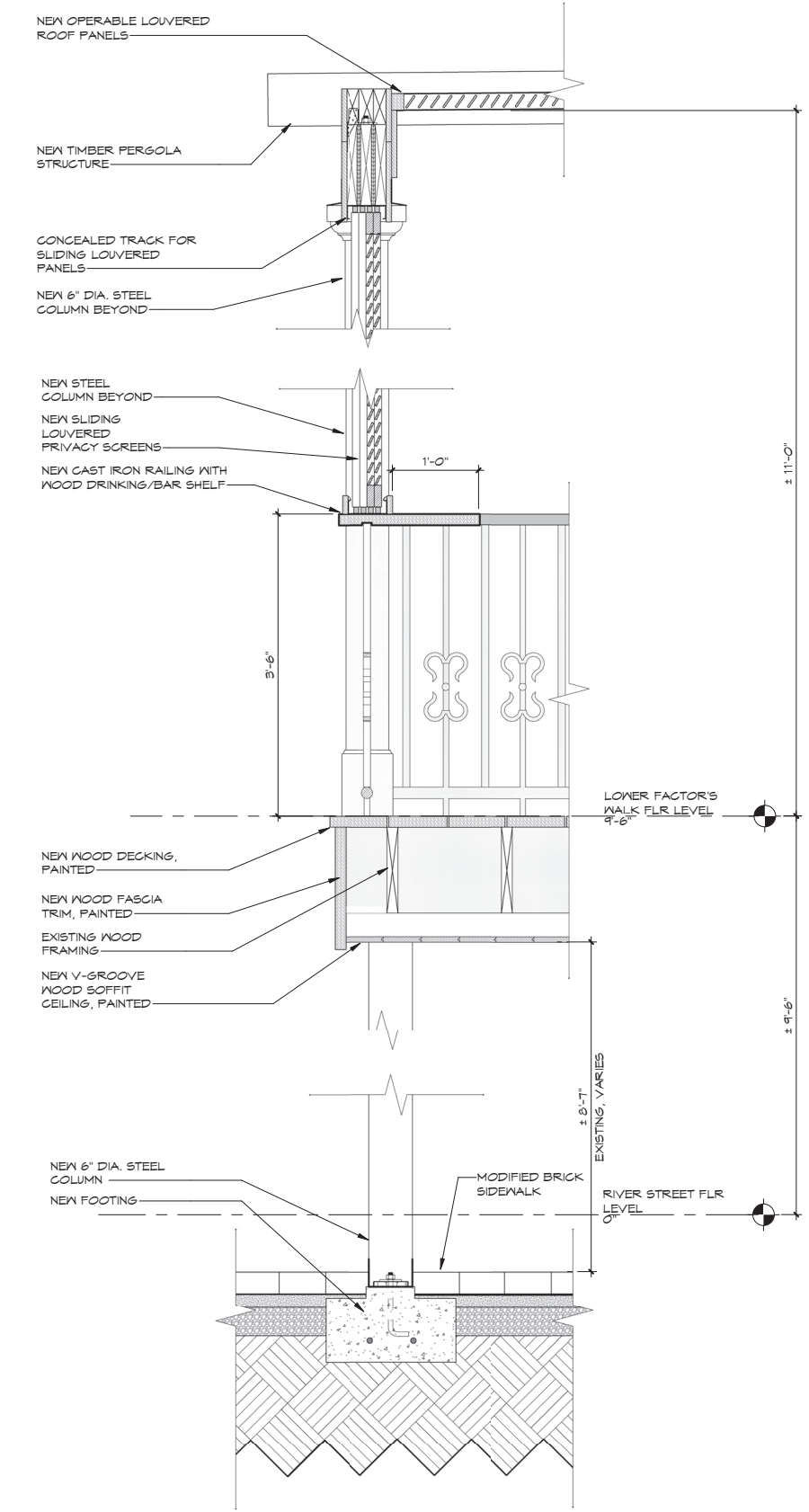


- DOOR NOTES**
- FIELD VERIFY ALL WINDOW & DOOR ROUGH OPENINGS PRIOR TO ORDERING
 - PROVIDE DOOR SWINGS AS NOTED IN PLANS, UNLESS NOTED OTHERWISE.
 - DOOR MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY ARCHITECT PRIOR TO FABRICATION. ALL WINDOW AND DOOR PRODUCTS WITHOUT PRIOR SHOP DRAWINGS APPROVAL ARE SUBJECT TO REJECTION BY ARCHITECT. PROVIDE GLAZING SAMPLE ILLUSTRATING GLASS COLORATION FOR APPROVAL.

EXTERIOR WINDOW ELEVATIONS



2 A5.1 EXTERIOR PERSPECTIVE OF BALCONY
SCALE: N.T.S.



1 A5.1 BALCONY SECTION DETAILS
SCALE: 1" = 1'-0"