

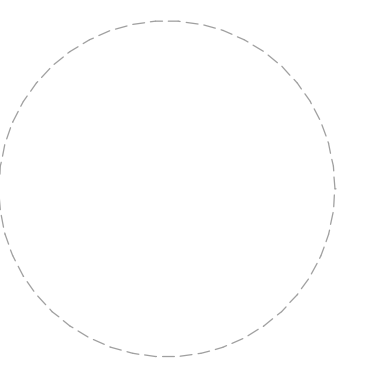
TEMPO HOTEL BY HILTON HISTORIC SAVANNAH, GA

220 E. BRYAN STREET, SAVANNAH, GA, 31401

NF V SAVANNAH BRYAN, LLC

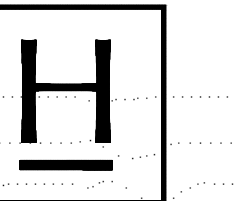


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PROJECT #: HANSEN 202205
DRAWN BY: PG
CHECKED BY: PLP

NILES BOLTON ASSOCIATES

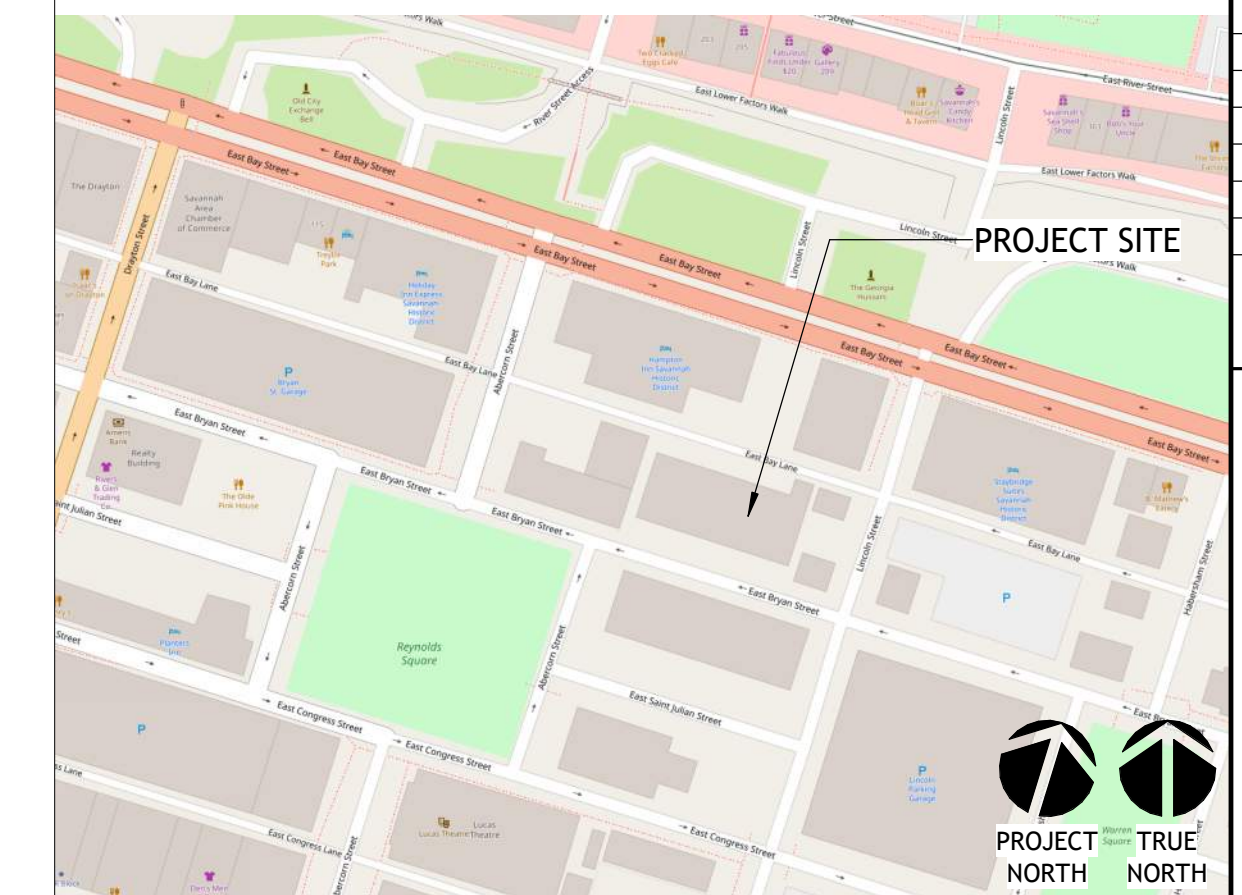


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No.	Description	Date
A	HDBR PART 1	5/12/22

VICINITY MAP (NOT TO SCALE):



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DOCUMENT ISSUANCES:

05-12-2022 | HDBR PART 1

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- HDBR 1.2 TYPICAL GUEST ROOM - LEVEL 2 THRU 6
- HDBR 1.3 GUESTROOM - LEVEL 7 - SKYBAR
- HDBR 1.4 ROOF PLAN
- HDBR 3.0 OVERALL EXTERIOR ELEVATIONS
- HDBR 3.1 EXTERIOR ELEVATIONS
- HDBR 3.2 EXTERIOR ELEVATIONS
- HDBR 4.1 BUILDING SECTIONS
- HDBR 5.1 BUILDING WALL SECTIONS
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- HDBR 6.3 RENDERINGS

TEMPO HOTEL BY HILTON - HISTORIC SAVANNAH, GA
220 E. BRYAN STREET
SAVANNAH, GA, 31401
NF V SAVANNAH BRYAN, LLC

SAVANNAH HISTORIC DISTRICT BOARD OF REVIEW SUBMITTAL
NEW CONSTRUCTION PART I, HEIGHT AND MASS FOR:
220 EAST BRYAN STREET, SAVANNAH, GA, 31401

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
HDBR 0.0

04-28-2022

DEVELOPER

NF V SAVANNAH BRYAN, LLC
2000 MONARC TOWER, 3424 PEACHTREE SUITE 2000
ATLANTA, GA 30326
CONTACT: BILL STAUDUHAR
PHONE: (404) 832-0817

BRAND

HILTON GLOBAL DESIGN SERVICES
7930 JONES BRANCH DRIVE
MCLEAN, VA 22102
CONTACT: ALISON CORCORAN
PHONE: (703) 883-1000

STRUCTURAL ENGINEERING

BROWDER + LeGUIZAMON & ASSOC., INC
6285 BARFIELD ROAD
SUITE 200
ATLANTA, GA 30328
CONTACT: ZACH WHITE
PHONE: (404) 851-9580

INTERIOR DESIGN

NILES BOLTON ASSOCIATES
3060 PEACHTREE ROAD
SUITE 600
ATLANTA, GA 30305
CONTACT: TAYLOR YARBROUGH
PHONE: (404) 365-7600

CIVIL ENGINEERING*

EMC ENGINEERING SERVICES, INC.
27 CHATHAM CENTER SOUTH
SUITE A
SAVANNAH, GA 31405
CONTACT: MARK MOBLEY
PHONE: (912) 644-3215

FOOD SERVICE CONSULTANT

FDS DESIGN STUDIO
2156 WISCONSIN AVENUE, SE
WASHINGTON, DC 20007
CONTACT: STEPHANE COLOMBINA
PHONE: (202) 362-1070

ARCHITECT OF RECORD

NILES BOLTON ASSOCIATES
3060 PEACHTREE ROAD
SUITE 600
ATLANTA, GA 30305
CONTACT: ANDRES RUBIO
PHONE: (404) 365-7600

CONSULTING ARCHITECT

HANSEN ARCHITECTS, P.C.
24 DRAYTON STREET
9TH FLOOR
SAVANNAH, GA 31401
CONTACT: PATRICK L. PHELPS
PHONE: (912) 234-8056

MEP ENGINEERING

THOMPSON EHLE COMPANY
2 SUN COURT NW
SUITE 450
PEACHTREE CORNERS, GA 30092
CONTACT: JERRY BASCONI
PHONE: (404) 329-7192

LANDSCAPE ARCHITECTURE

COMPANY NAME HERE
ADDRESS LINE 1
ADDRESS LINE 2
ADDRESS LINE 3
CONTACT: POINT OF CONTACT
PHONE: (NNN)-NNN-NNNN XNNN

GENERAL CONTRACTOR*

PINKERTON & LAWS
1165 NORTHCHASE PKWY
SUITE 100
MARIETTA, GA 30067
CONTACT: JEFF JERNIGAN
PHONE: (770) 956-9000

LIGHTING DESIGNER

GABLER-YOUNGSTON, INC.
760 UNITED AVENUE, SE
ATLANTA, GA 30312
CONTACT: MORGAN GABLER
PHONE: (404) 521-3166

VARIOUS CONSULTANTS DESIGNATED WITH AN ASTERISK "*" (BUT NOT LIMITED TO) ARE UNDER SEPARATE CONTRACTS WITH THE OWNER.

NOT RELEASED FOR CONSTRUCTION

GENERAL INFORMATION :

ADDRESS: 220 E BRYAN ST, SAVANNAH, GEORGIA, 31401

PIN: 20004 17004

ZONING: D-CBD — DOWNTOWN CENTRAL BUSINESS DISTRICT

FLOOD: X

WRITTEN PROJECT DESCRIPTION:

REQUEST FOR COA FOR THE NEW CONSTRUCTION OF A SEVEN STORY BUILDING AT 220 EAST BRYAN.

THE DEMOLITION OF THE NON-HISTORIC EXISTING BUILDING AT 220 EAST BRYAN HAS BEEN ISSUED A COA (21-006258-COA) WHICH IS CONTINGENT ON APPROVAL OF PART I AND PART II FOR NEW CONSTRUCTION AND THAT THE EXISTING BUILDING BE DOCUMENTED PER THE MPC'S DOCUMENTATION POLICY

SPECIAL EXCEPTIONS, VARIANCES AND CONSIDERATIONS REQUESTED:

- REQUEST TO VARY THE REQUIRED SPACING OF BAYS TO BE >15' IN WIDTH AS THE PROPOSED SPACING IS VISUALLY COMPATIBLE WITH ADJACENT HISTORIC PRECEDENT.
- ADDITIONAL STORY REQUEST ABOVE THE HEIGHT MAP ALLOWANCE BY MEETING THE REQUIREMENTS OF SECTION V (c) iii; MULTIPLE GROUND FLOOR USES AND 100% MODULAR MASONRY.
- REQUEST TO ALLOW THIN BRICK ON WALLS SETBACK FROM THE EXTERIOR FACE OF THE BUILDING. (MECHANICAL PENTHOUSE AND SKY DECK)

PRE APPLICATION CONFERENCE:

MAY 2ND, 2022 - LEAH MICHALAK

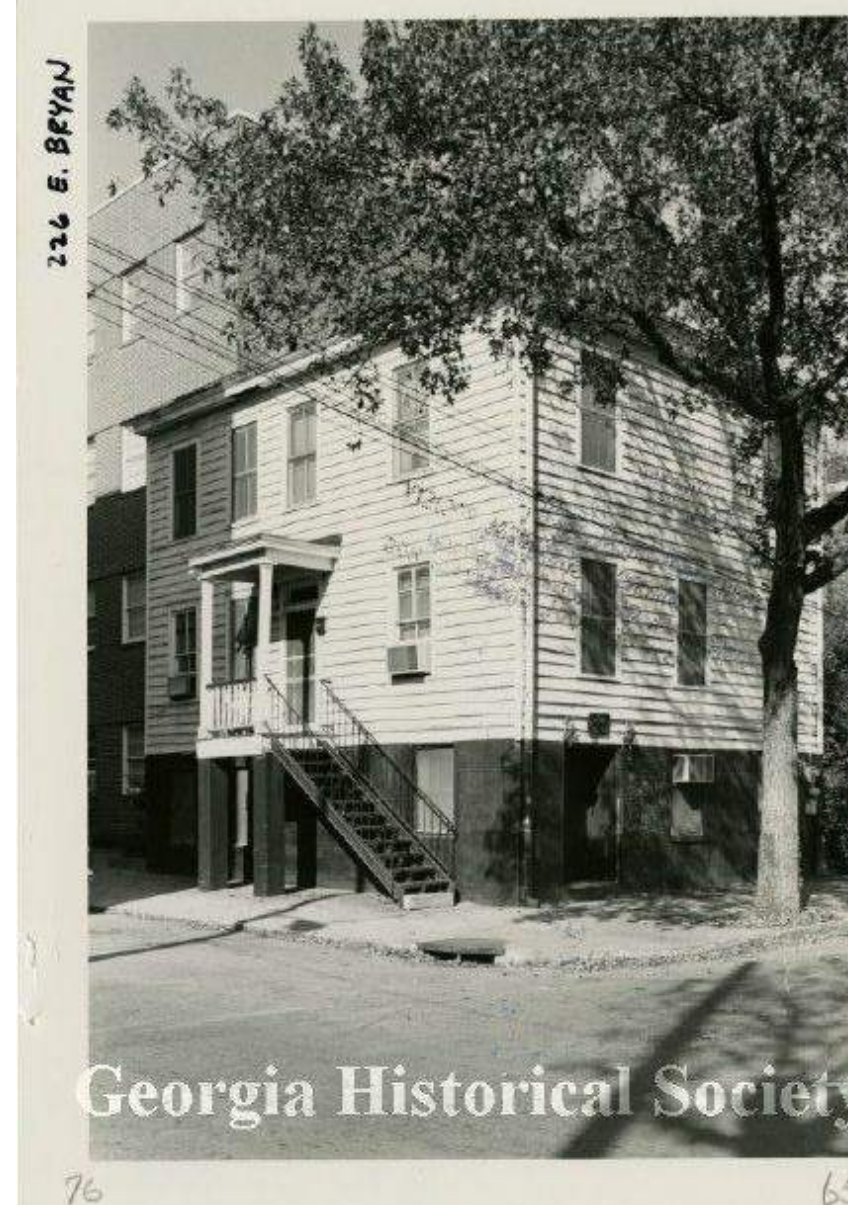
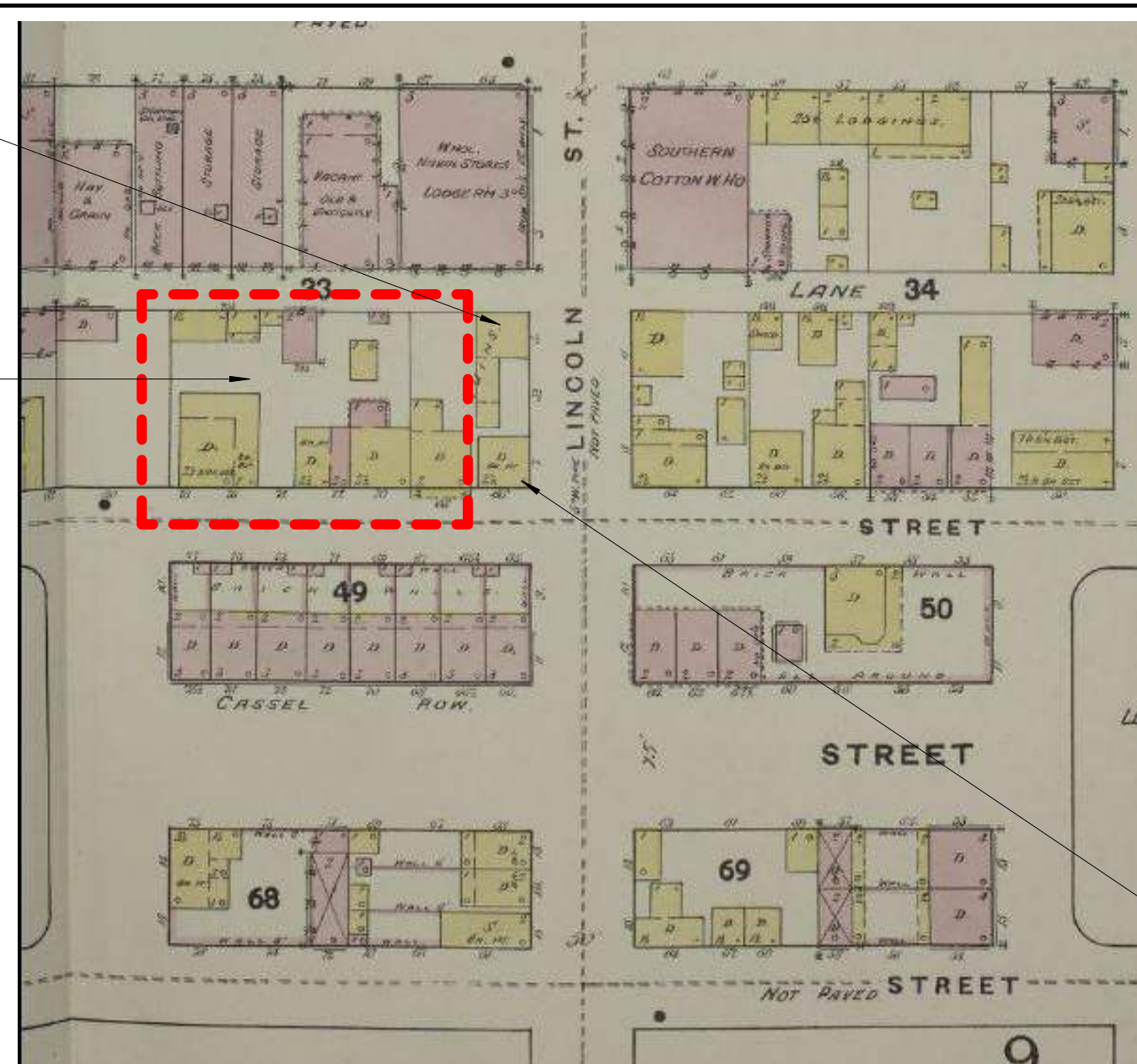
GENERAL DEVELOPMENT PLAN MEETING DATE:

MAY 12, 2022

LOT COVERAGE PERCENTAGE:

TOTAL LOT: 13,866 S.F.
 TOTAL BUILDING: 13,434 S.F.
 TOTAL LOT COVERAGE: 96.8%

9 LINCOLN STREET - 1853
 2 AND 3 STORY WOOD FRAME DWELLINGS AND ACCESSORY BUILDINGS



PROJECT # : HANSEN 202205
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 CHECKED BY: PLP

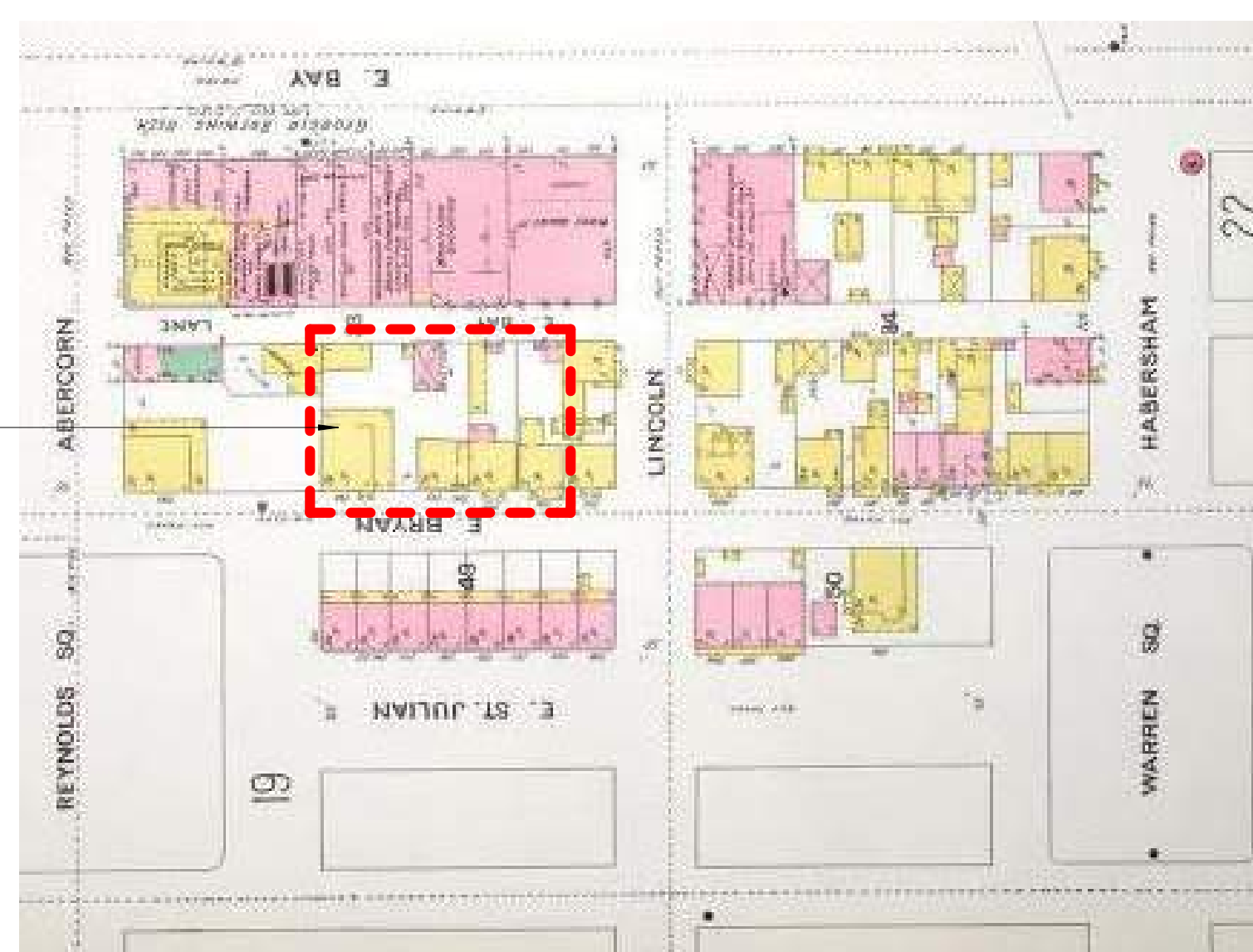
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1 SANBORN MAP AND HISTORIC STRUCTURES - 1888
 N.T.S.

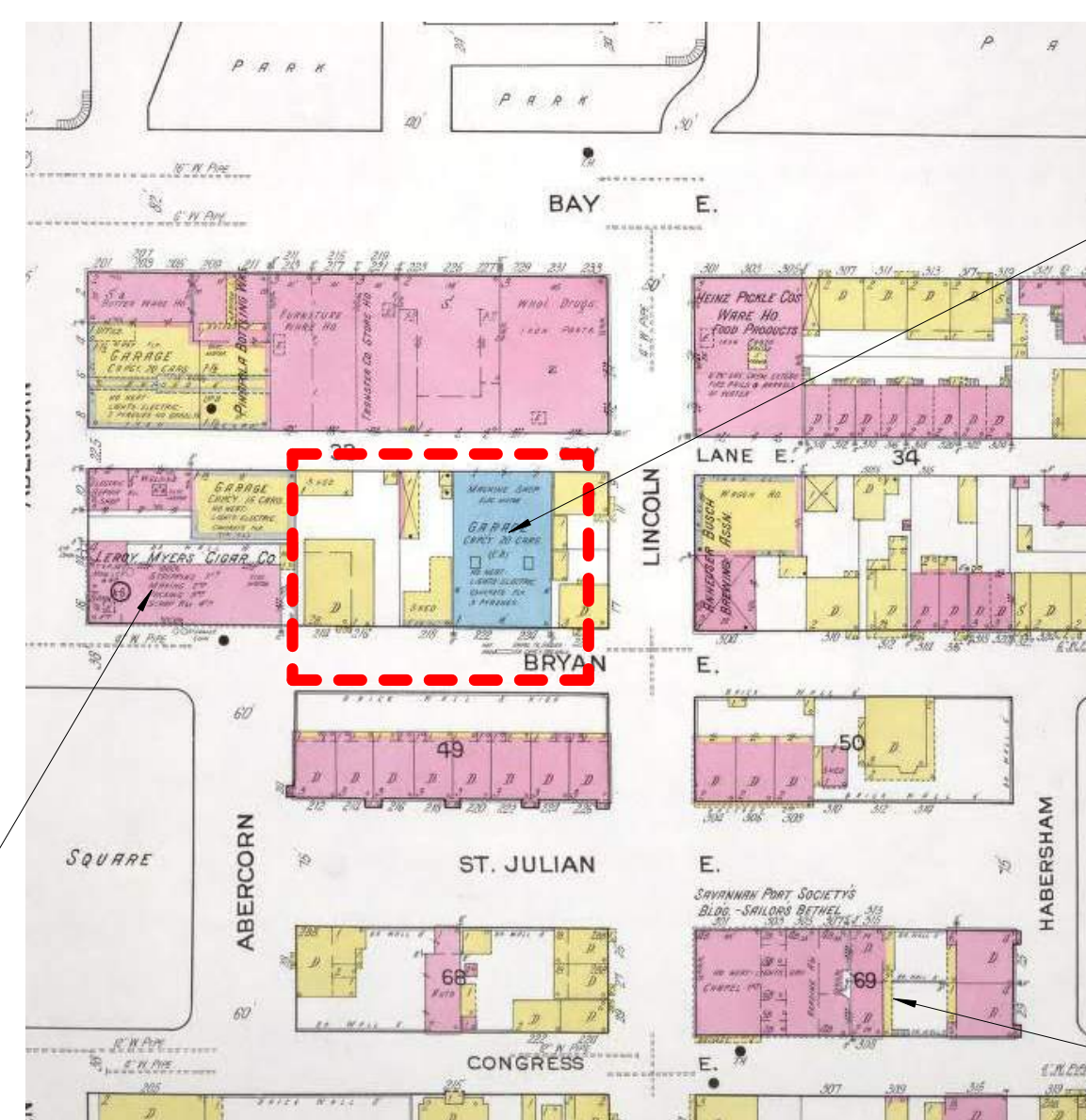
2 AND 3 STORY WOOD FRAME DWELLINGS AND ACCESSORY BUILDINGS



2 SANBORN MAP AND HISTORIC STRUCTURES - 1898
 N.T.S.



18 ABERCORN, LEROY MYERS CIGAR CO. - 1911



GARAGE AND MACHINE SHOP CONSTRUCTED.



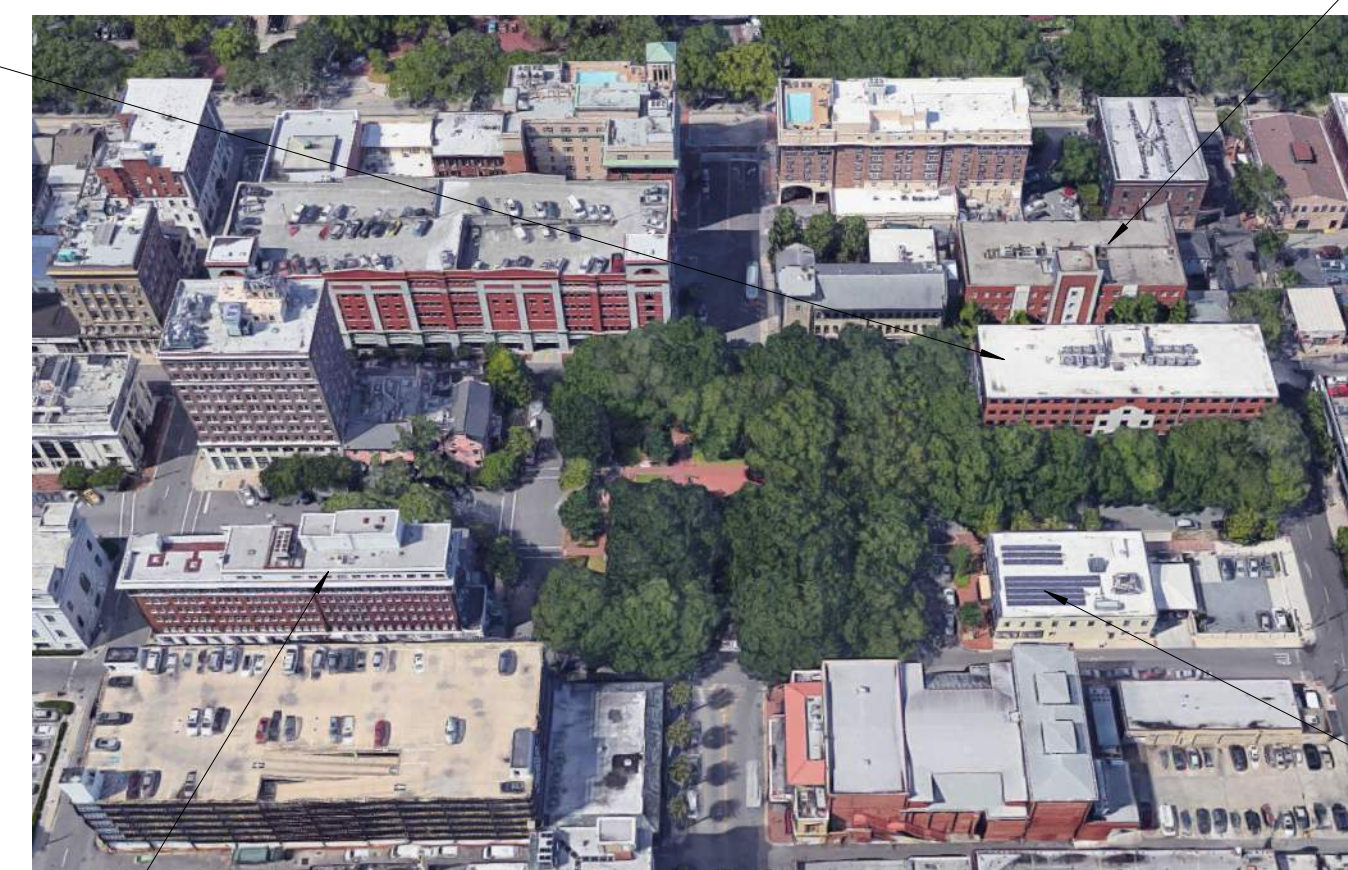
SAILOR'S BETHEL HOUSE - CIRCA 1889

3 SANBORN MAP AND HISTORIC STRUCTURES - 1916
 N.T.S.

200 EAST ST. JULIAN STREET - 1954/1995



28 ABERCORN, PLANTER'S INN - 1919



220 EAST BRYAN STREET - 1970



28 ABERCORN STREET - 1919

4 SANBORN MAP AND HISTORIC STRUCTURES - 1916
 N.T.S.

3060 Peachtree Rd. N.W.
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No.	Description	Date
A	HDBR - PART I	05/12/22

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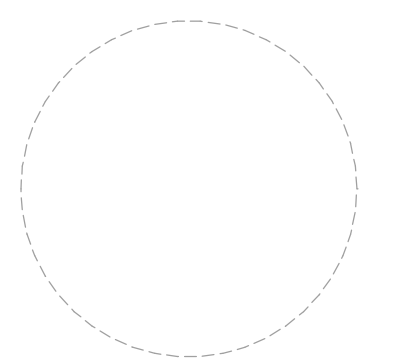
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PROJECT INFORMATION

SHEET NUMBER:
HDBR 0.1

05/12/2022

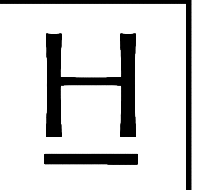
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CHECKED BY: PLP

**NILES BOLTON
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1
HDBR
0.2
EXISTING SITE CONTEXT PHOTOS - 18 ABERCORN ST
N.T.S.

2
HDBR
0.2
EXISTING SITE CONTEXT PHOTOS - 18 ABERCORN ST AND 220 E BRYAN ST
N.T.S.

3
HDBR
0.2
EXISTING SITE CONTEXT PHOTOS - 220 E BRYAN ST AND 226 E BRYAN ST
N.T.S.



4
HDBR
0.2
EXISTING SITE CONTEXT PHOTOS - 226 E BRYAN ST
N.T.S.

5
HDBR
0.2
EXISTING SITE CONTEXT PHOTOS - 226 E BRYAN ST AND 9 LINCOLN ST
N.T.S.

6
HDBR
0.2
EXISTING SITE CONTEXT PHOTOS - 226 E BRYAN ST, 220 E BRYAN ST AND 9 LINCOLN ST
N.T.S.



7
HDBR
0.2
EXISTING SITE CONTEXT PHOTOS - 9 LINCOLN ST, 220 E BRYAN ST AND 18 ABERCORN ST
N.T.S.

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220 E. BRYAN STREET
SAVANNAH, GA, 31401
NF V SAVANNAH BRYAN, LLC

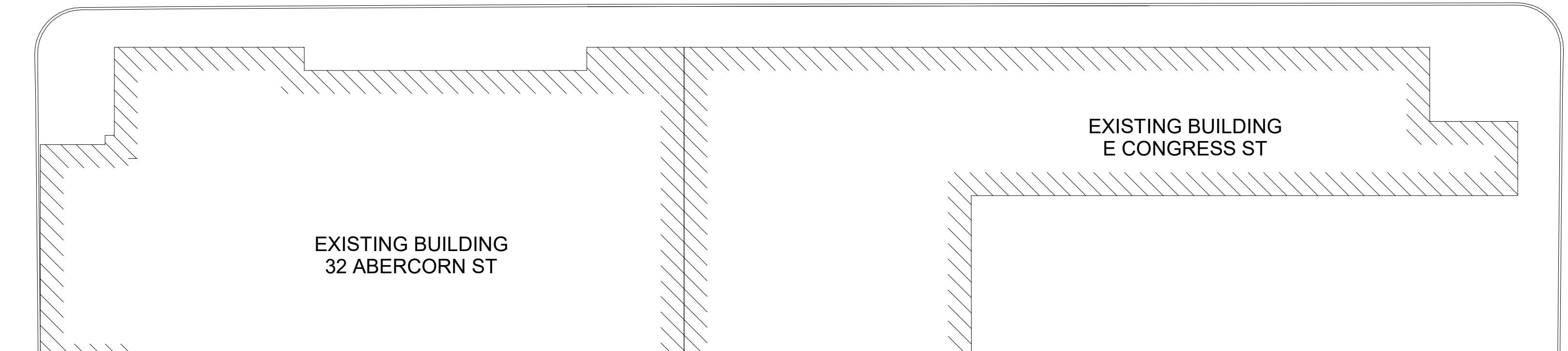
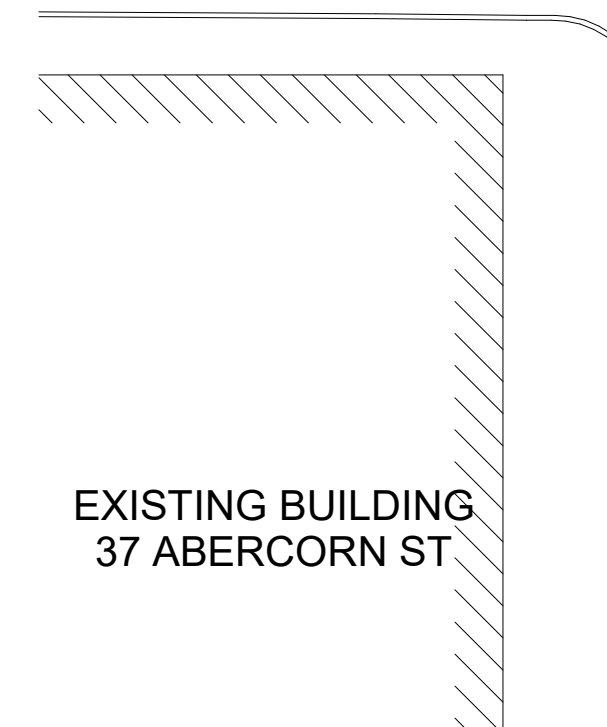
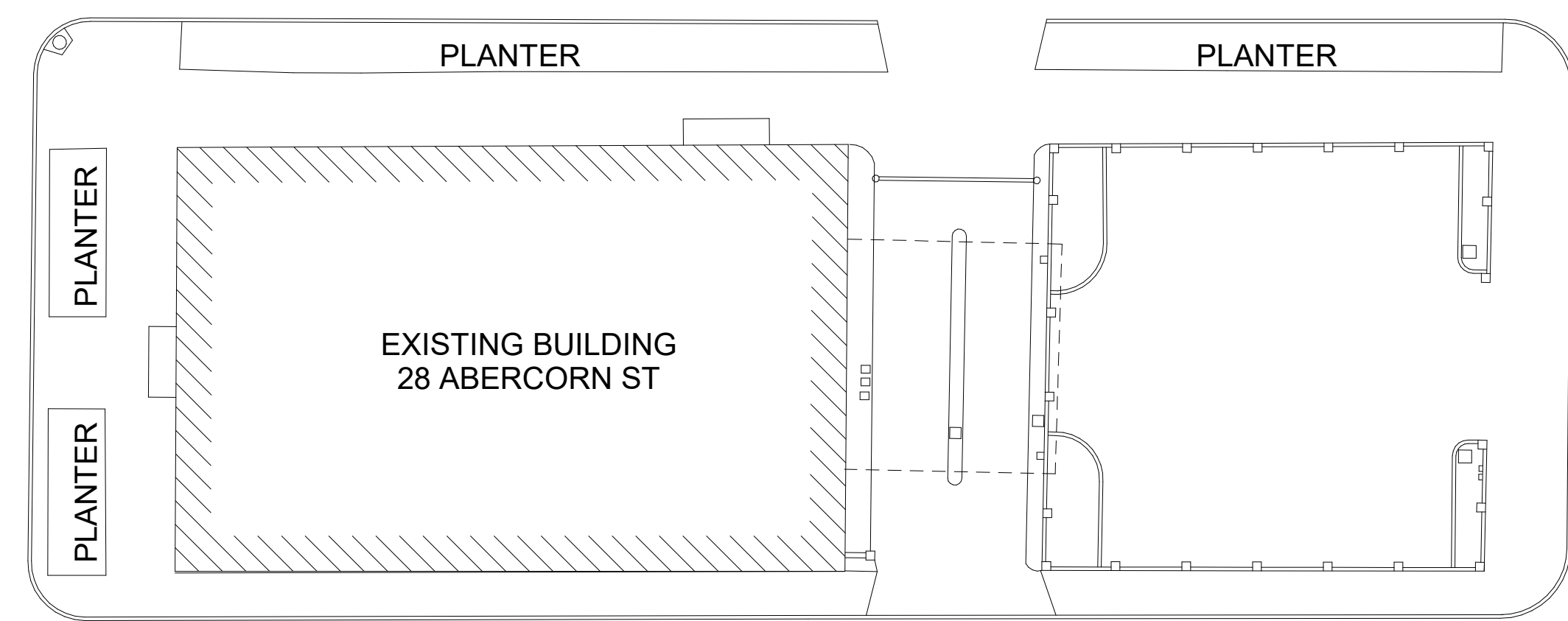
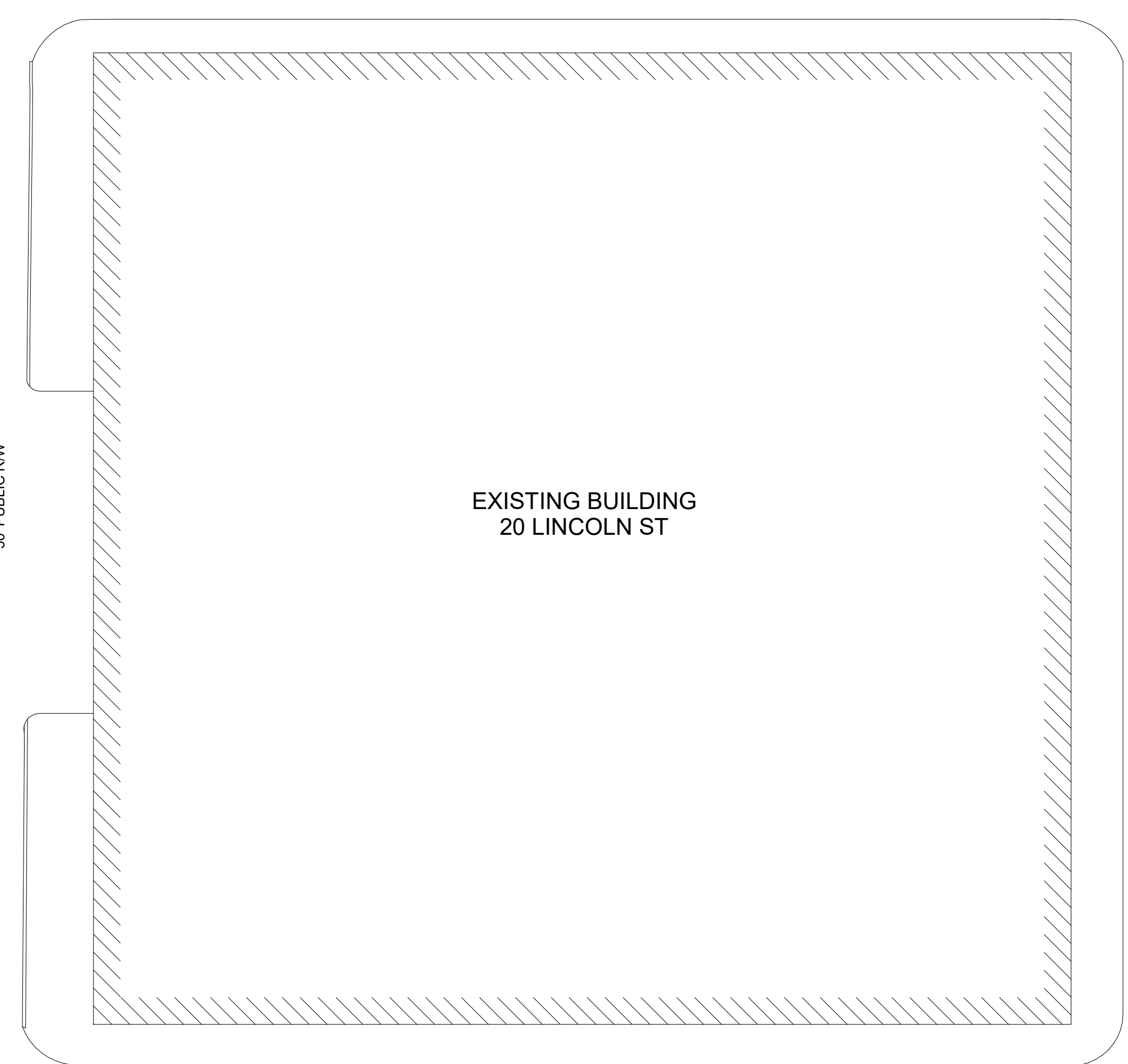
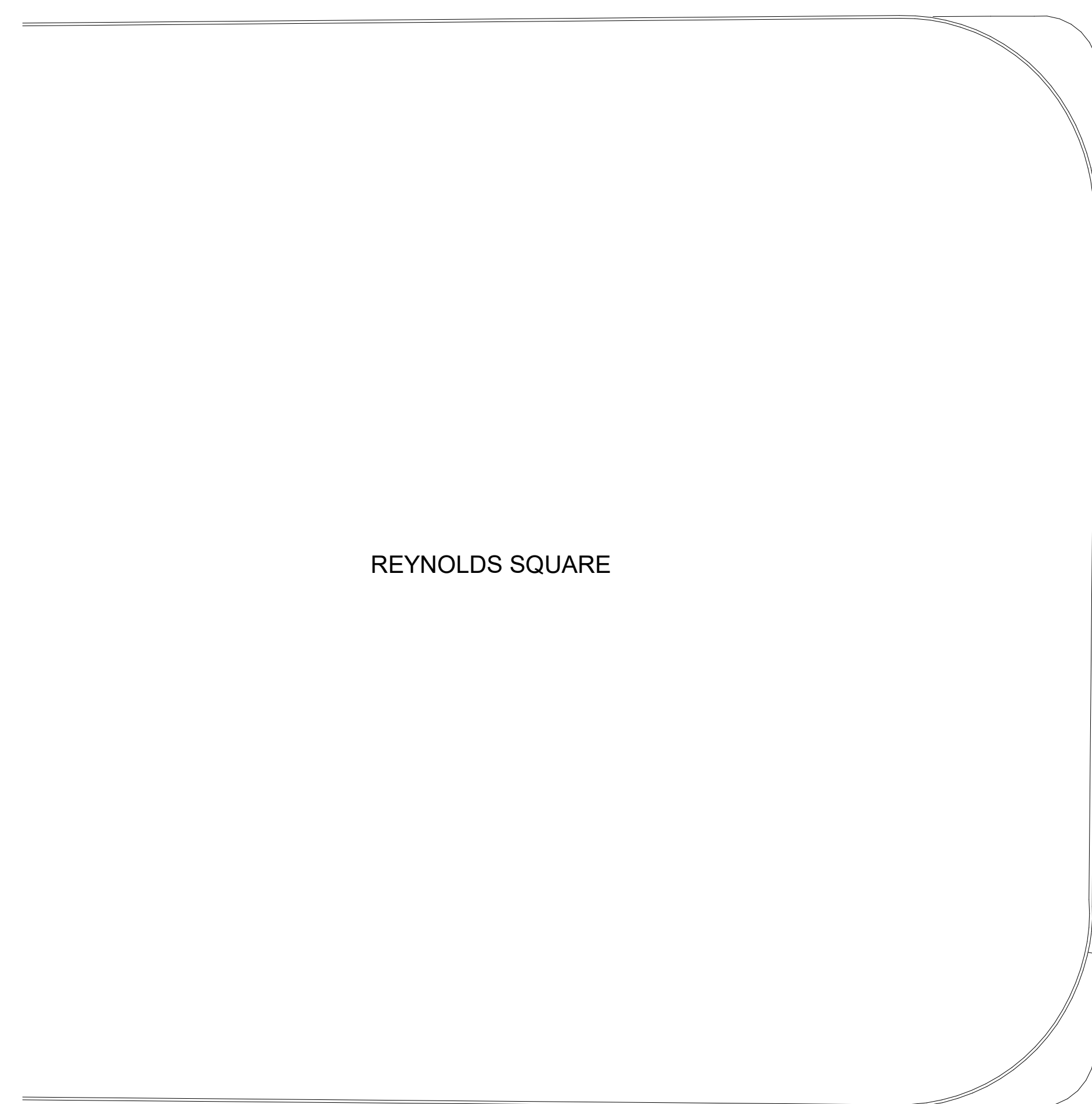
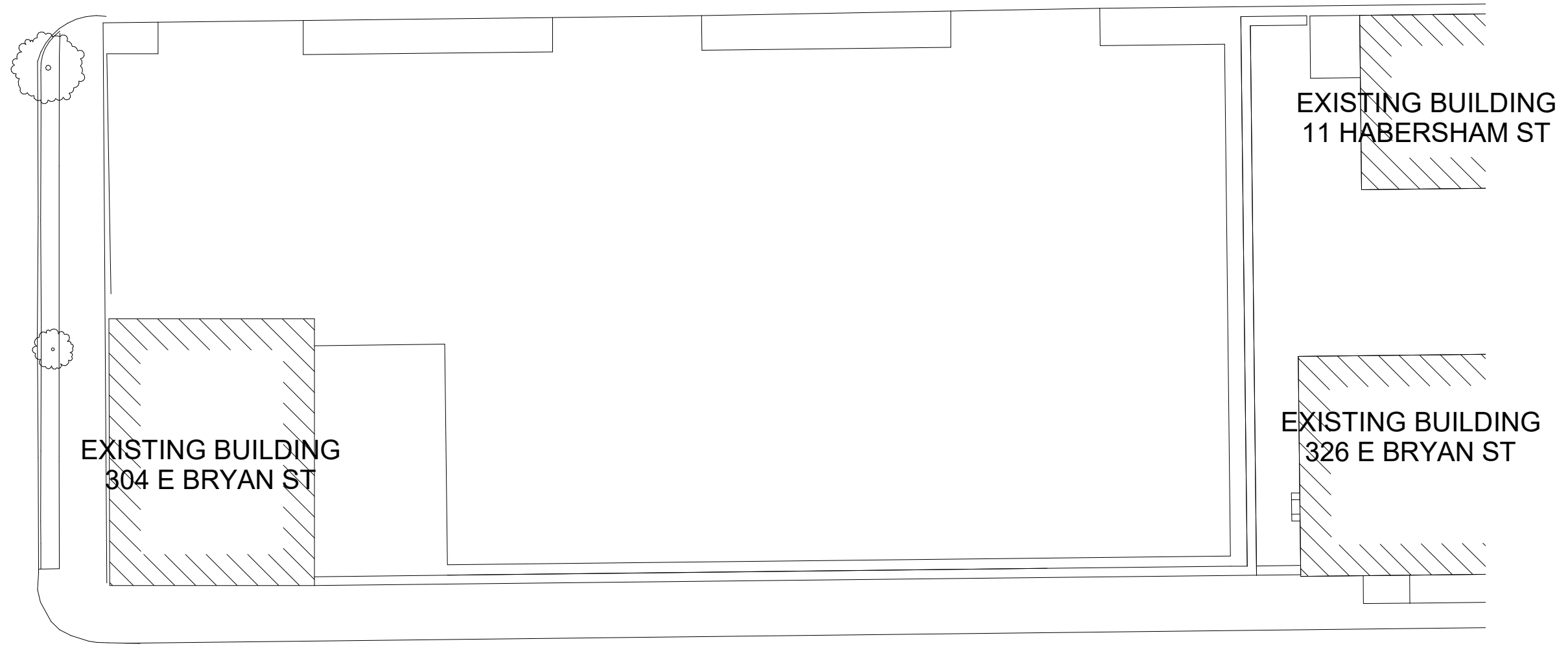
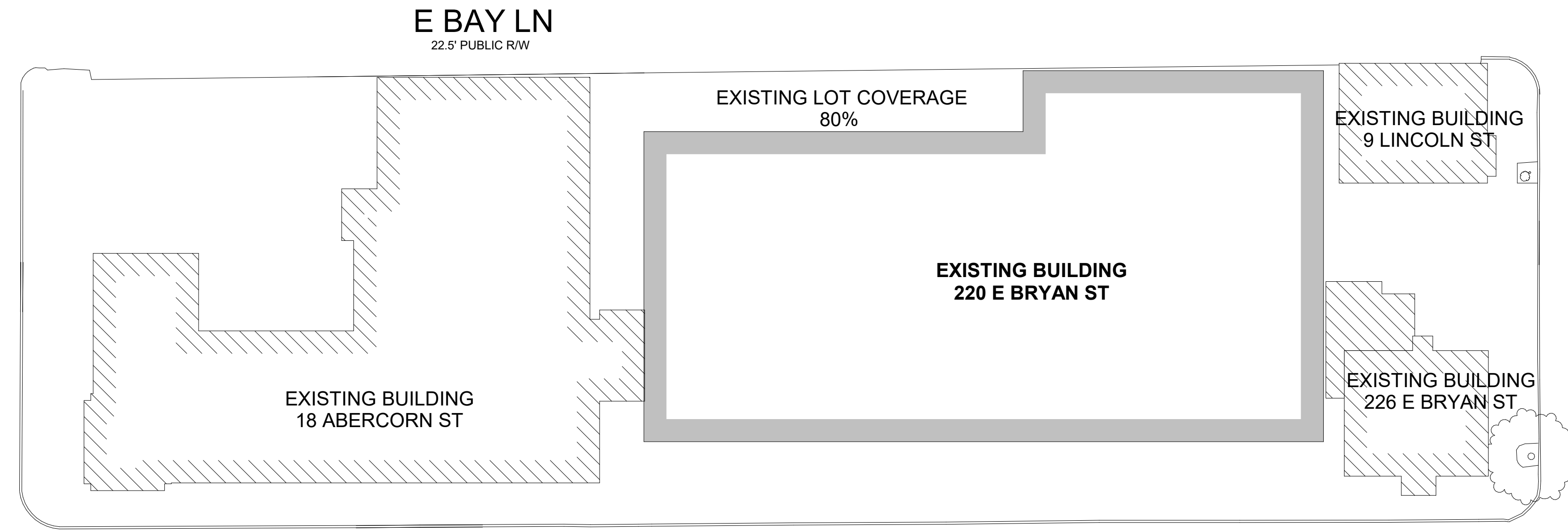
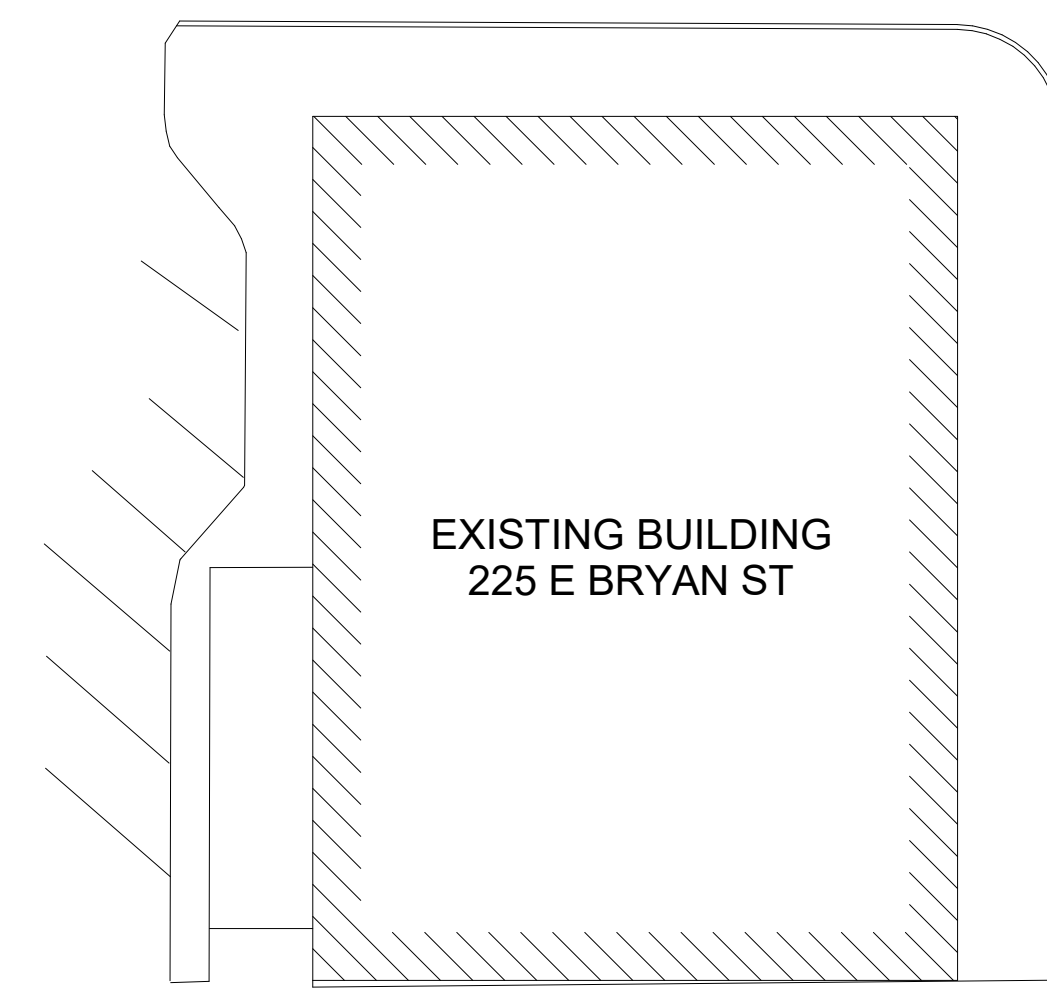
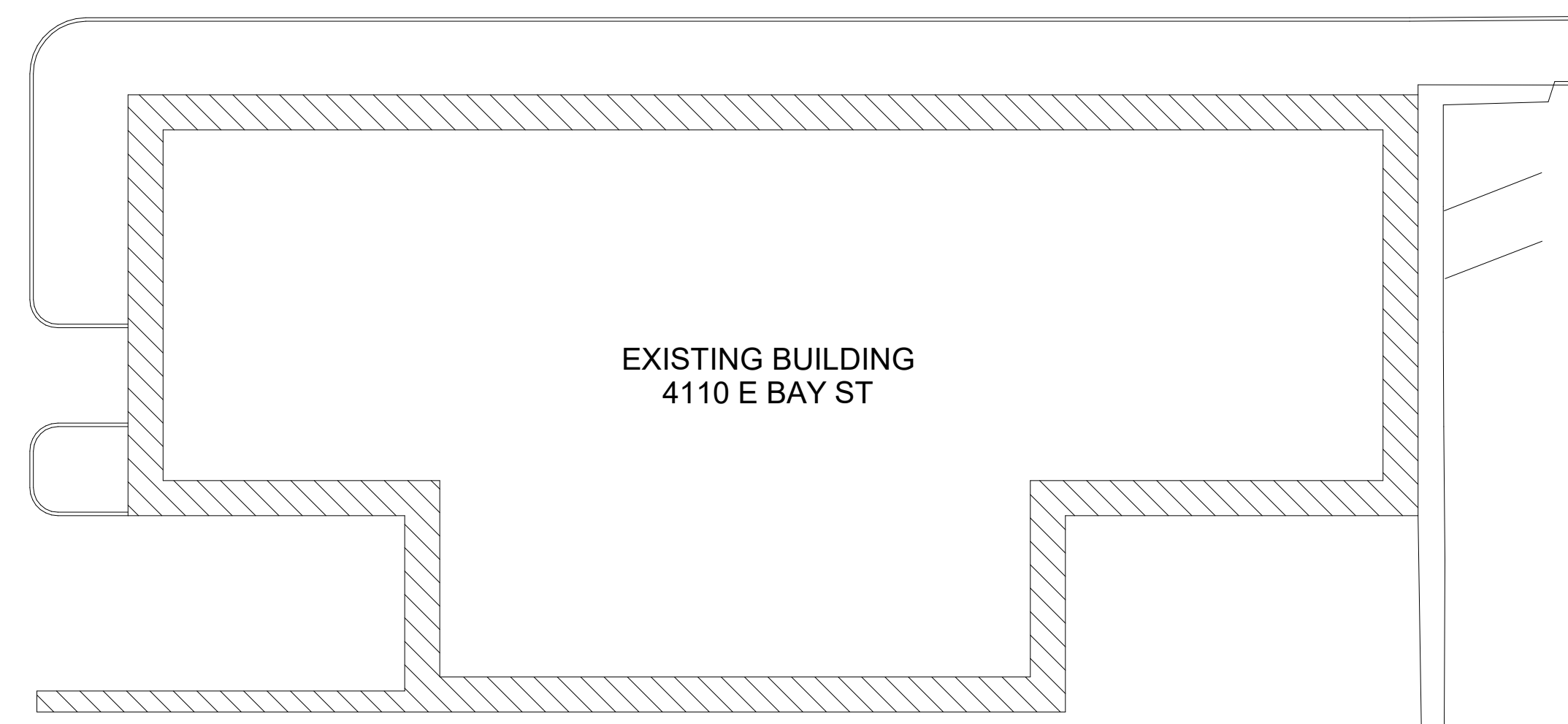
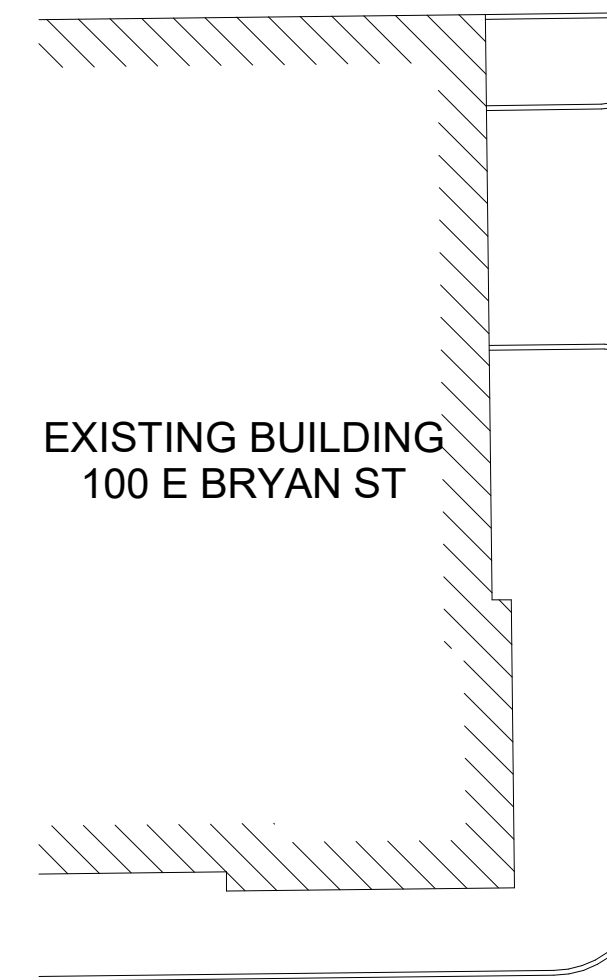
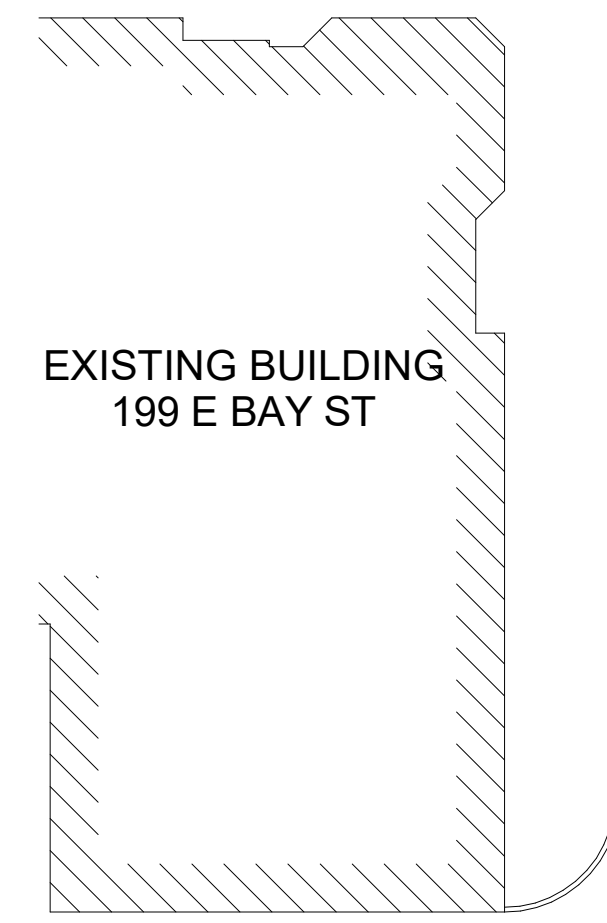
SHEET TITLE:
SITE CONTEXT
PHOTOS

SHEET NUMBER:
HDBR 0.2

05/12/2022

S:\10_2022_03-26-24_MacDonald_LCS\7\HDBR_Tempo_Savannah\202205_TEMPO_RP21.rvt

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ABERCORN ST

E BAY LN
22.5' PUBLIC RW

E BRYAN ST
37.5' PUBLIC RW

E SAINT JULIAN ST
75' PUBLIC RW

E CONGRESS ST
37.5' PUBLIC RW

LINCOLN ST
50' PUBLIC RW

HABERSHAM ST

PROJECT #: HANSEN 202205
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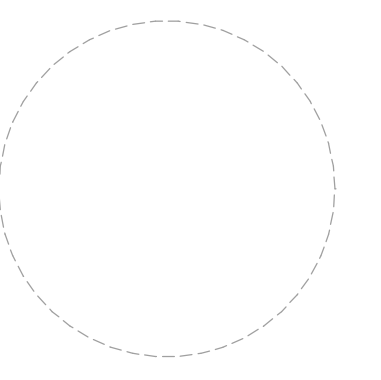
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EXISTING SITE PLAN

SHEET NUMBER:
HDBR 0.3

05/12/2022

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 CHECKED BY: PLP

NILES BOLTON ASSOCIATES



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A	HDBR - PART I	05/12/22

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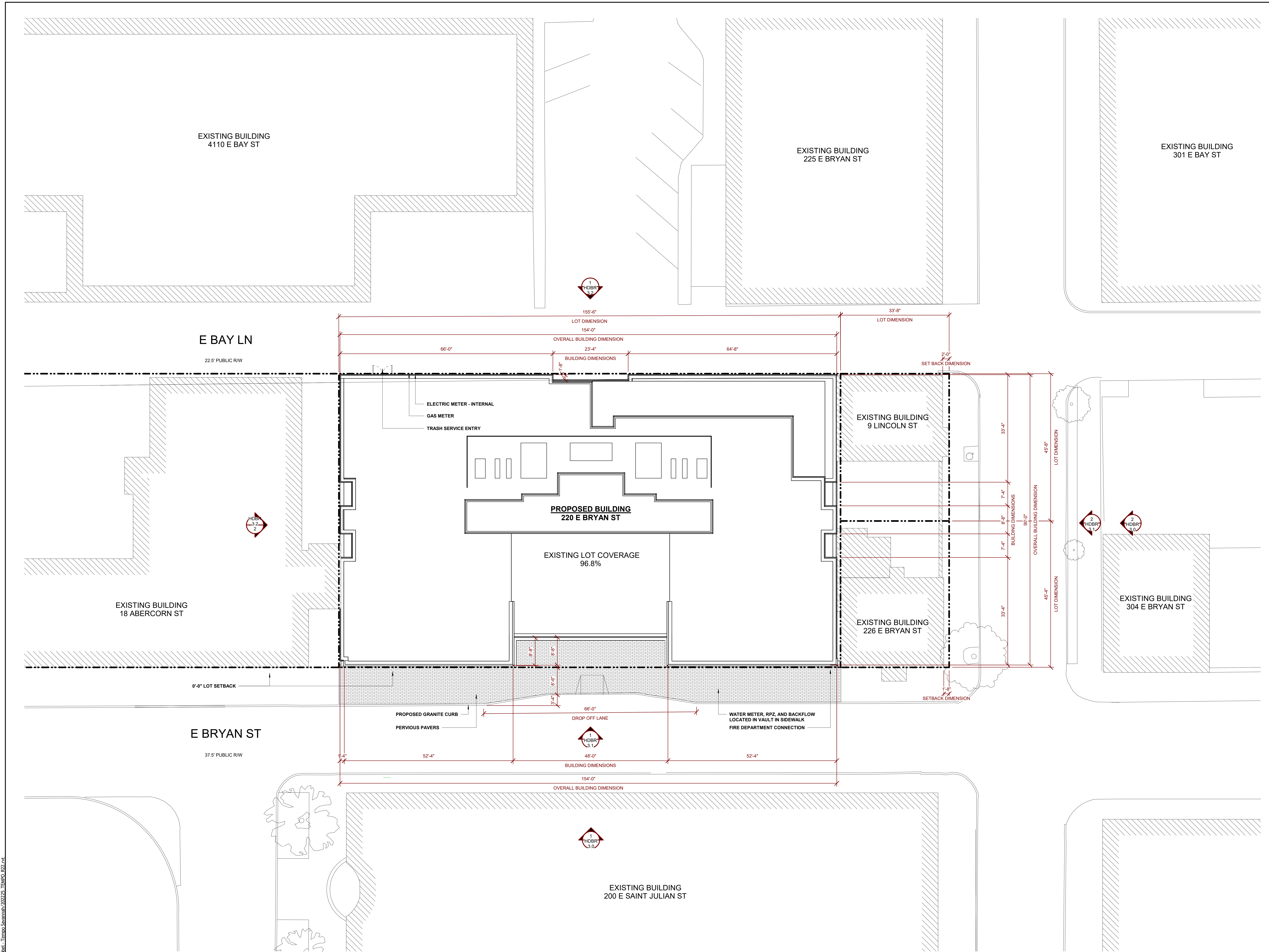
TEMPO HOTEL BY HILTON - HISTORIC SAVANNAH, GA
 220 E. BRYAN STREET
 SAVANNAH, GA, 31401
 NF V SAVANNAH BRYAN, LLC

SHEET TITLE:
PROPOSED SITE PLAN

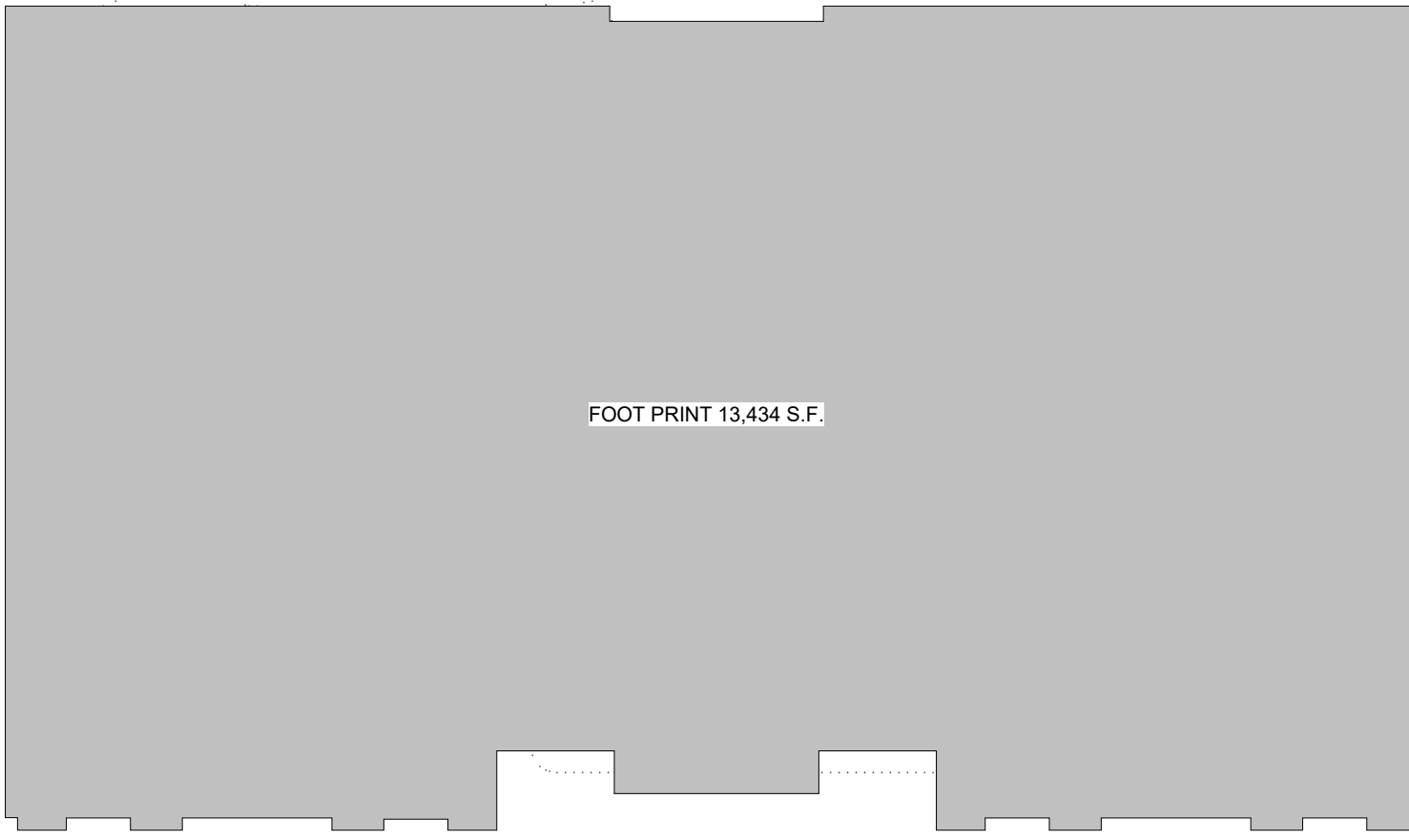
SHEET NUMBER:
HDBR 0.4

05/12/2022

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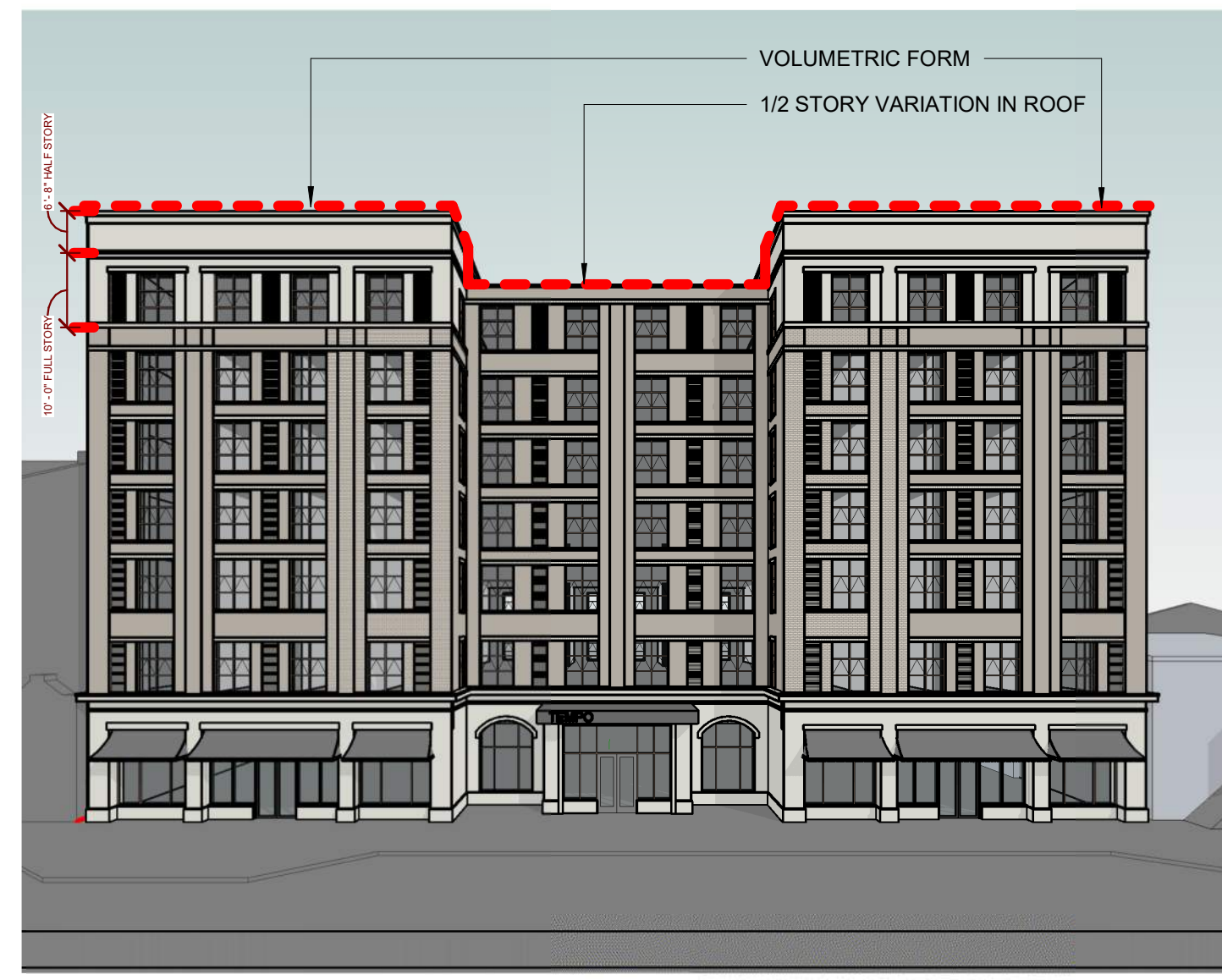


5/12/2022 03:36:58 \\nasdaq-las01\hobbi_1\tempo_savannah\2022\1_TEMPO_RPZ.rvt

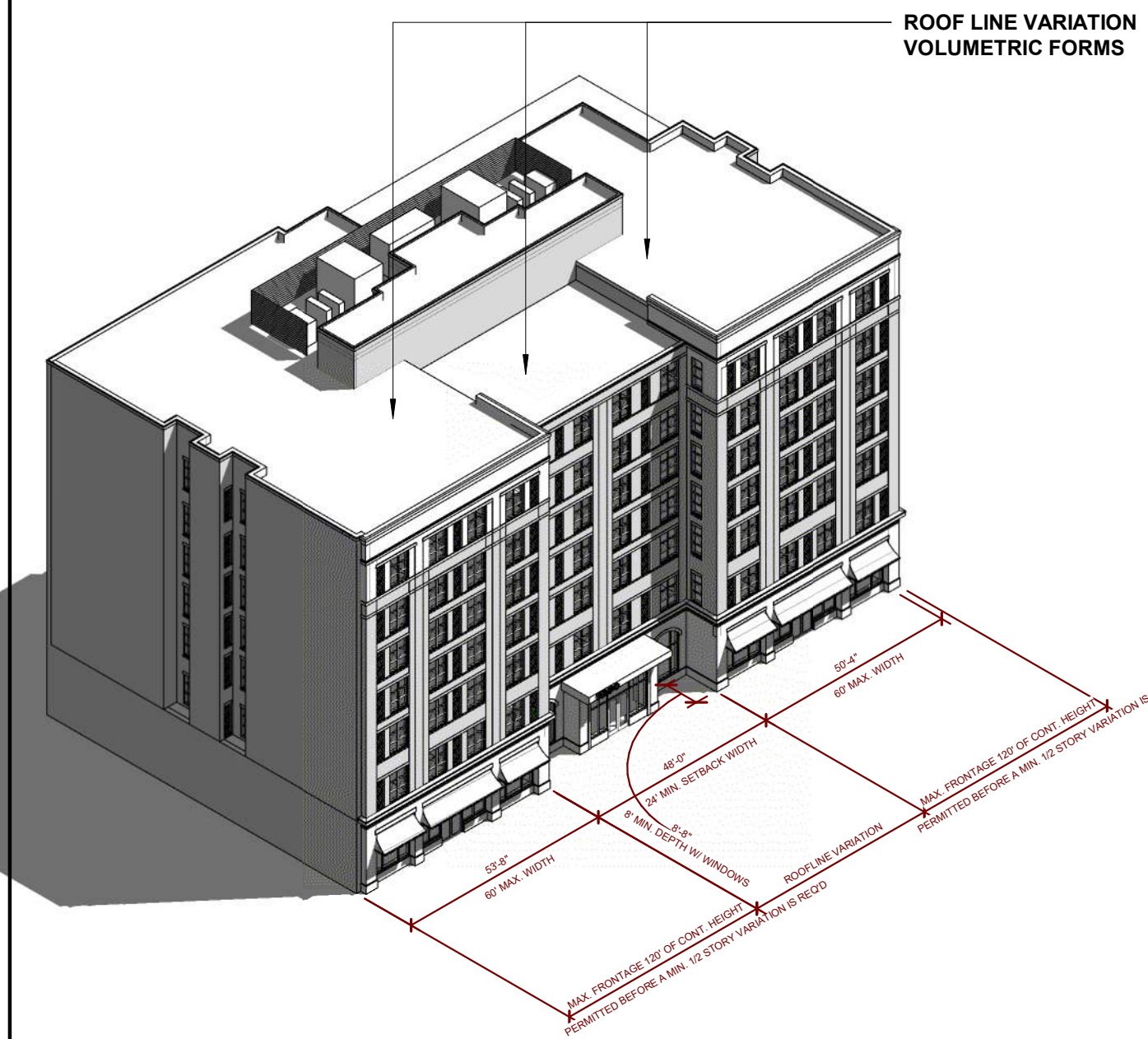


MAX. FOOT PRINT PERMITTED: 13,500 S.F.
PROPOSED FOOT PRINT: 13,434 S.F.

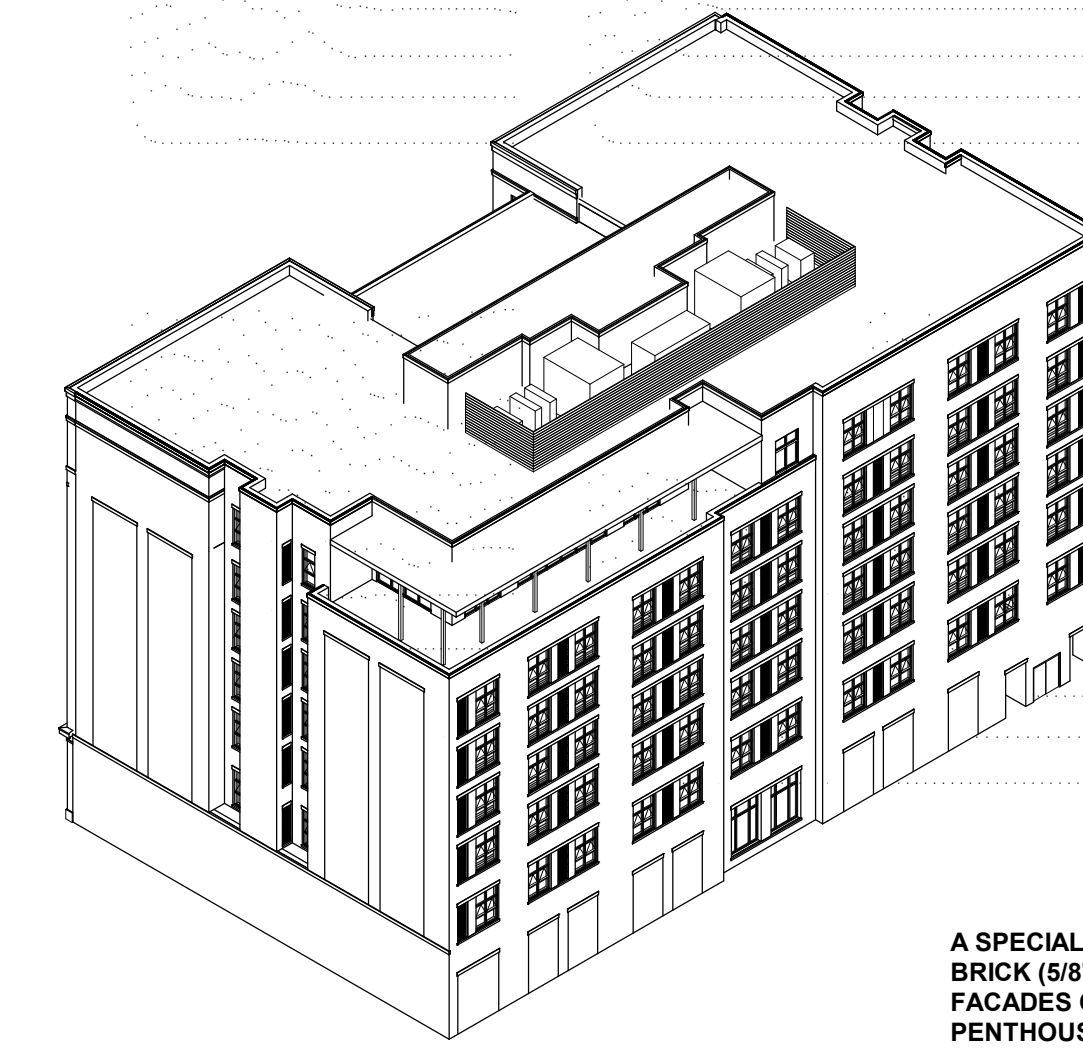
1 HD BR 0.5 BUILDING FOOTPRINT
1" = 20'-0"



2 HD BR 0.5 MASS - ROOFLINE VARIATION
1" = 20'-0"



3 HD BR 0.5 MASS - ROOF VARIATION AND SETBACK STANDARD
1" = 20'-0"



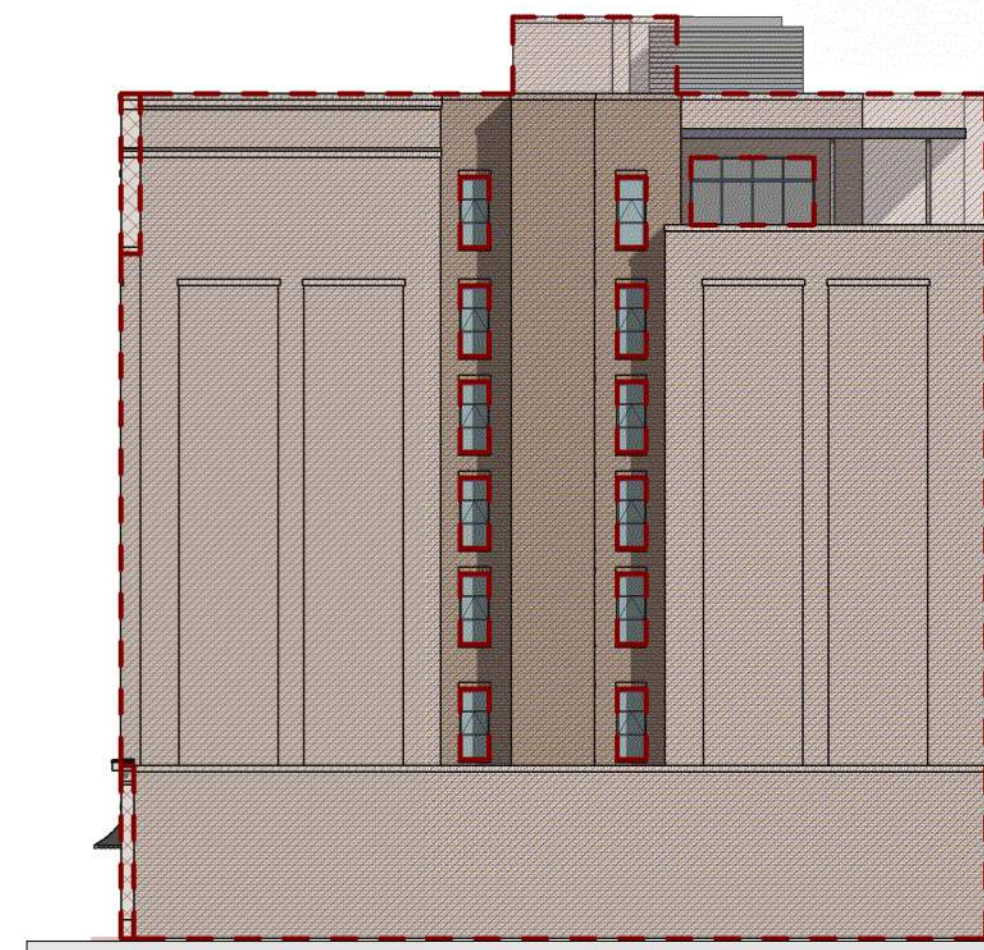
A SPECIAL EXCEPTION IS BEING REQUESTED TO USE THIN BRICK (5/8") THICK IN AREAS THAT ARE NOT ON THE PRIMARY FACADES OF THE BUILDING INCLUDING THE MECHANICAL PENTHOUSE AND WALLS SET BACK AT THE SKY DECK.

4 HD BR 0.5 SPECIAL EXCEPTION - USE OF THIN BRICK AT PENTHOUSE AND SKYDECK
1" = 20'-0"



100% MODULAR MASONRY - 9,345 S.F.
MODULAR BRICK MASONRY - 6,548 S.F., 70%
NATURALLY QUARRIED STONE - 2,797 S.F., 30%

5 HD BR 0.5 ADDITIONAL STORY CRITERIA - 100% MODULAR MASONRY - SOUTH (BRYAN STREET) ELEVATION
1" = 20'-0"



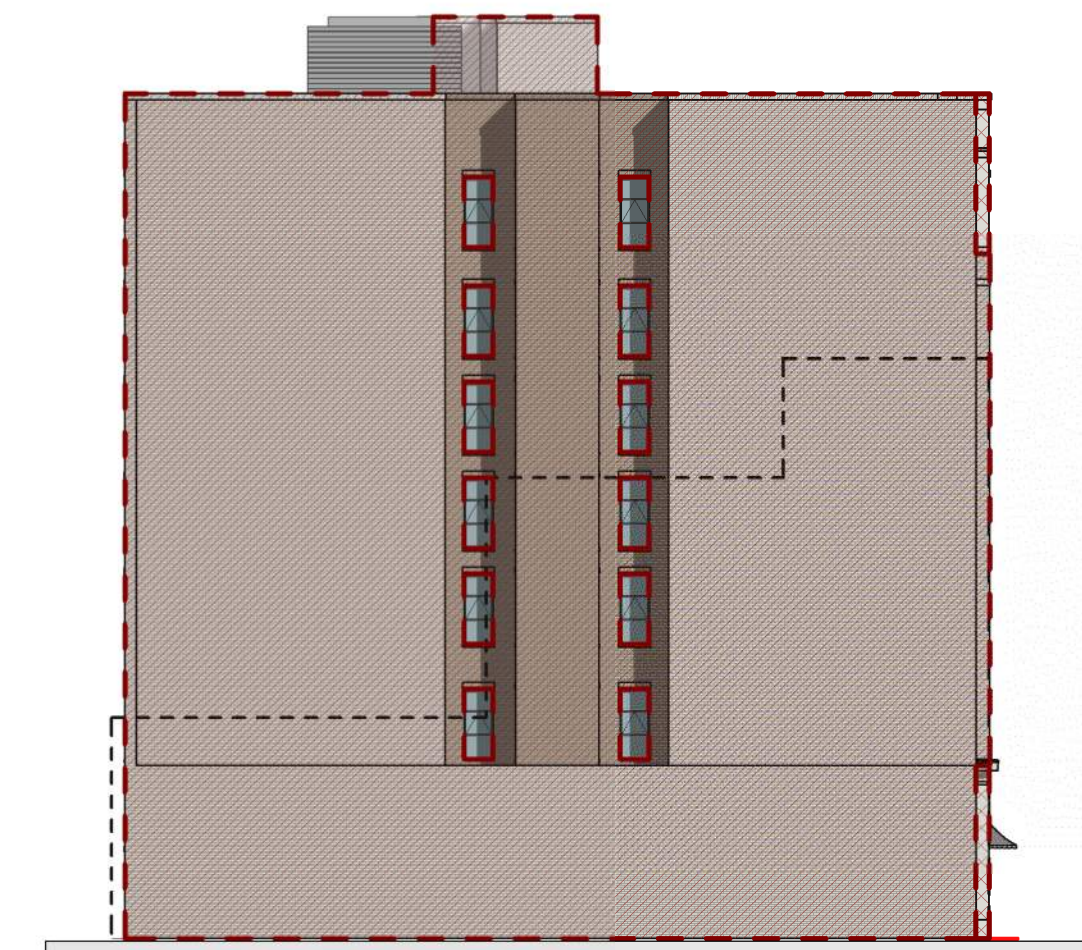
100% MODULAR MASONRY - 7,708 S.F.
MODULAR BRICK MASONRY - 7,651 S.F., 99.2%
NATURALLY QUARRIED STONE - 57 S.F., 0.8%

6 HD BR 0.5 ADDITIONAL STORY CRITERIA - 100% MODULAR MASONRY EAST - ELEVATION
1" = 20'-0"



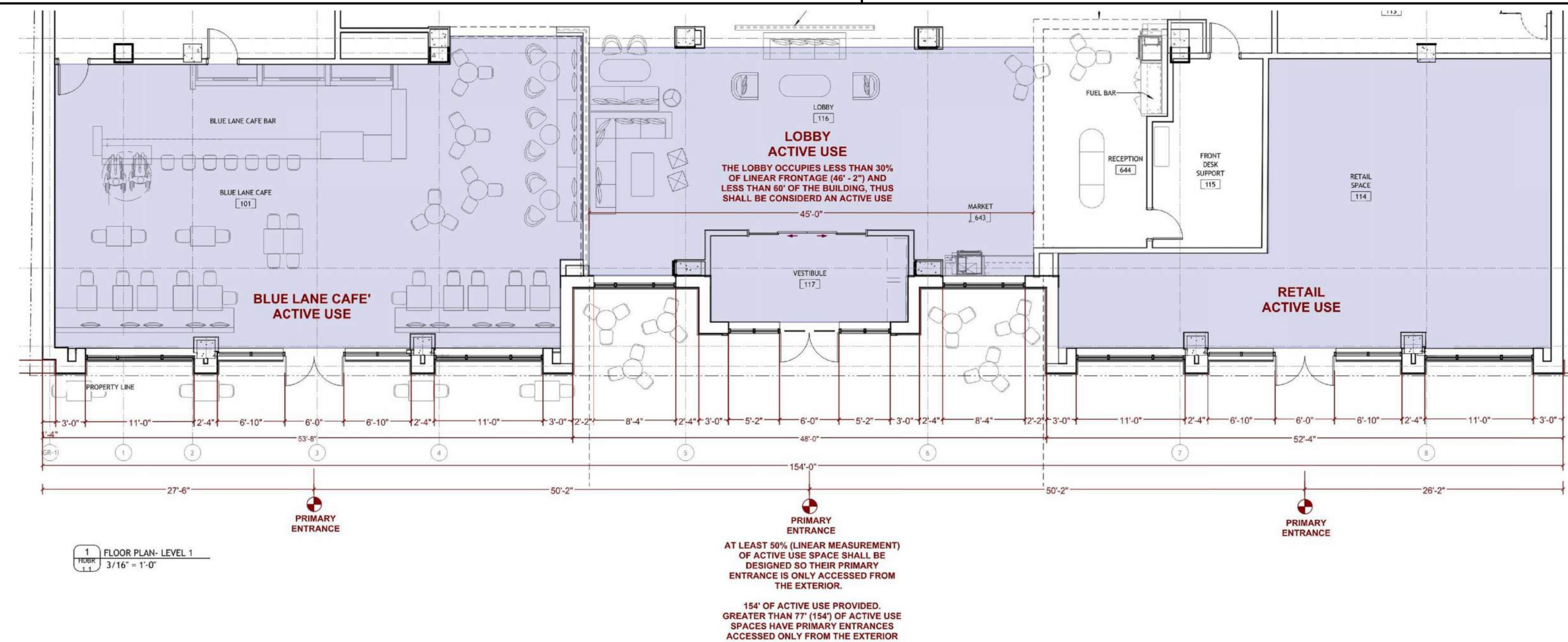
100% MODULAR MASONRY - 9,825 S.F., 100%

7 HD BR 0.5 ADDITIONAL STORY CRITERIA - 100% MODULAR MASONRY - NORTH (BAY LANE) ELEVATION
1" = 20'-0"



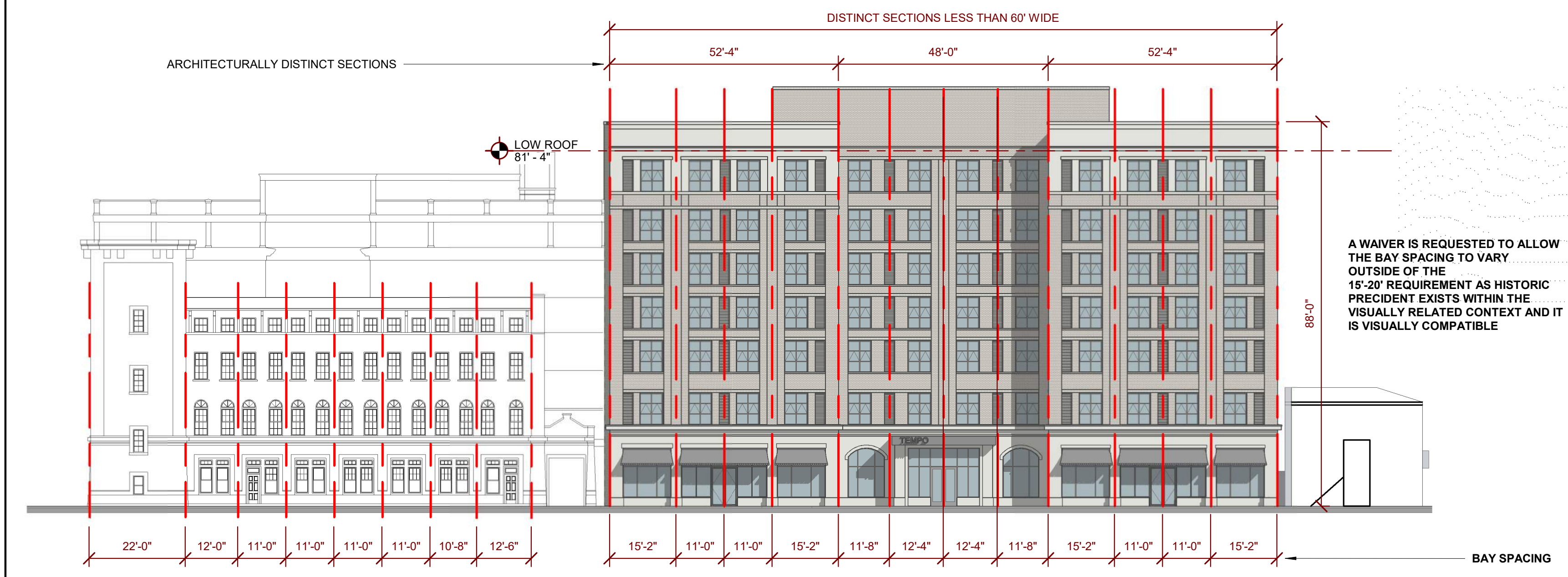
100% MODULAR MASONRY - 7,751 S.F., 99.3%
NATURALLY QUARRIED STONE - 47 S.F., 0.7%

8 HD BR 0.5 ADDITIONAL STORY CRITERIA - 100% MODULAR MASONRY WEST - ELEVATION
1" = 20'-0"



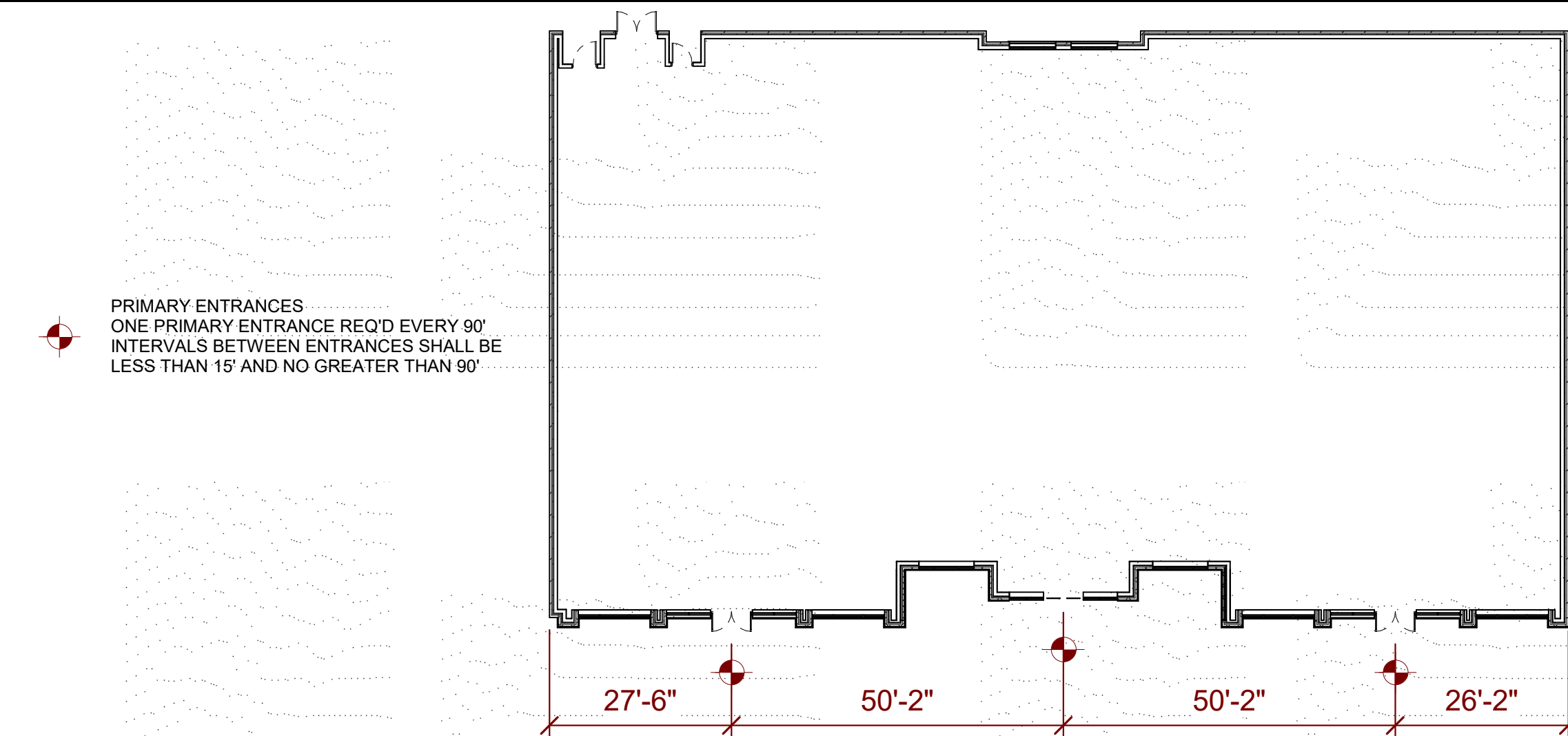
AT LEAST 80% (LINEAR MEASUREMENT) OF ACTIVE USE SPACE SHALL BE DESIGNED SO THEIR PRIMARY ENTRANCES IS ONLY ACCESSED FROM THE EXTERIOR.
75% OF ACTIVE USE PROVIDED GREATER THAN 77' (15%) OF ACTIVE USE SPACES HAVE PRIMARY ENTRANCES ACCESSED ONLY FROM THE EXTERIOR.

9 HD BR 0.5 ADDITIONAL STORY CRITERIA - MULTIPLE GROUND FLOOR ACTIVE USES
1" = 20'-0"



A WAIVER IS REQUESTED TO ALLOW THE BAY SPACING TO VARY OUTSIDE OF THE 15'-0" REQUIREMENT AS HISTORIC PRECEDENT EXISTS WITHIN THE VISUALLY RELATED CONTEXT AND IT IS VISUALLY COMPATIBLE

10 HD BR 0.5 EXTERIOR WALLS - CONFIGURATION - DISTINCT SECTIONS AND BAY SPACING
1" = 20'-0"



11 HD BR 0.5 ENTRANCES - PRIMARY ENTRANCES
1" = 20'-0"



SEVENTH FLOOR:
TOTAL AREA: 1,730sf
OPENING AREA: 470sf
=27% (20% MIN. REQ.)
SIXTH FLOOR:
TOTAL AREA: 1,730sf
OPENING AREA: 470sf
=27% (20% MIN. REQ.)
FIFTH FLOOR:
TOTAL AREA: 1,526sf
OPENING AREA: 470sf
=30% (20% MIN. REQ.)
FOURTH FLOOR:
TOTAL AREA: 1,526sf
OPENING AREA: 470sf
=30% (20% MIN. REQ.)
THIRD FLOOR:
TOTAL AREA: 1,526sf
OPENING AREA: 470sf
=30% (20% MIN. REQ.)
SECOND FLOOR:
TOTAL AREA: 1,832sf
OPENING AREA: 470sf
=25% (20% MIN. REQ.)
GROUND FLOOR (COMMERCIAL):
TOTAL AREA: 1,884sf
OPENING AREA: 369sf
=19% (55% MIN. REQ.)
GROUND FLOOR (OTHER USES):
TOTAL AREA: 864sf
OPENING AREA: 376sf
=43% (35% MIN. REQ.)

A SPECIAL EXCEPTION IS REQUESTED TO ALLOW THE PERCENTAGE OF GLAZING BE LESS THAN THE REQUIRED 50% AS HISTORIC PRECEDENT EXISTS WITHIN THE VISUALLY RELATED CONTEXT AND IT IS VISUALLY COMPATIBLE

12 HD BR 0.5 WINDOWS AND DOORS - EAST (BRYAN STREET) ELEVATION
1" = 20'-0"

PROJECT #: HANSEN 202205
DRAWN BY: PG
CHECKED BY: PLP

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No.	Description	Date
A	HDBR - PART I	05/12/22

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SAVANNAH, GA, 31401
NF V SAVANNAH BRYAN, LLC

LARGE SCALE BUILDING DEVELOPMENT STANDARDS
SHEET NUMBER:

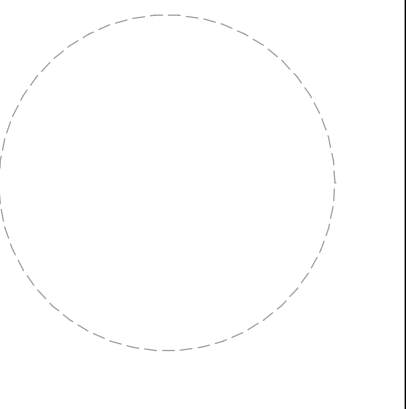
HDBR 0.5

05/12/2022

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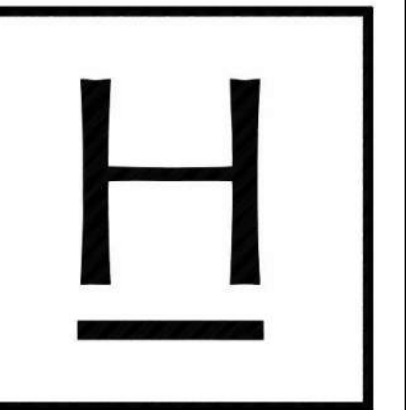
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FLOOR PLAN NOTES



PROJECT #: HANSEN 202205
 DRAWN BY: PG
 CHECKED BY: PLP

NILIS BOLTON ASSOCIATES



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A	HDBR - PART I	05/12/22

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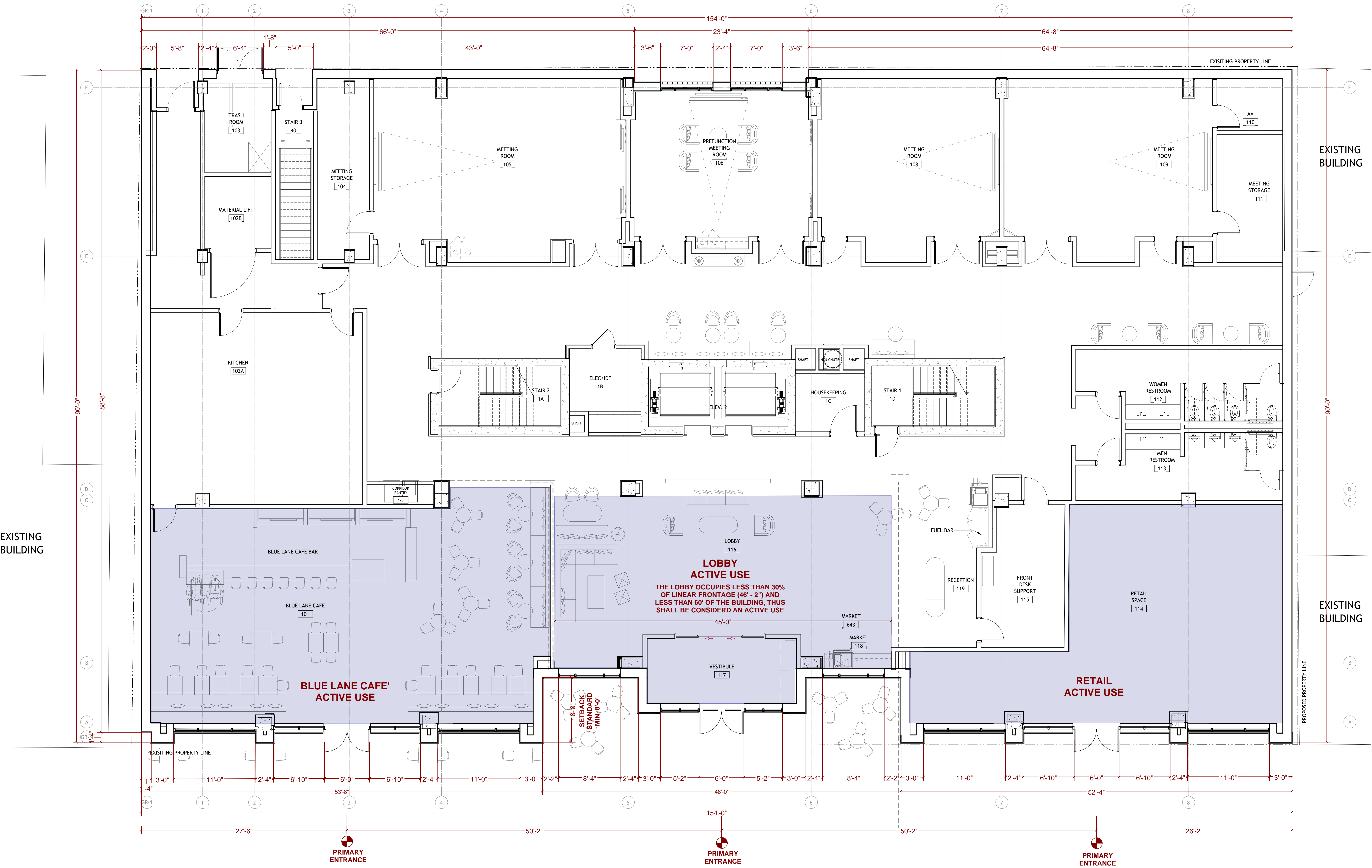
TEMPO HOTEL BY HILTON - HISTORIC SAVANNAH, GA
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 SAVANNAH, GA, 31401
 NF V SAVANNAH BRYAN, LLC

SAVANNAH HISTORIC DISTRICT BOARD OF REVIEW SUBMITTAL
 NEW CONSTRUCTION PART I, HEIGHT AND MASS FOR:
 220 EAST BRYAN STREET, SAVANNAH, GA, 31401

SHEET TITLE:
BUILDING PLAN- LEVEL 1

SHEET NUMBER:
HDBR 1.1

05/12/2022



1 FLOOR PLAN- LEVEL 1
 3/16" = 1'-0"

LOBBY ACTIVE USE
 THE LOBBY OCCUPIES LESS THAN 30% OF LINEAR FRONTAGE (46' - 2") AND LESS THAN 60' OF THE BUILDING, THUS SHALL BE CONSIDERED AN ACTIVE USE

BLUE LANE CAFE' ACTIVE USE

RETAIL ACTIVE USE

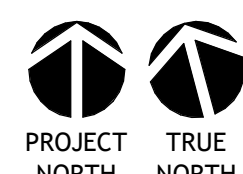
AT LEAST 50% (LINEAR MEASUREMENT) OF ACTIVE USE SPACE SHALL BE DESIGNED SO THEIR PRIMARY ENTRANCE IS ONLY ACCESSED FROM THE EXTERIOR.

154' OF ACTIVE USE PROVIDED. GREATER THAN 77' (154') OF ACTIVE USE SPACES HAVE PRIMARY ENTRANCES ACCESSED ONLY FROM THE EXTERIOR

EXISTING BUILDING

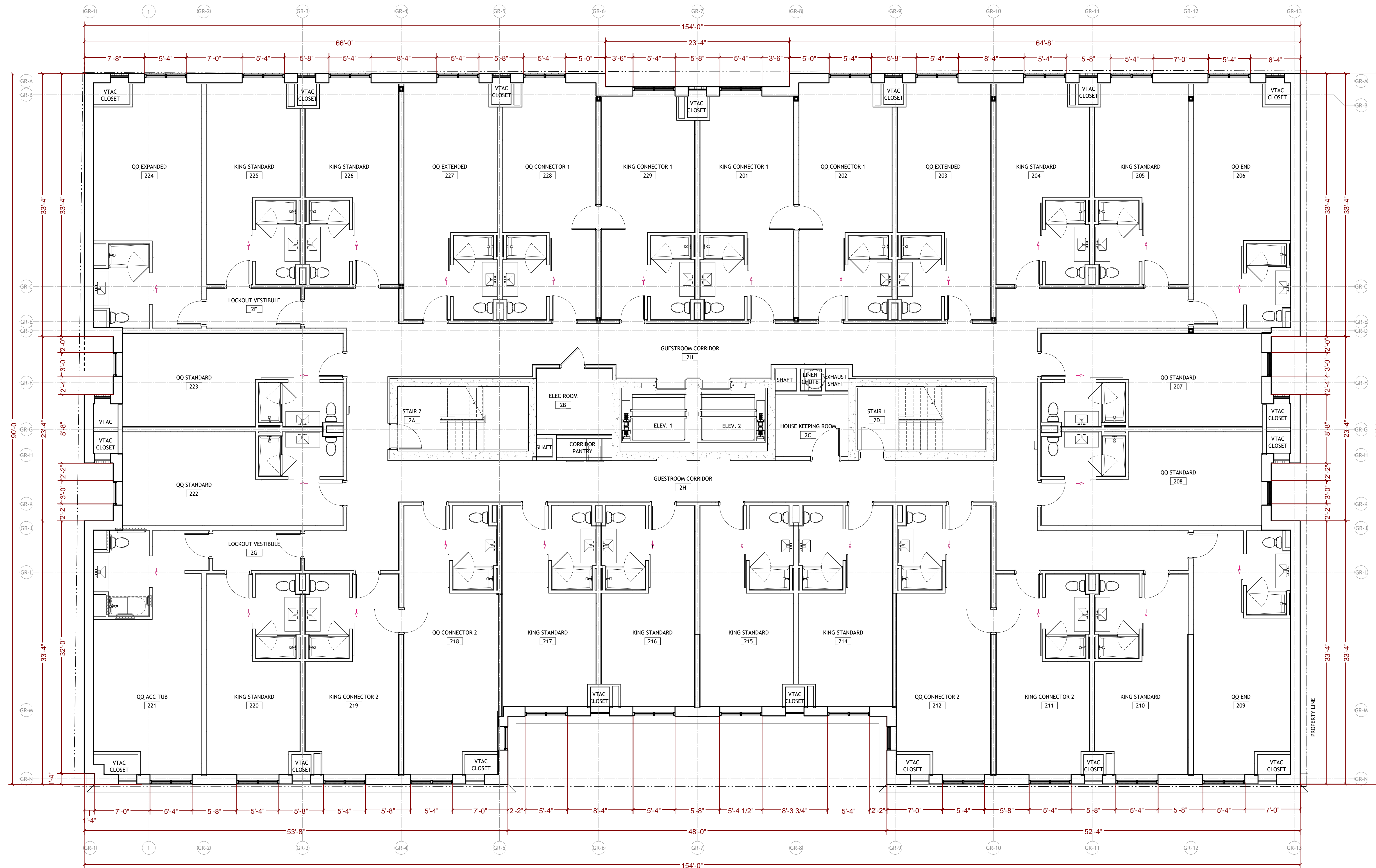
EXISTING BUILDING

EXISTING BUILDING

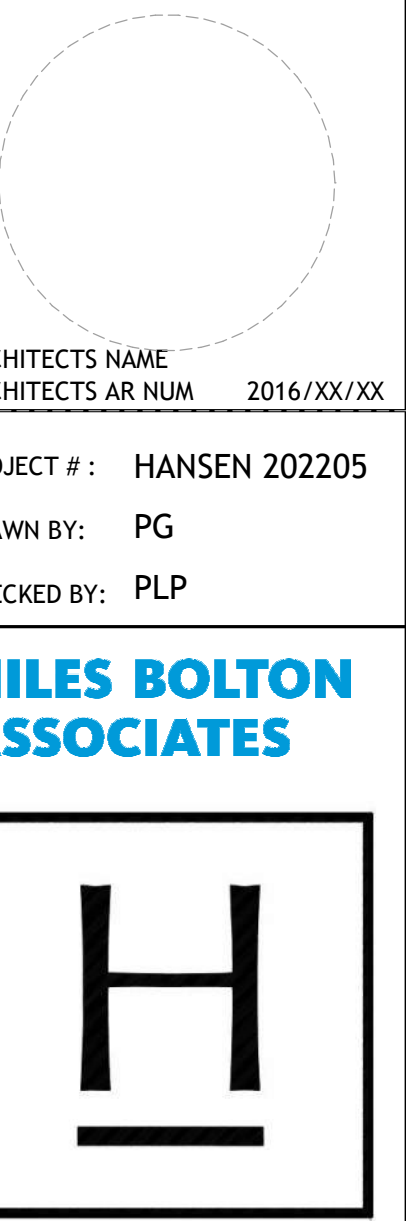


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FLOOR PLAN NOTES



1 FLOOR PLAN- LEVEL 2
 3/16" = 1'-0"



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ARCHITECTS NAME
 ARCHITECTS AR NUM 2016/XX/XX
 PROJECT #: HANSEN 202205
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 CHECKED BY: PLP
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No.	Description	Date
A	HDBR - PART I	05/12/22

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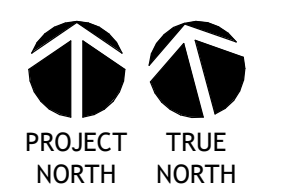
TEMPO HOTEL BY HILTON - HISTORIC SAVANNAH, GA
 220 E. BRYAN STREET
 SAVANNAH, GA, 31401
 NF V SAVANNAH BRYAN, LLC

SAVANNAH HISTORIC DISTRICT
 BOARD OF REVIEW SUBMITTAL
 NEW CONSTRUCTION PART I,
 HEIGHT AND MASS FOR:
 220 EAST BRYAN STREET,
 SAVANNAH, GA, 31401

SHEET TITLE:
**TYPICAL
 GUESTROOM- LEVEL
 2 THRU 6**

SHEET NUMBER:
HDBR 1.2

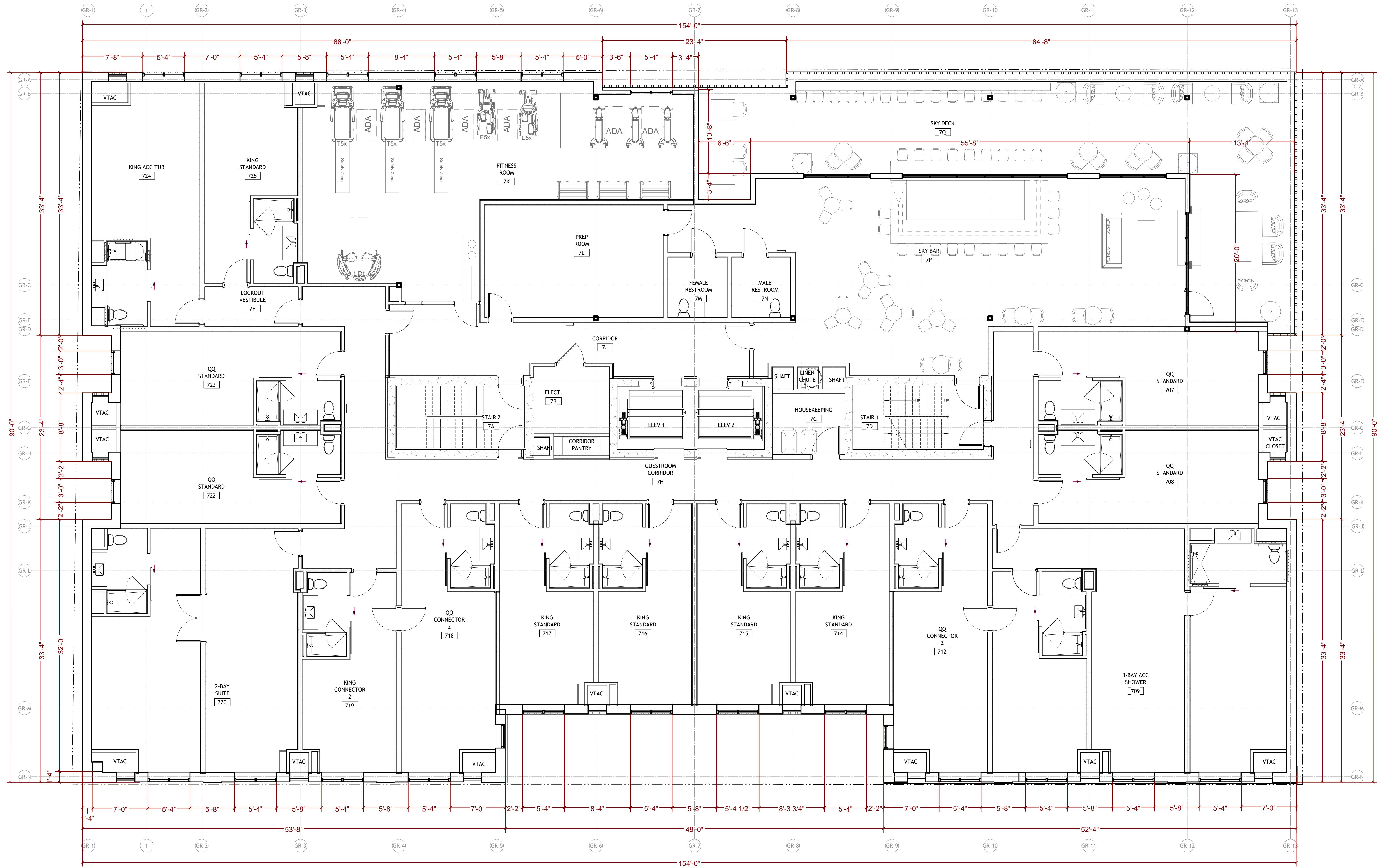
05/12/2022



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NOT RELEASED FOR CONSTRUCTION

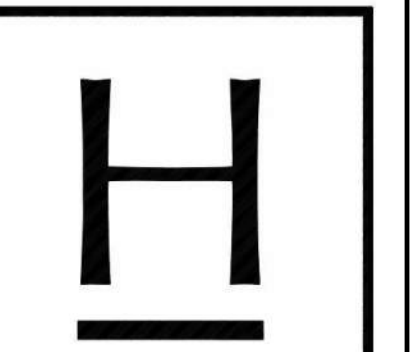
FLOOR PLAN NOTES



1 FLOOR PLAN- LEVEL 7
3/16" = 1'-0"

PROJECT #: HANSEN 202205
DRAWN BY: PG
CHECKED BY: PLP

NILES BOLTON ASSOCIATES



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No.	Description	Date
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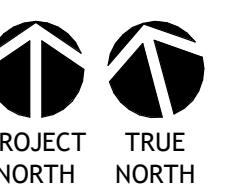
SAVANNAH HISTORIC DISTRICT
BOARD OF REVIEW SUBMITTAL
NEW CONSTRUCTION PART I,
HEIGHT AND MASS FOR:
220 EAST BRYAN STREET,
SAVANNAH, GA, 31401

SHEET TITLE:
**GUESTROOM-LEVEL
7-SKY BAR**

SHEET NUMBER:

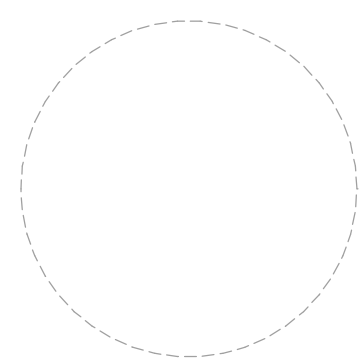
HDBR 1.3

05/12/2022



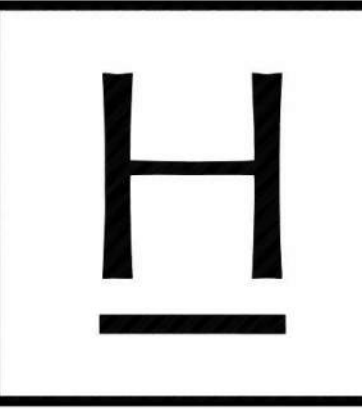
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ROOF NOTES



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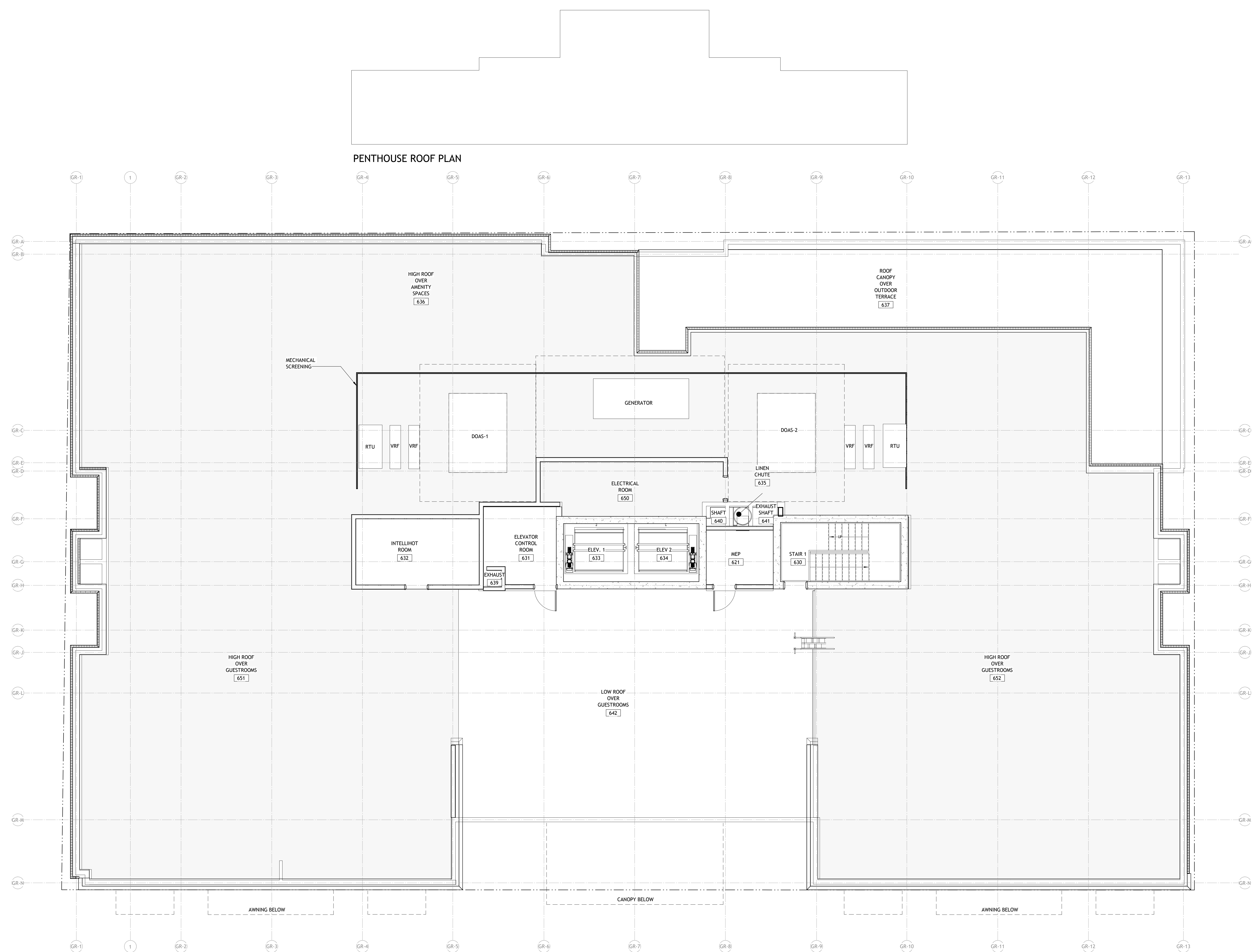


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No.	Description	Date
A	HDBR - PART I	05/12/22

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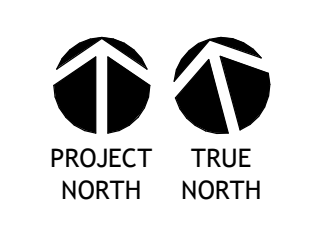
1 FLOOR PLAN- ROOF/PENTHOUSE
1.4 HDBR 3/16" = 1'-0"

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BOARD OF REVIEW SUBMITTAL
NEW CONSTRUCTION PART I,
HEIGHT AND MASS FOR:
220 EAST BRYAN STREET,
SAVANNAH, GA, 31401

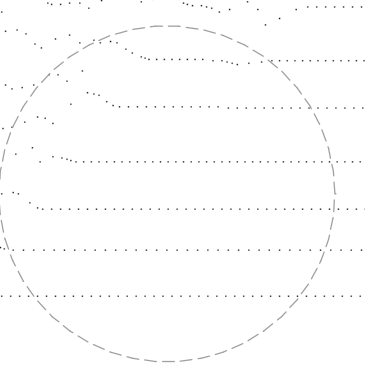
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ROOF PLAN

SHEET NUMBER:
HDBR 1.4



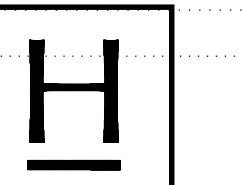
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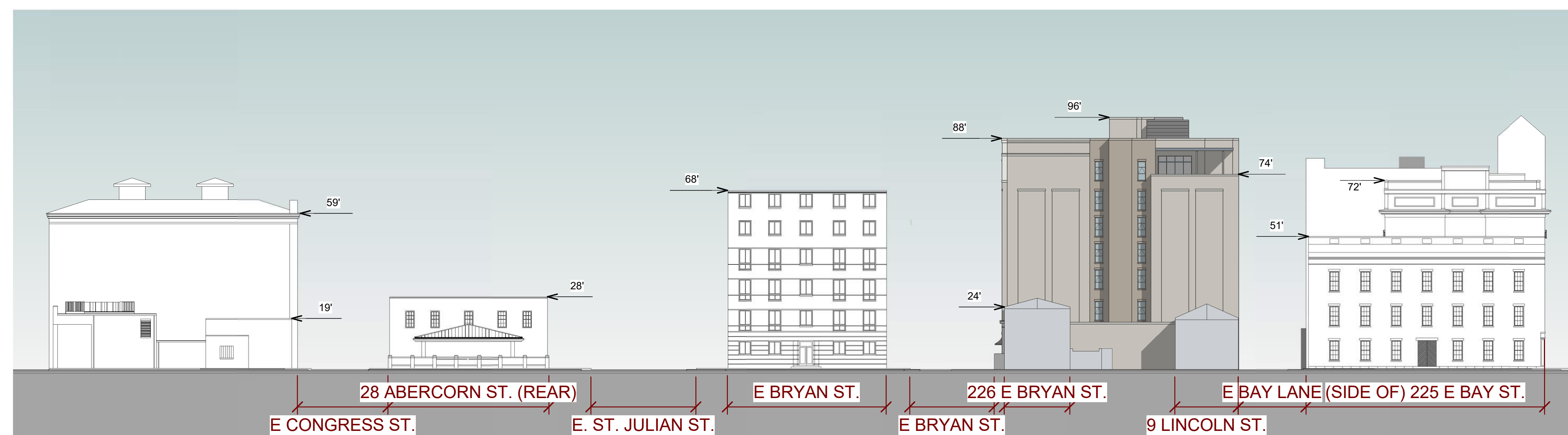
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No.	Description	Date
A	HDBR - PART I	05/12/22

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1 SOUTH (BRYAN STREET) CONTEXT ELEVATION
 HDBR 3.0 1" = 30'-0"



2 EAST (LINCOLN STREET) ELEVATION
 HDBR 3.0 1" = 30'-0"

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 SAVANNAH, GA, 31401

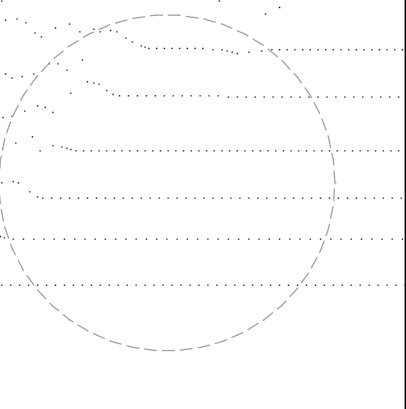
NF V SAVANNAH BRYAN, LLC

SHEET TITLE:
OVERALL EXTERIOR ELEVATIONS

SHEET NUMBER:
HDBR 3.0

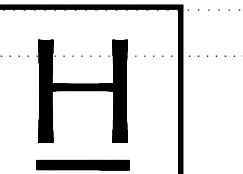
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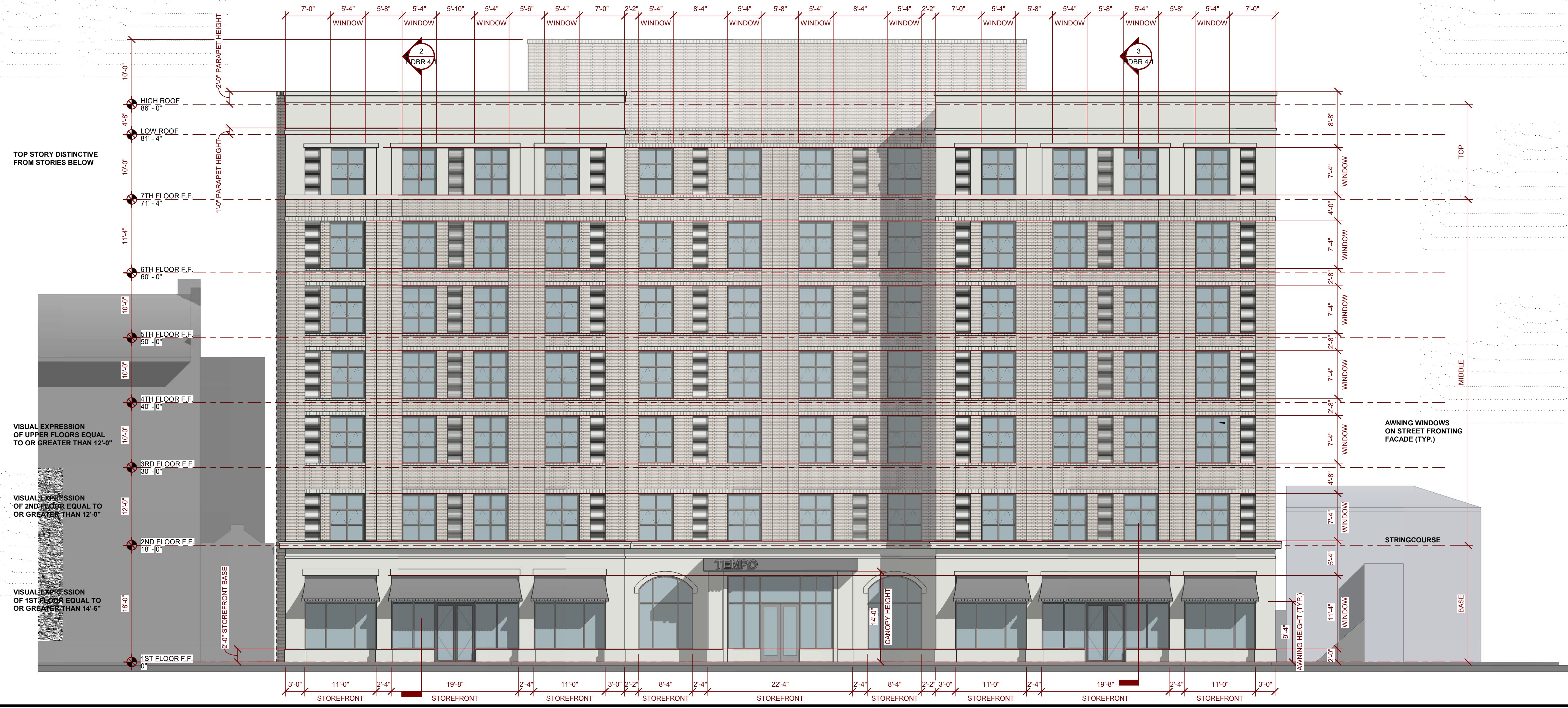
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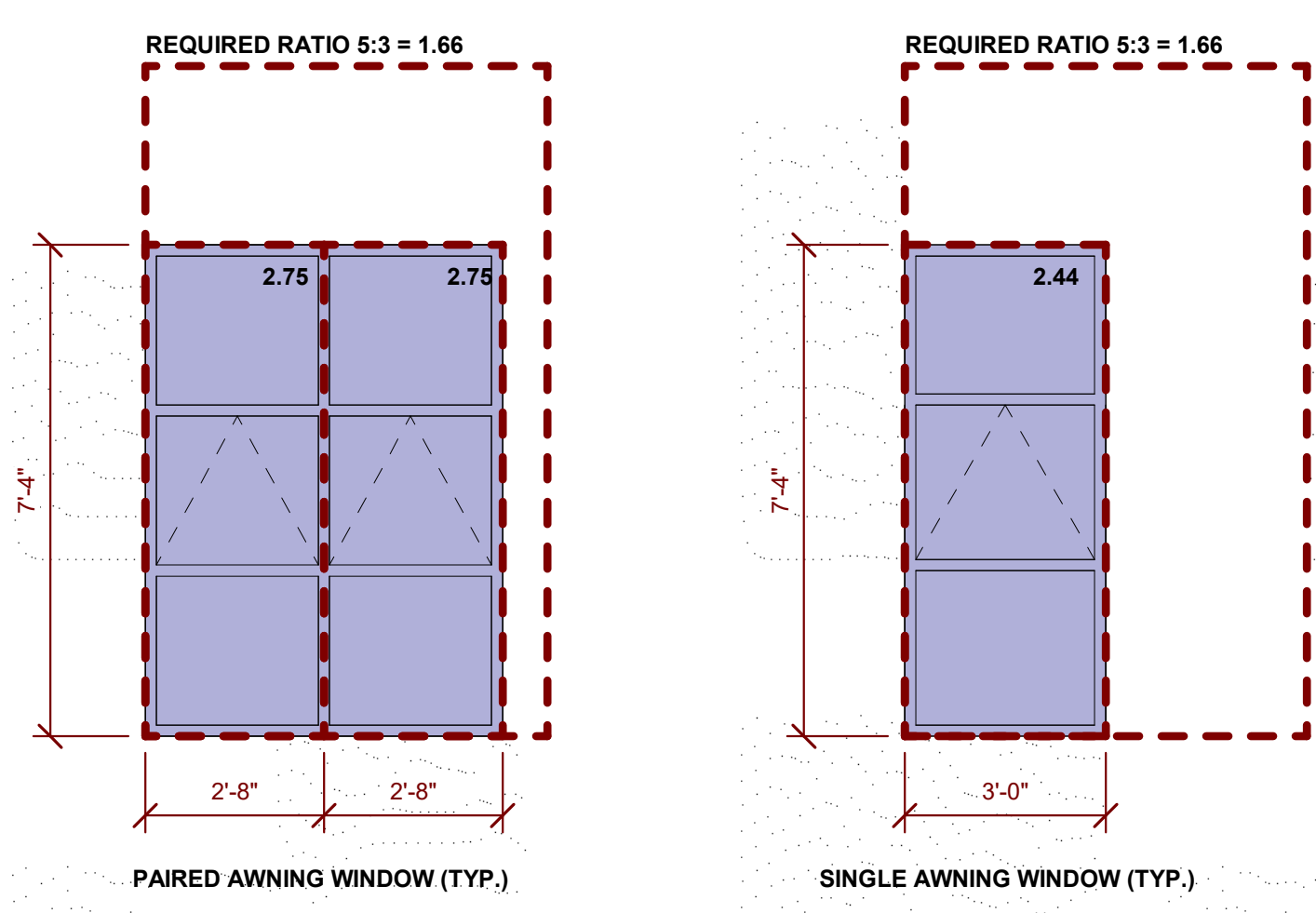
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No.	Description	Date
A	HDBR - PART I	05/12/22

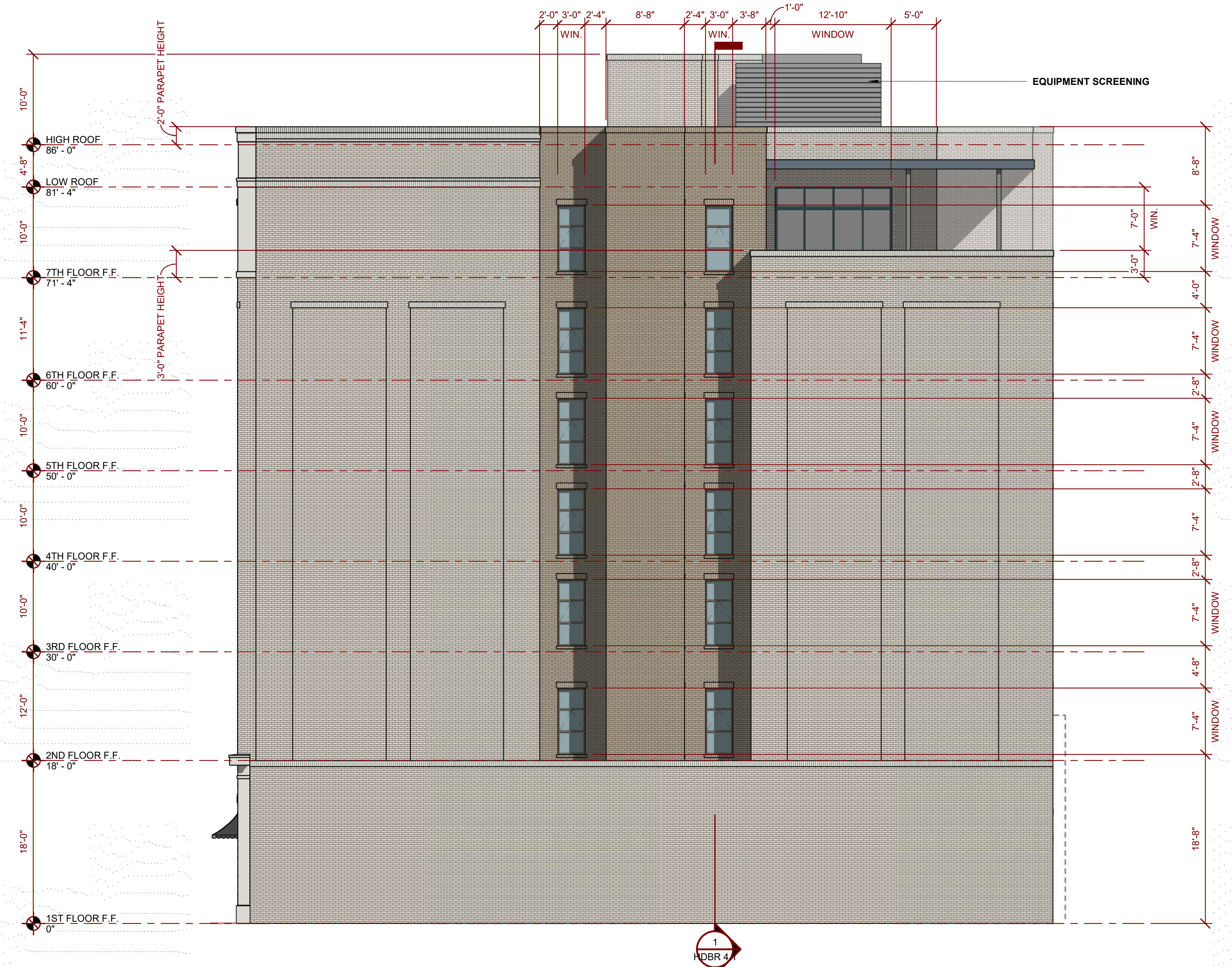
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1 HDBR 3.1 SOUTH (BRYAN STREET) ELEVATION
 1/8" = 1'-0"



1 HDBR 3.1 WINDOW PROPORTION
 3/8" = 1'-0"



2 HDBR 3.1 EAST ELEVATION Copy 1
 1/8" = 1'-0"

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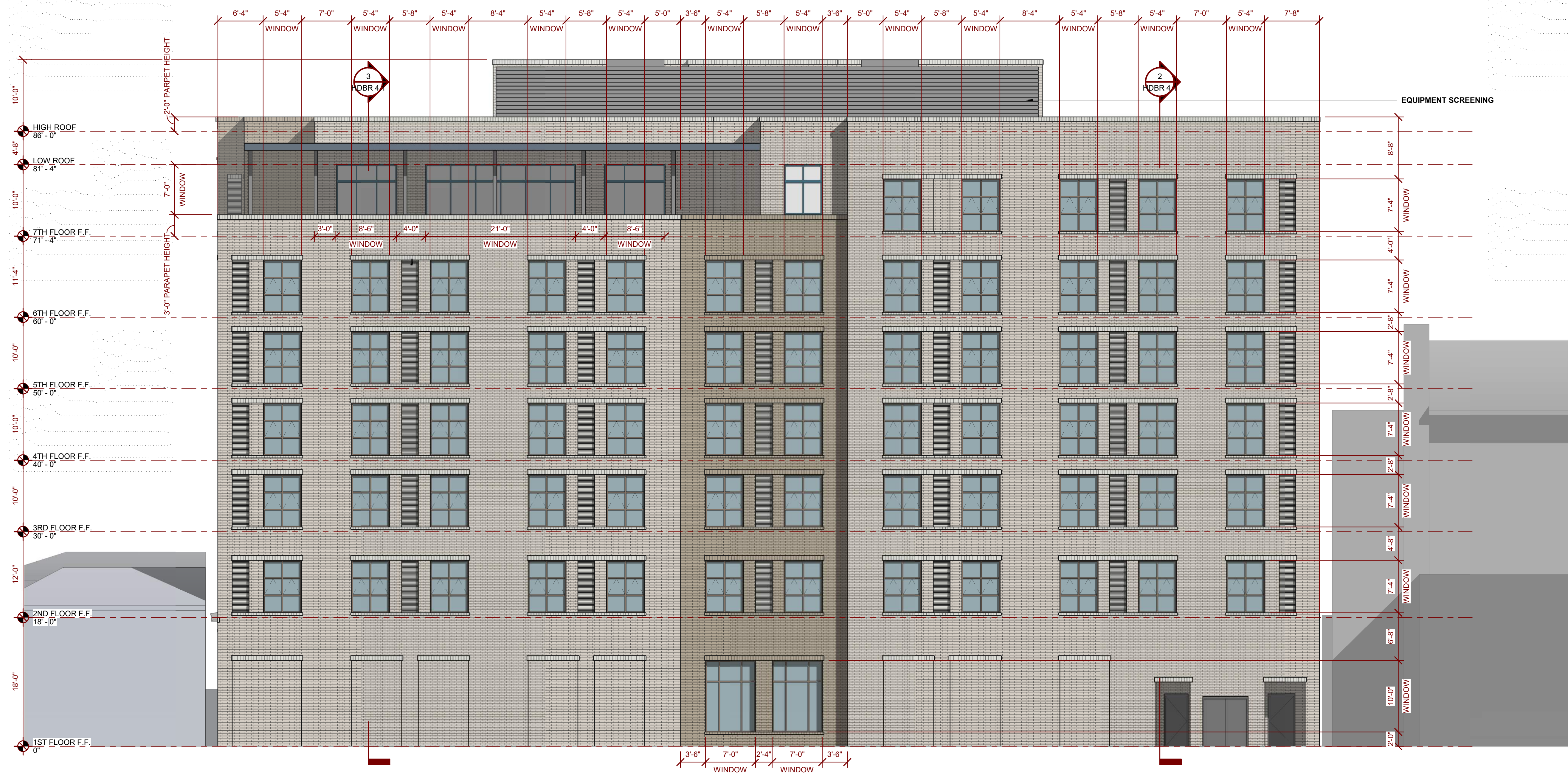
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EXTERIOR ELEVATIONS

SHEET NUMBER:
HDBR 3.1

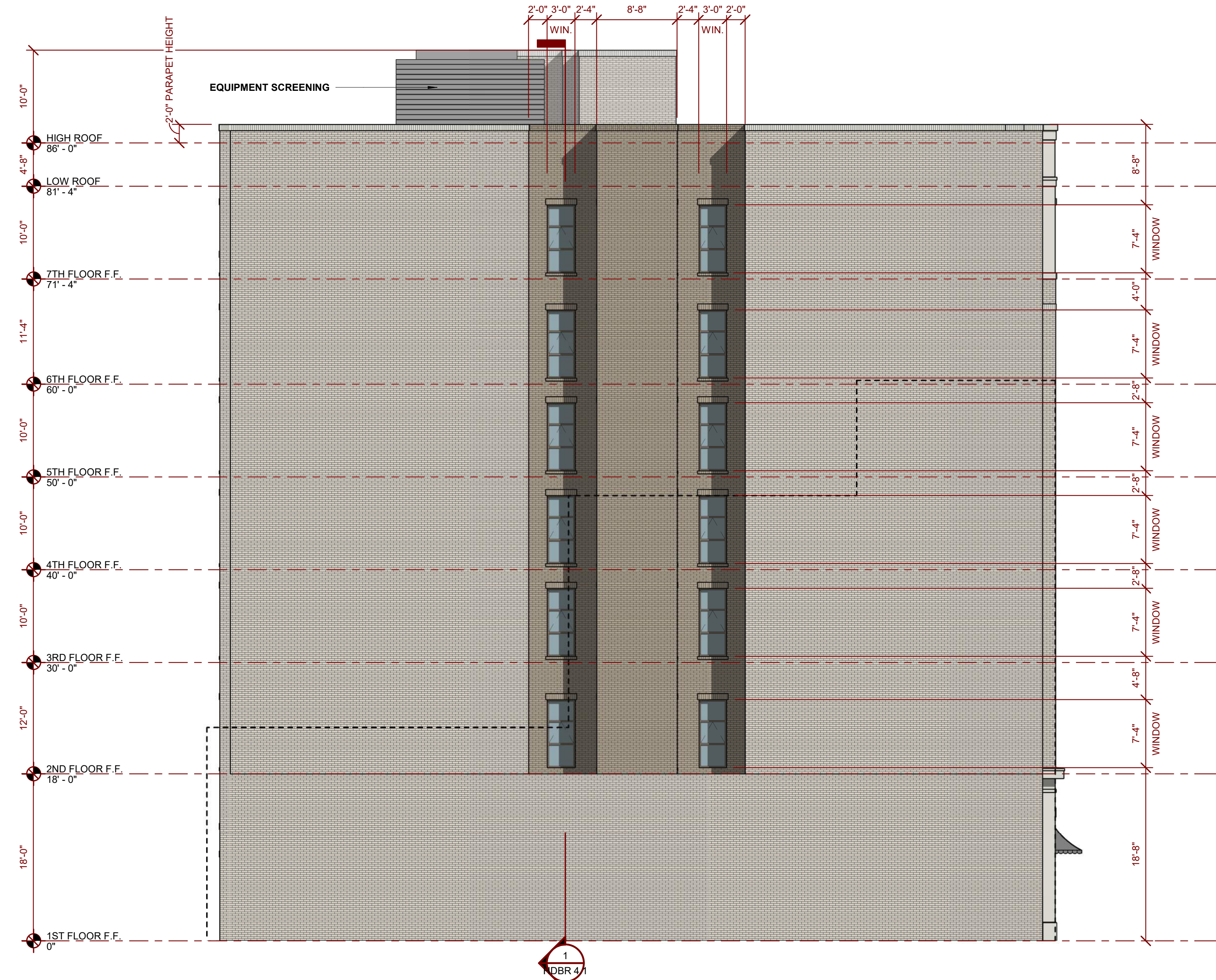
05/12/2022

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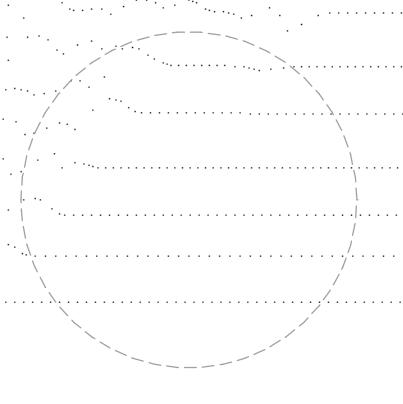
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1 HD BR 3.2 NORTH ELEVATION Copy 1
1/8" = 1'-0"

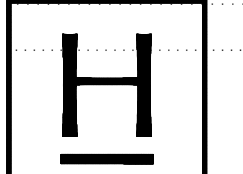


2 HD BR 3.2 WEST ELEVATION Copy 1
1/8" = 1'-0"



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No.	Description	Date
A	HDBR - PART I	05/12/22

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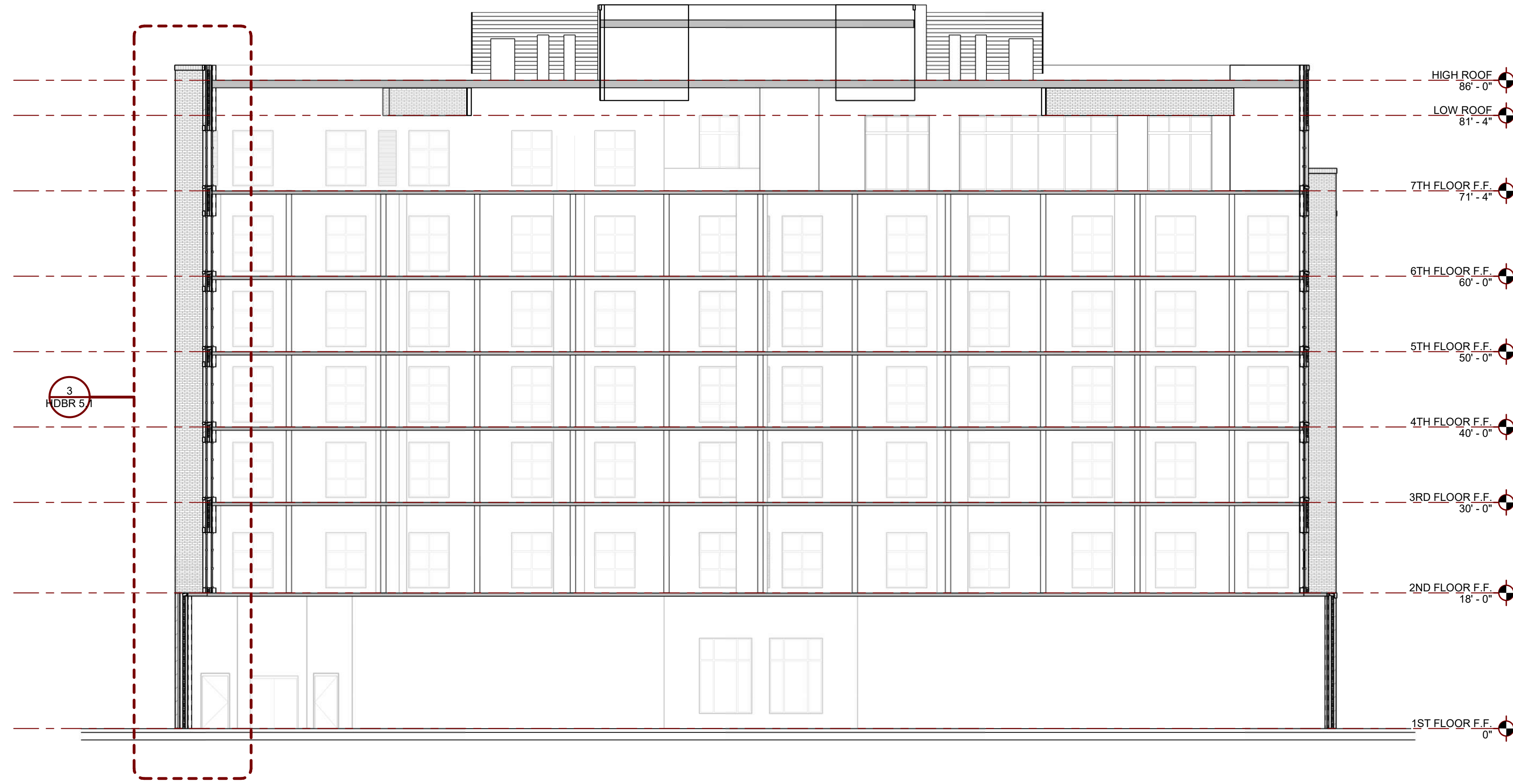
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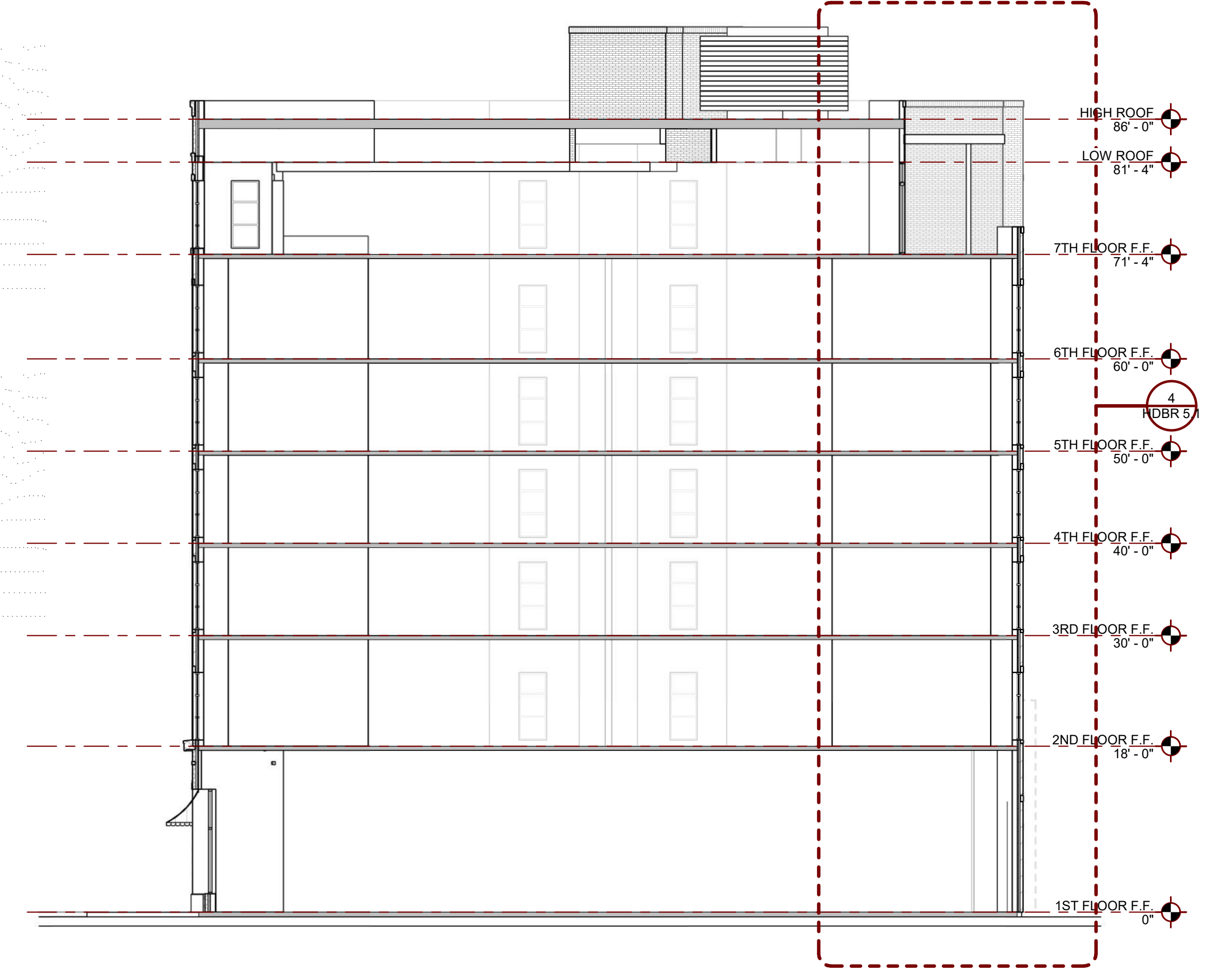
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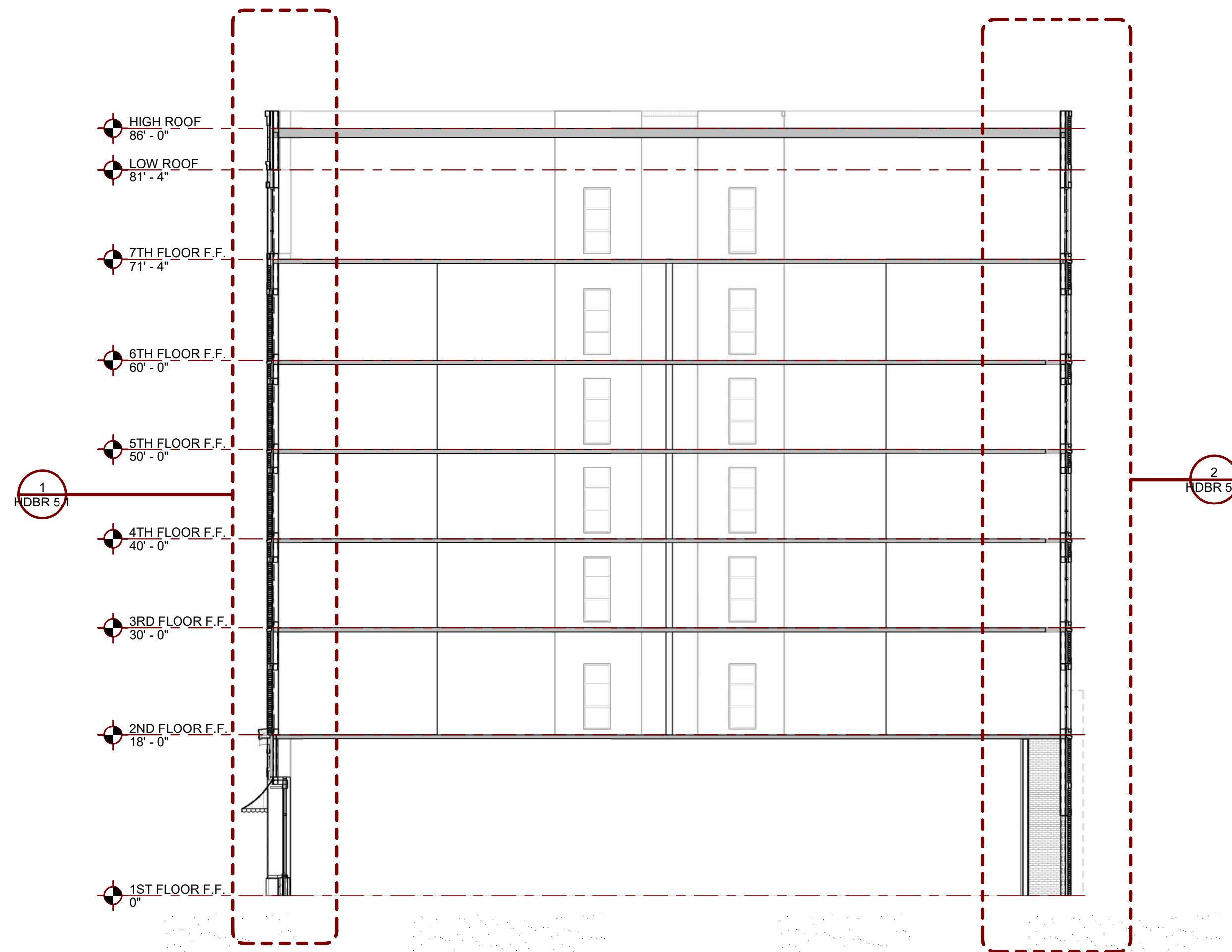
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1 HDBR 4.1 BUILDING SECTION 1
3/32" = 1'-0"



3 HDBR 4.1 BUILDING SECTION 3
3/32" = 1'-0"



2 HDBR 4.1 BUILDING SECTION 2
3/32" = 1'-0"

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A	HDBR - PART I	05/12/22

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NF V SAVANNAH BRYAN, LLC

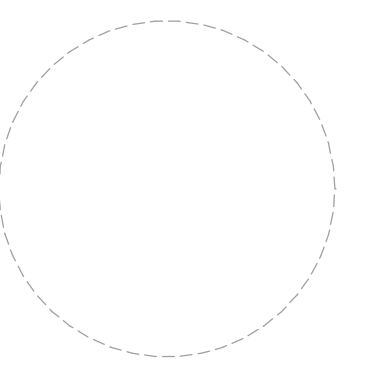
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BUILDING SECTIONS

SHEET NUMBER:
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05/12/2022

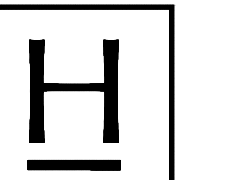
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No.	Description	Date
A	HDBR - PART I	05/12/22

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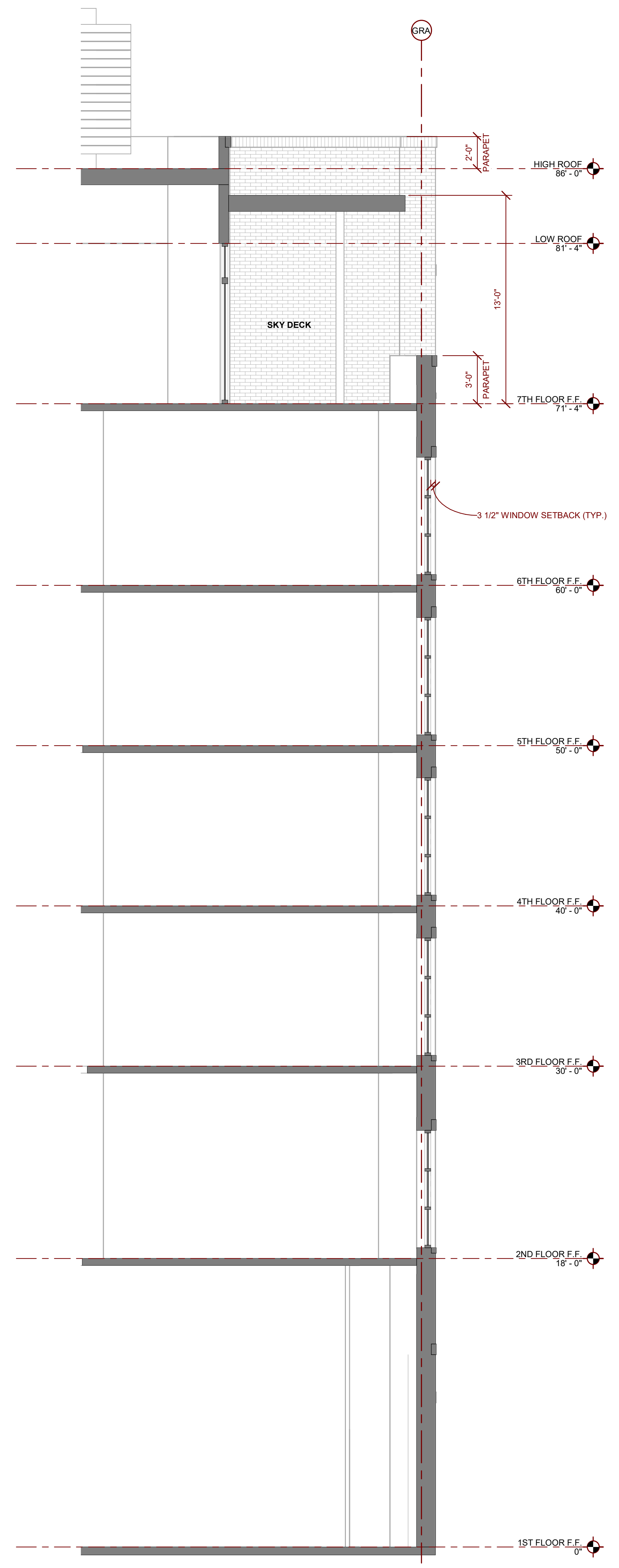
TEMPO HOTEL BY HILTON - HISTORIC SAVANNAH, GA
 220 E. BRYAN STREET
 SAVANNAH, GA, 31401
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SHEET TITLE:
BUILDING WALL SECTIONS

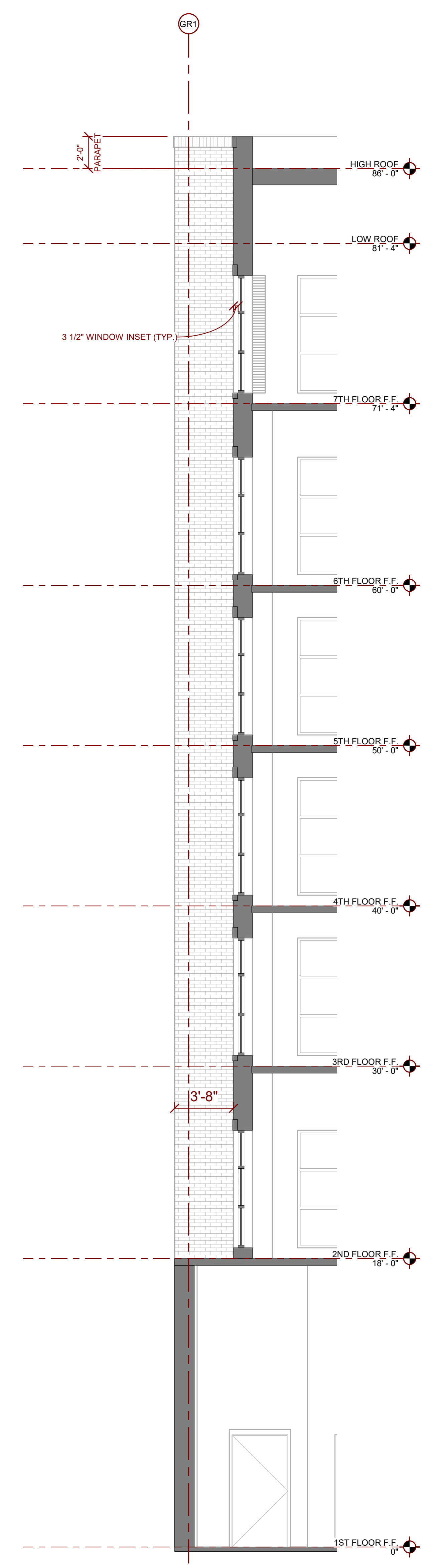
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05/12/2022

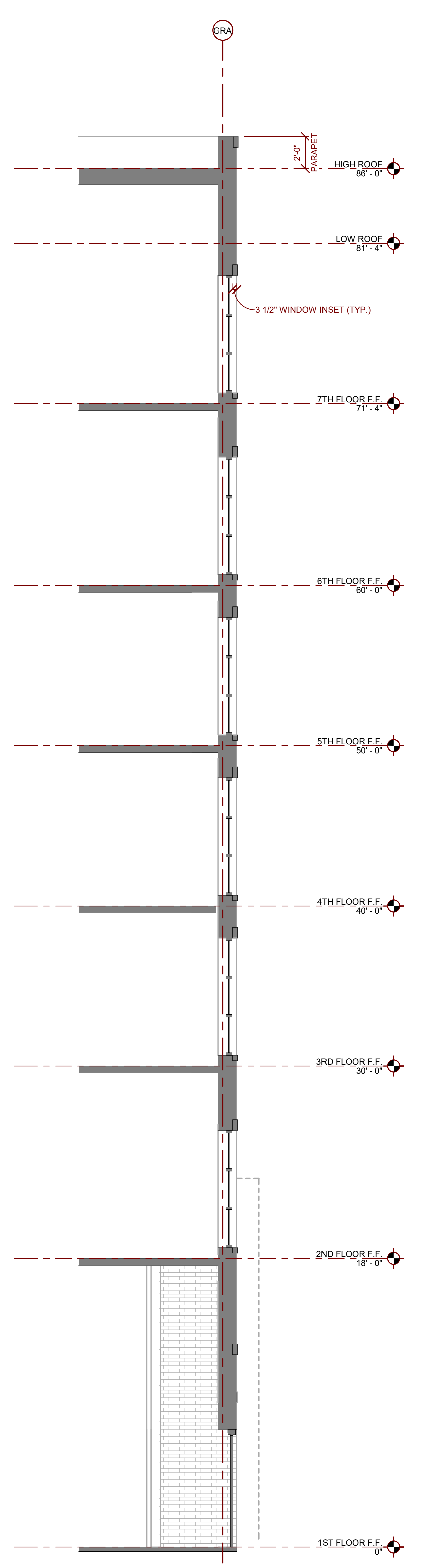
NOT RELEASED FOR CONSTRUCTION



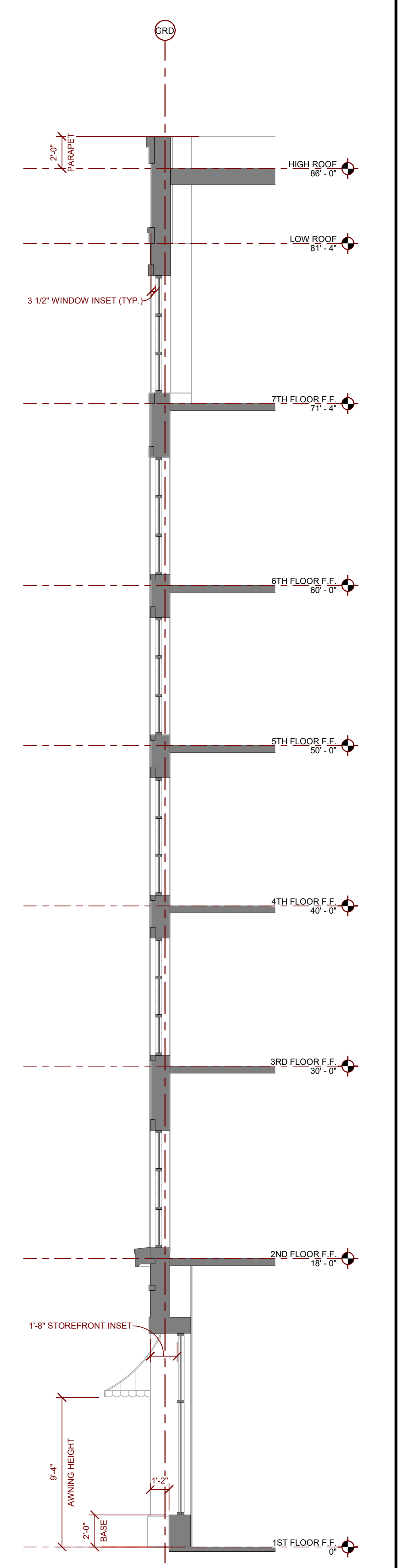
4 BAY LANE WALL SECTION 2
 1/4" = 1'-0"



3 EAST AND WEST WALL SECTION
 1/4" = 1'-0"

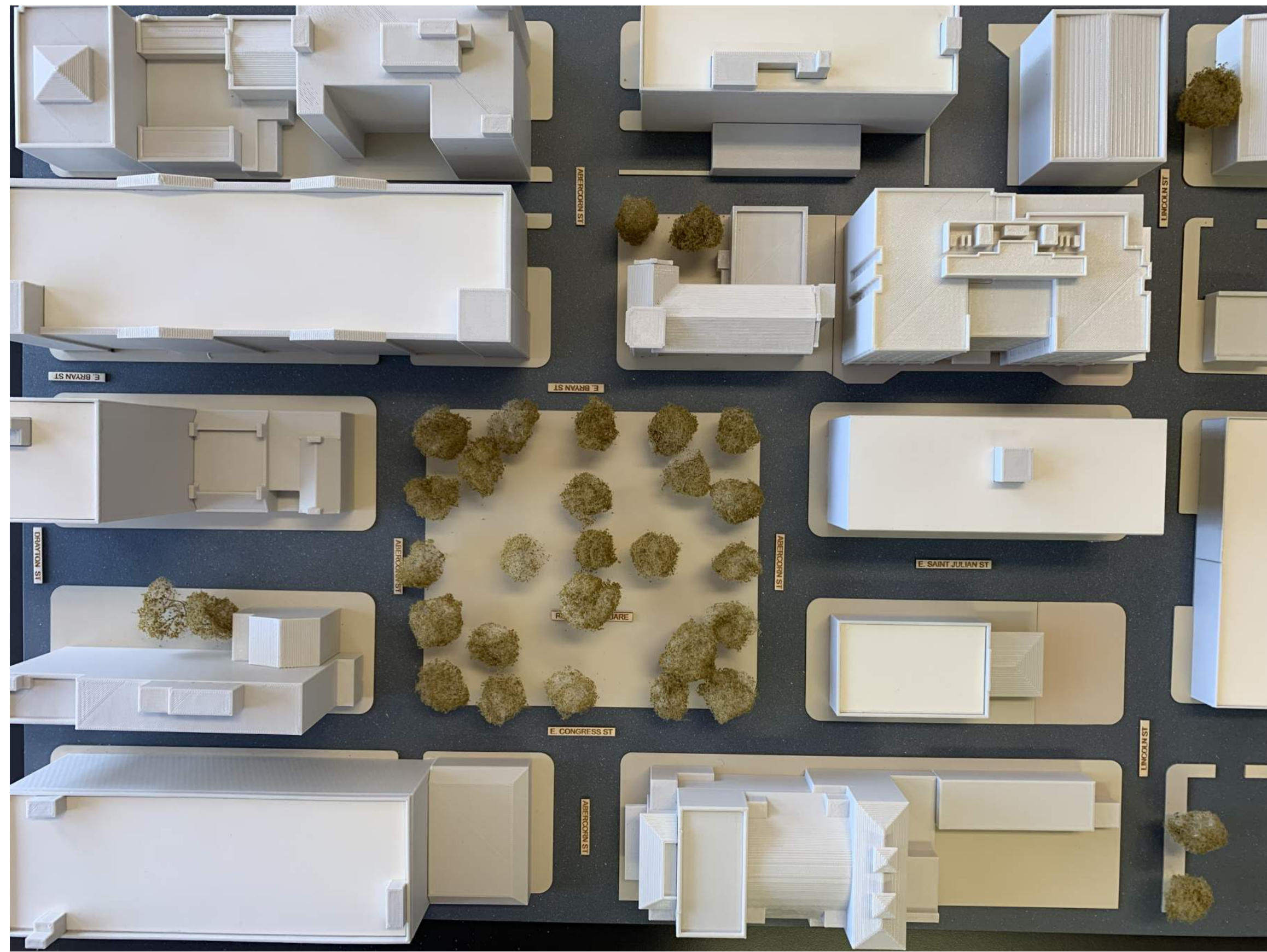


2 BAY LANE WALL SECTION 1
 1/4" = 1'-0"

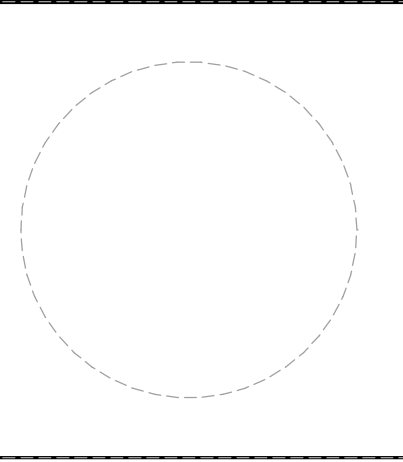


1 BRYAN STREET WALL SECTION
 1/4" = 1'-0"

5/10/2022 03:34:30
 Model: S:\18061 - Tempo Savannah / 2022.05 TEMPO_RP2.rvt



5/12/2022 03:26:32 Model_Exec_Hilton_Tempso Savannah/2022B_TEMPO_R27.rvt



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No.	Description	Date
A	SCHEMATIC DESIGN SET	05/06/22

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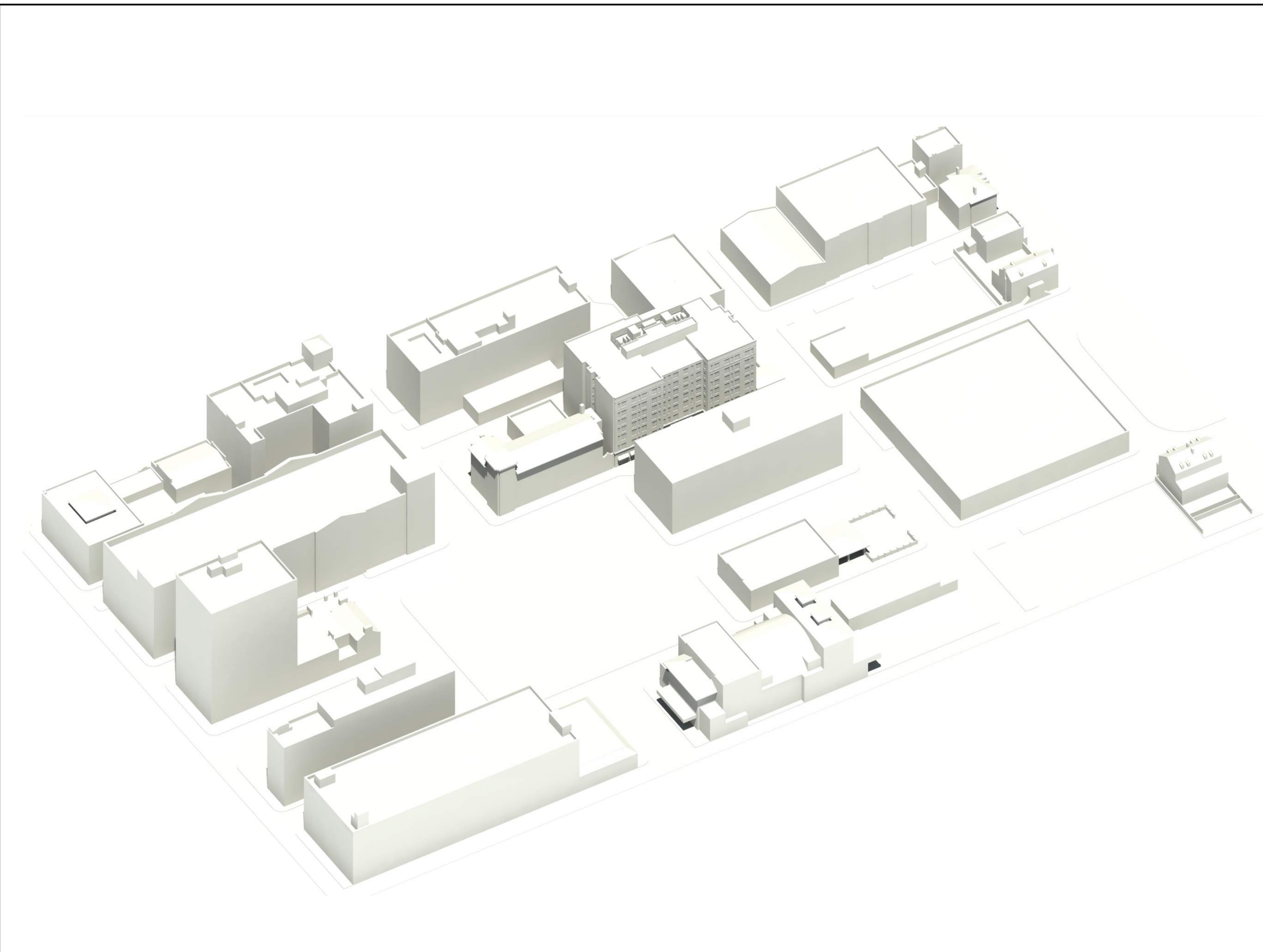
TEMPO HOTEL BY HILTON - HISTORIC SAVANNAH, GA
 220 E. BRYAN STREET
 SAVANNAH, GA, 31401
 NF V SAVANNAH BRYAN, LLC

SHEET TITLE:
MODEL PHOTOGRAPHS

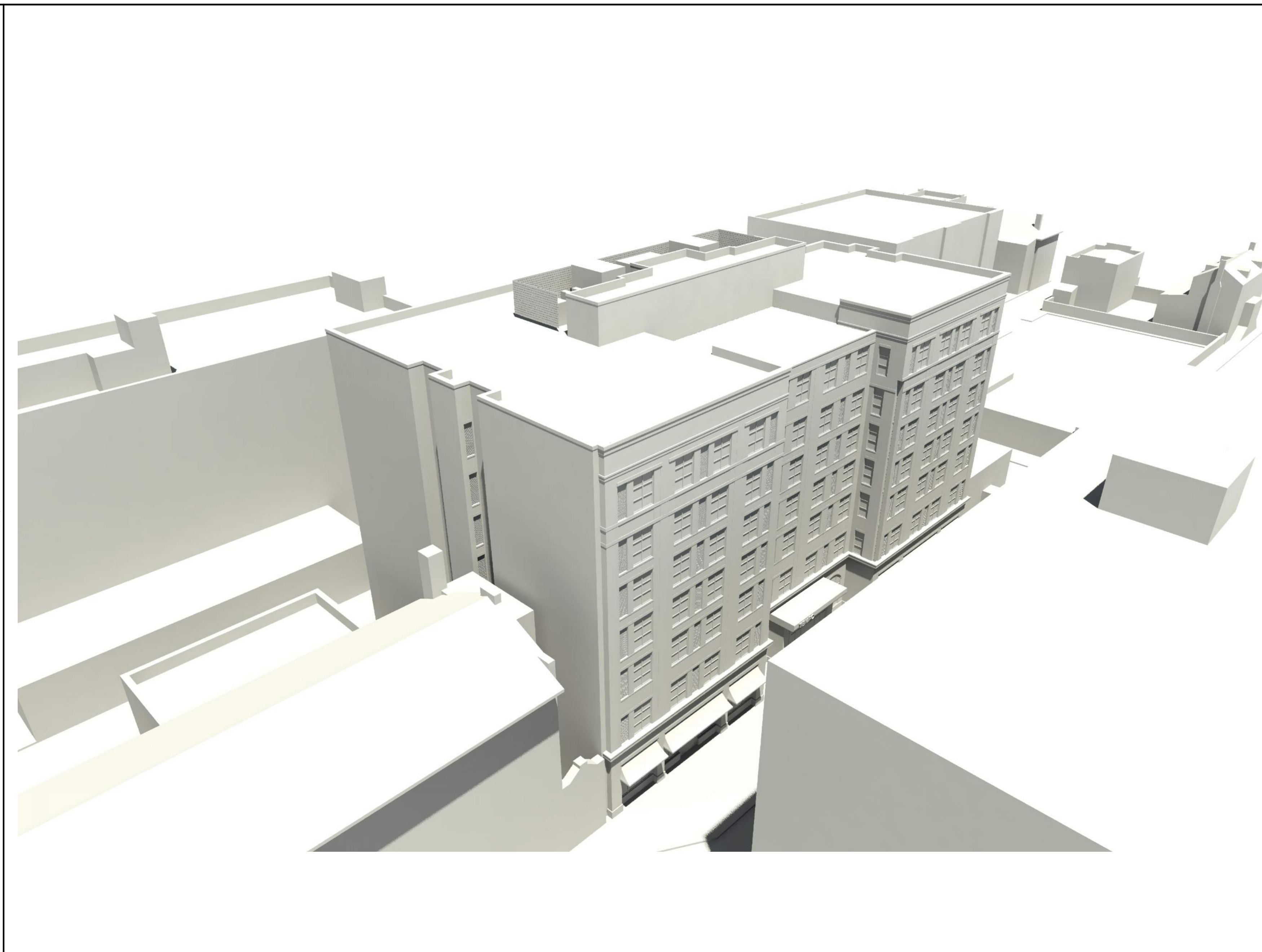
SHEET NUMBER:
HDBR 6.1

05/12/2022

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1
HDBR 6.2
ARIAL PERSPECTIVE - REYNOLDS WARD
12" = 1'-0"



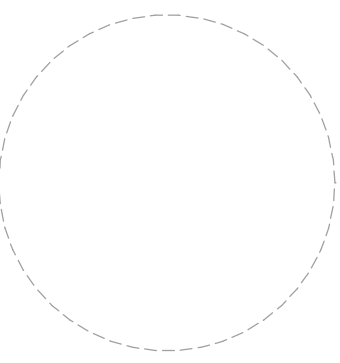
2
HDBR 6.2
ARIAL PERSPECTIVE 2
12" = 1'-0"



3
HDBR 6.2
STREET PERSPECTIVE - ABERCORN AND BRYAN STREETS
12" = 1'-0"

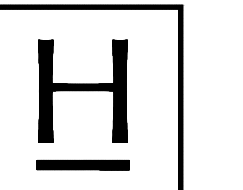


4
HDBR 6.2
STREET PERSPECTIVE - BRYAN AND LINCOLN STREETS
12" = 1'-0"



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No.	Description	Date
A	HDBR - PART I	05/12/22

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SAVANNAH, GA, 31401
NF V SAVANNAH BRYAN, LLC

SHEET TITLE:
3D MODEL
PERSPECTIVES

SHEET NUMBER:
HDBR 6.2

05/12/2022

5/12/2022 10:24:24 AM Model - C:\Users\pplp\Documents\Tempo Savannah\202205_TEMPO_RP2.rvt

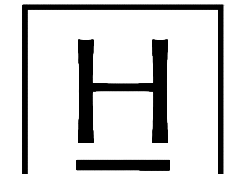
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1 HDRB 6.3 PERSPECTIVE RENDERING FROM LINCOLN AND BRYAN STREET

PROJECT #: HANSEN 202205
DRAWN BY: PG
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**NILES BOLTON
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2 HDRB 6.3 BIRDSEYE PERSPECTIVE RENDERING

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SHEET TITLE:
RENDERINGS

SHEET NUMBER:
HDBR 6.3

05/12/2022

5/12/2022 02:36:37 MaxModelAccess/1706981_Tempo_Savannah/202220_TEMPO_RENDER.rvt

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