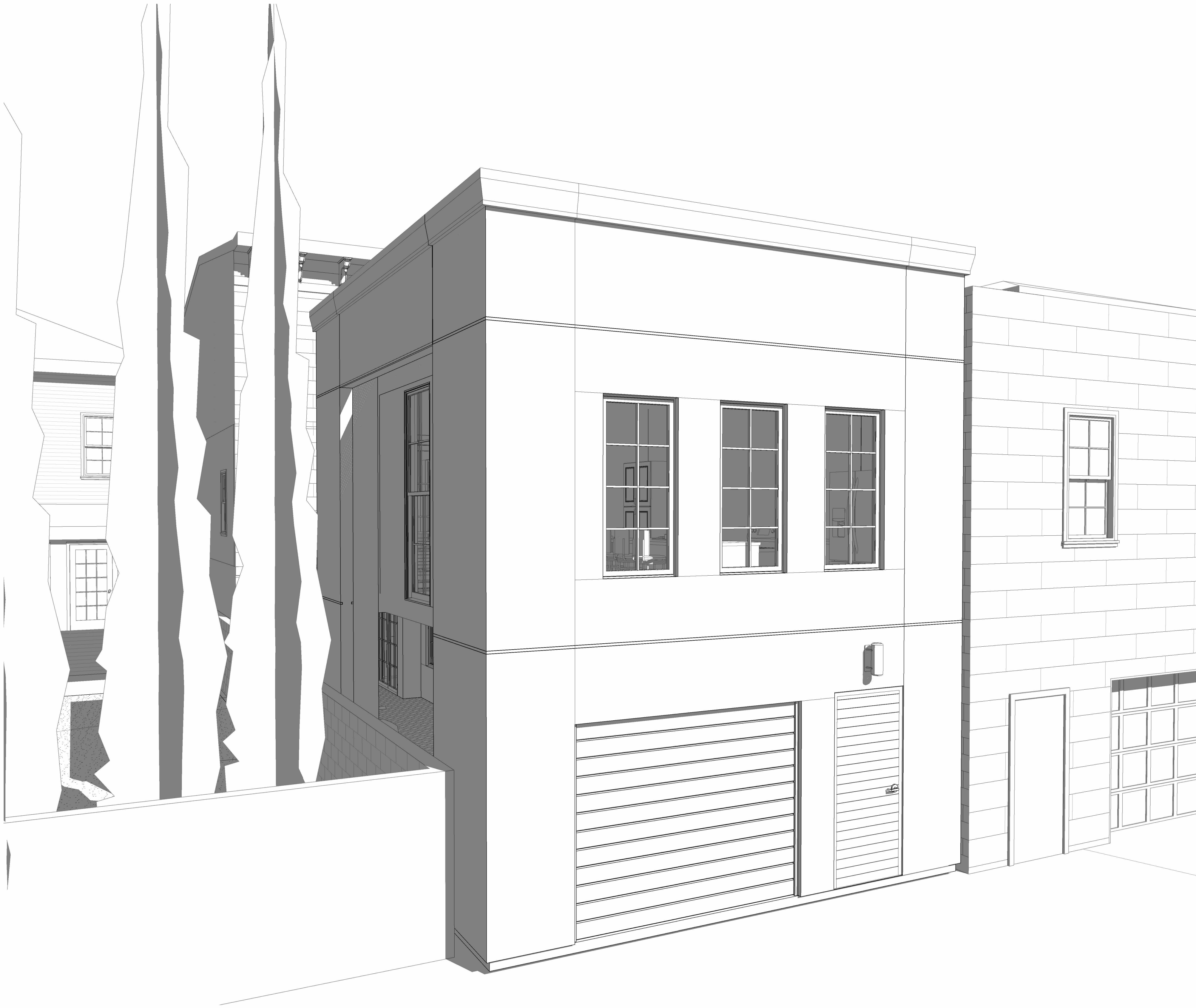




RESIDENTIAL ADDITION

DRAWINGS PREPARED FOR:

FELICIA AND THEODORE CARROLL
118 WEST HARRIS STREET
SAVANNAH, GA 31401
THEODORE CARROLL
PHONE: 203 249 0337
EMAIL: CARROLLTHEODORE@GMAIL.COM

DRAWING INDEX		HD&R 7/9/25	HD&R 8/20/25	HD&R 9/17/25	HD&R 10/15/25
SHEET#	SHEET NAME				
CVR	COVER	<	<	<	<
G100	CONNECTION DIAGRAM		<	<	<
G101	COURTYARD DIAGRAM		<	<	<
D101	FIRST AND SECOND DEMO PLAN	<	<	<	<
D102	THIRD FLOOR & ROOF DEMO PLAN	<	<	<	<
D201	DEMO ELEVATIONS	<	<	<	<
D202	DEMO ELEVATIONS	<	<	<	<
A100	SITE PLAN	<	<	<	<
A101	FIRST AND SECOND FLOOR PLAN	<	<	<	<
A102	THIRD FLOOR & ROOF PLAN	<	<	<	<
A201	PROPOSED EXTERIOR ELEV	<	<	<	<
A202	PROPOSED EXTERIOR ELEV	<	<	<	<
A301	WALL SECTIONS	<	<	<	<
A401	DETAILS / WINDOWS	<	<	<	<
A601	LANE PERSPECTIVES	<	<	<	<
A602	BIRDSEYE PERSPECTIVES	<	<	<	<
A603	RENDERING	<	<	<	<
A604	SIDS REF	<	<	<	<

PROJECT TEAM

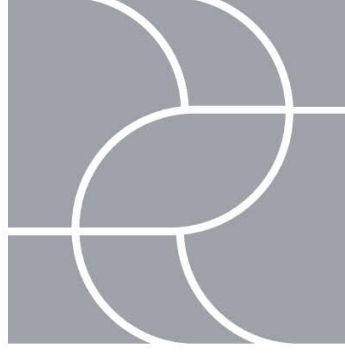
ARCHITECT
ROSE ARCHITECTS
311 MAUPAS AVE
SAVANNAH, GA 31401
KEVIN ROSE
PHONE: 912-484-5967
EMAIL: KEVIN@ROSEARCH.CO

PRESERVATION
ETHOS PRESERVATION
PO BOX 3125
SAVANNAH, GA 31402
ELLEN HARRIS
KIM CAMPBELL
PHONE: 912.844.2703
EMAIL: ELLEN@ETHOSPRESERVATION.COM

GENERAL CONTRACTOR
ELLSWORTH DESIGN BUILD
1810 MILLS B LN BLVD,
SAVANNAH, GA 31405
ABIGAIL POWELL
PHONE: (912) 308-7553
EMAIL: ABIGAIL.POWELL@ELLSWORTHDESIGNBUILD.COM

PROJECT DESCRIPTION

THE PROJECT IS COMPRISED OF A FULL RENOVATION OF THE EXISTING HISTORIC STRUCTURE, THE REMOVAL OF THE 1996 ADDITION ON THE NORTH FAÇADE, AND AN ADDITION TO THE NORTH FAÇADE WHICH PROVIDES A CARRIAGE HOUSE FORM AND A NARROW CONNECTOR. THE PROJECT ALSO ADDS AN ELEVATOR FOR FULL ADA COMPLIANT ACCESS TO ALL FLOORS. THE ADDITION RESPECTS THE RHYTHM AND LINE OF CONTINUITY OF NEIGHBORING STRUCTURES AND ALSO REVEALS 66% OF THE EXISTING FAÇADE WHICH WAS COVERED UP BY THE 1996 ADDITION. ADDITIONALLY, THIS PROJECT WILL RESTORE THE HISTORIC FACADES AND HISTORIC INTERIOR AND EXTERIOR FABRIC AS A PRESERVATION TAX CREDIT PROJECT UNDER THE STRICT GUIDELINES AND REVIEW OF THE NATIONAL PARK SERVICE (NPS) AND STATE HISTORIC PRESERVATION OFFICE (SHPO.)



ROSE
ARCHITECTS



STATE OF GEORGIA
★ KEVIN F. ROSE ★
CERTIFICATE NO. 00008
REGISTERED ARCHITECT

PRIVATE RESIDENCE

118 W. HARRIS ST.
SAVANNAH, GA 31401

Revisions
COVER
2502
Author Checker
8.20.25

CVR

CARRIAGE HOUSE CONNECTORS



CARRIAGE HOUSE COURTYARDS



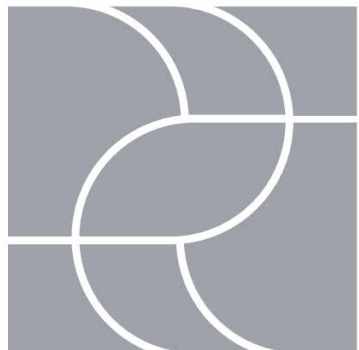
PRIVATE RESIDENCE

118 W. HARRIS ST.
SAVANNAH, GA 31401

Revisions

COURTYARD
DIAGRAM
2502
JK KR
8.20.25

G101



ROSE
ARCHITECTS

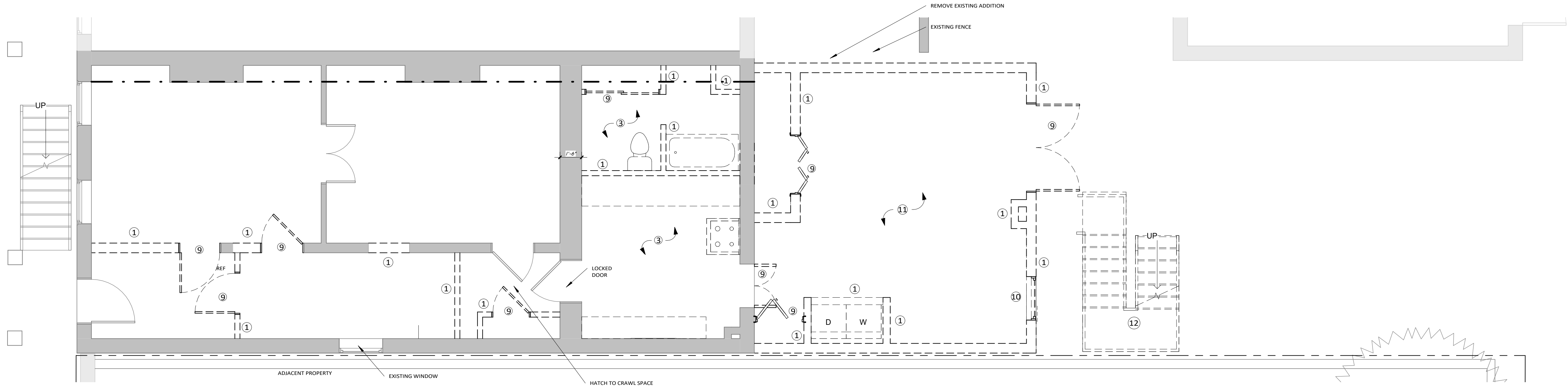


PRIVATE RESIDENCE
118 W. HARRIS ST.
SAVANNAH, GA 31401

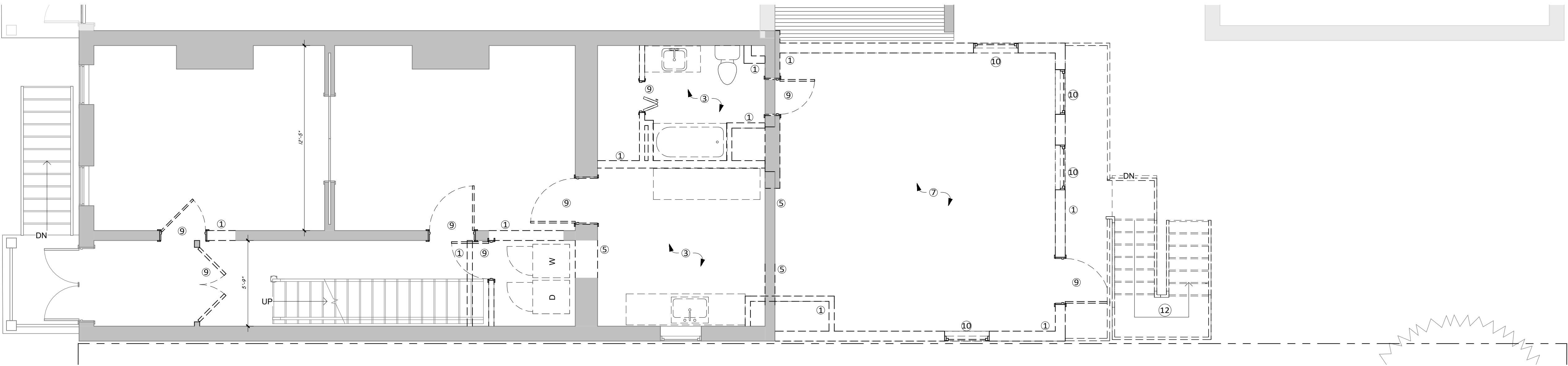
Revisions

FIRST AND SECOND
DEMO PLAN
2502
Author Checker
8.20.25

D101



1 1ST FLOOR DEMO
D101 1/4" = 1'-0"



2 2ND FLOOR DEMO
D101 1/4" = 1'-0"

GENERAL DEMO NOTES

- 1 ALL EXISTING CONDITIONS SHOWN ARE FOR REFERENCE ONLY AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 2 REMOVED MATERIALS, UNLESS NOTED OTHERWISE, BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS. VERIFY WITH OWNER
- 3 THE CONTRACTOR SHALL USE QUALIFIED, EXPERIENCED PERSONNEL FOR REMOVAL AND DEMOLITION OPERATIONS. REMOVAL AND DEMOLITION OPERATIONS SHALL BE PERFORMED IN A CAREFUL AND ORDERLY MANNER TO AVOID HAZARDS TO PERSONS, DAMAGE TO PROPERTY, AND THE SPREADING OF DUST AND FLYING PARTICLES.
- 4 THE EXACT EXTENT OF DEMOLITION TO BE DONE SHALL BE VERIFIED AT THE SITE. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE DRAWINGS WITH THE EXIST CONDITIONS.
- 5 THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE MEANS AND METHODS OF DEMOLITION AND THE SAFETY OF THE EXIST STRUCTURE.

- 6 NO PORTIONS OF THE STRUCTURE SHALL BE PERMITTED TO FALL NOR SHALL ANY DEBRIS BE DROPPED EXCEPT BY METHODS WHICH WILL INSURE LIFE SAFETY AND OTHER INSURANCE.
- 7 DO NOT REMOVE MORE OF THE EXISTING STRUCTURE THAN NECESSARY. DO NOT DAMAGE, MAR, OR DEFACE THE REMAINING STRUCTURE OR MATERIALS TO BE REUSED.
- 8 THE CONTRACTOR SHALL PROVIDE SHORING IN ALL LOCATIONS WHERE EXIST CONSTRUCTION TO REMAIN WILL BE AFFECTED BY DEMOLITION.
- 9 ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- 10 IN AREAS OF WORK, AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.

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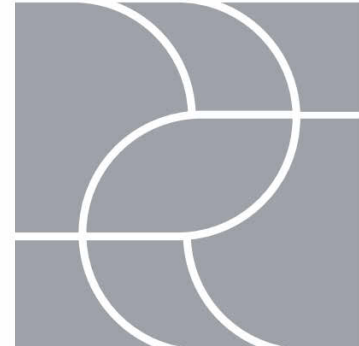
DEMO KEY NOTES

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- 12 REMOVE STAIR IN ITS ENTIRETY

DEMO LEGEND

- PORTION OF WALL TO REMAIN
- PORTION OF WALL TO BE REMOVED
- PORTION OF FLOOR TO BE REMOVED
- PORTION OF CEILING TO BE REMOVED

PROJECT DEMO NOTES



ROSE
ARCHITECTS

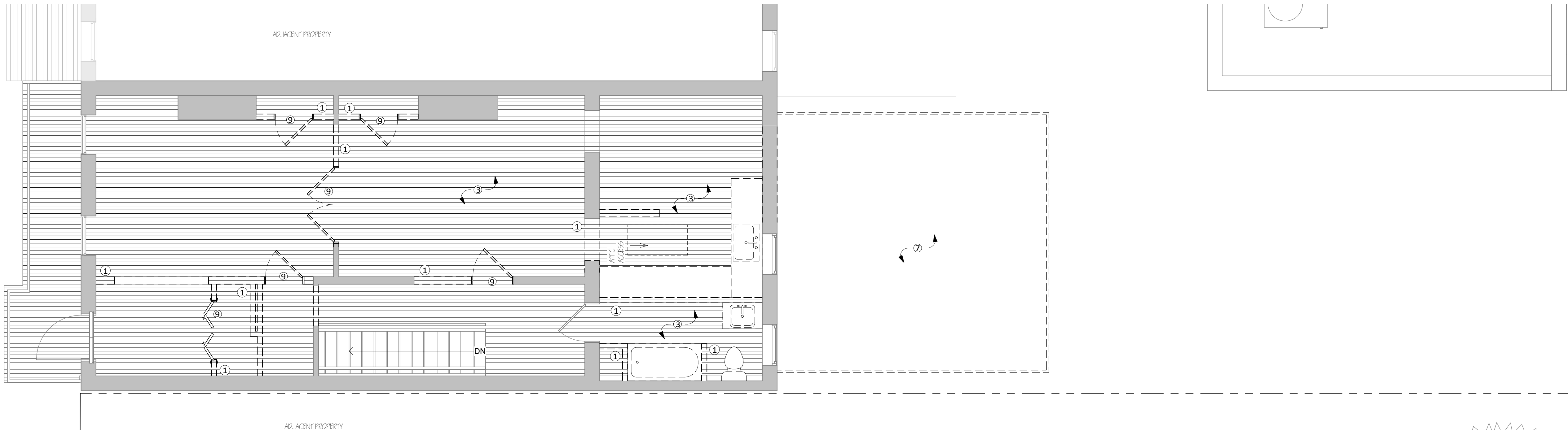


PRIVATE RESIDENCE

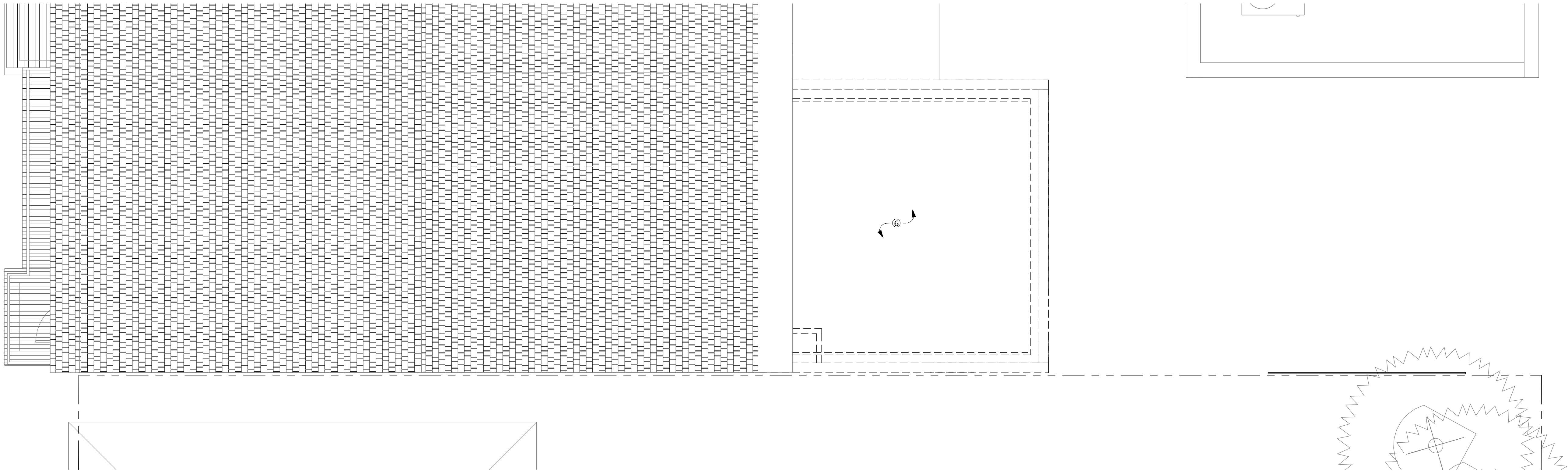
118 W. HARRIS ST.
SAVANNAH, GA 31401

Revisions

THIRD FLOOR & ROOF
DEMO PLAN
2502
Author Checker
8.20.25



1 3RD FLOOR DEMO
D102 1/4" = 1'-0"



2 ROOF DEMO
D102 1/4" = 1'-0"

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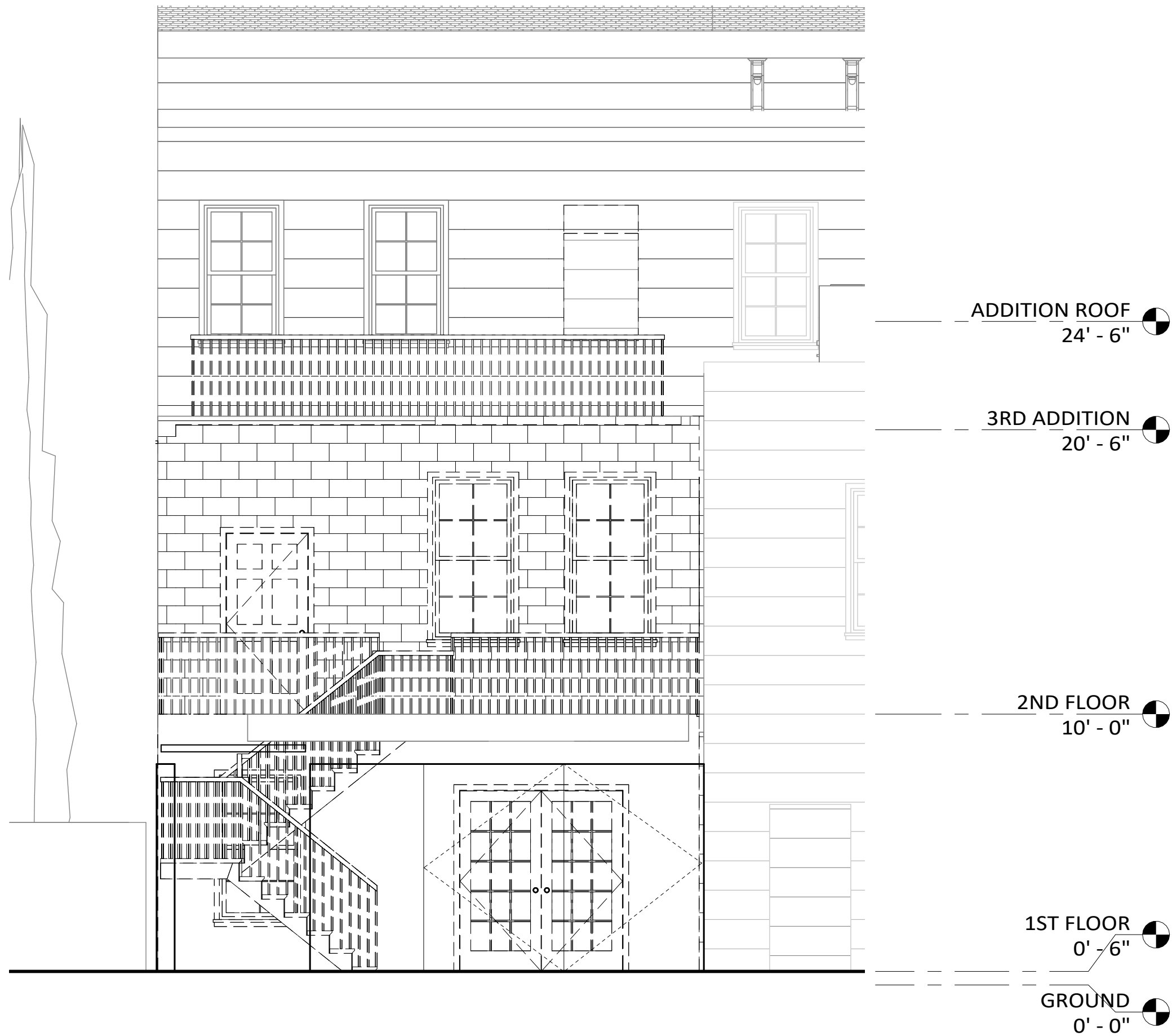
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- PORTION OF WALL TO BE REMOVED
- PORTION OF FLOOR TO BE REMOVED
- PORTION OF CEILING TO BE REMOVED

PROJECT DEMO NOTES



1 NORTH ELEVATION - DEMO
D201 1/4" = 1'-0"



2 SOUTH ELEVATION - DEMO (NO CHANGE)
D201 1/4" = 1'-0"

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DEMO LEGEND

- PORTION OF WALL TO REMAIN
- PORTION OF WALL TO BE REMOVED
- PORTION OF FLOOR TO BE REMOVED
- PORTION OF CEILING TO BE REMOVED



PRIVATE RESIDENCE

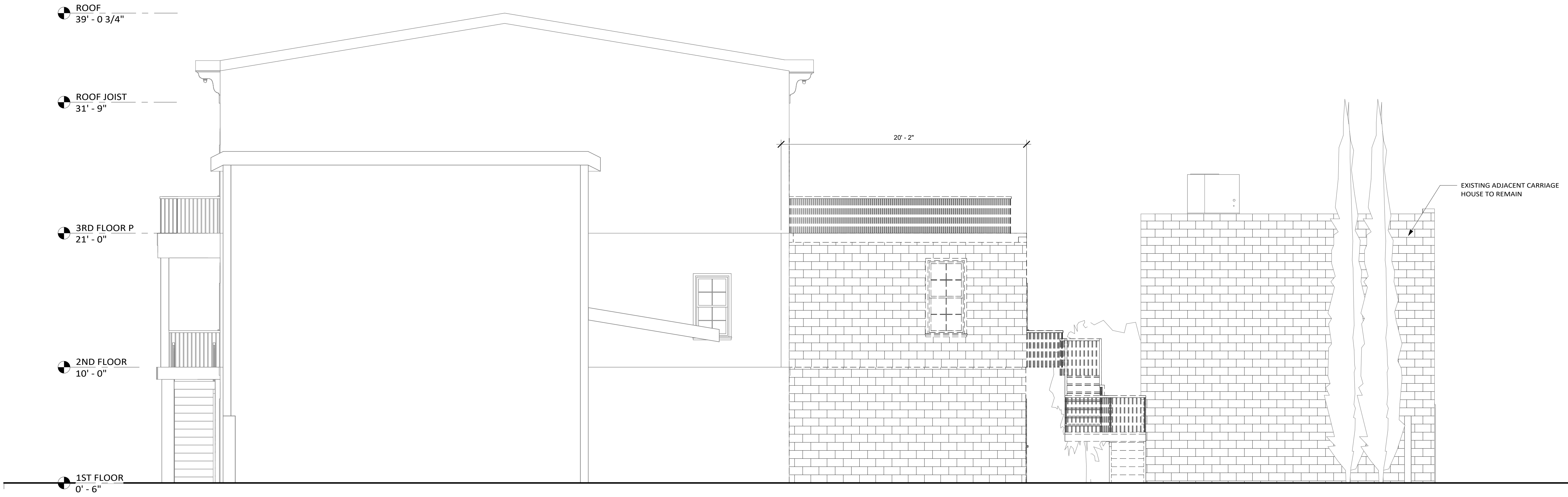
118 W. HARRIS ST.
SAVANNAH, GA 31401

Revisions

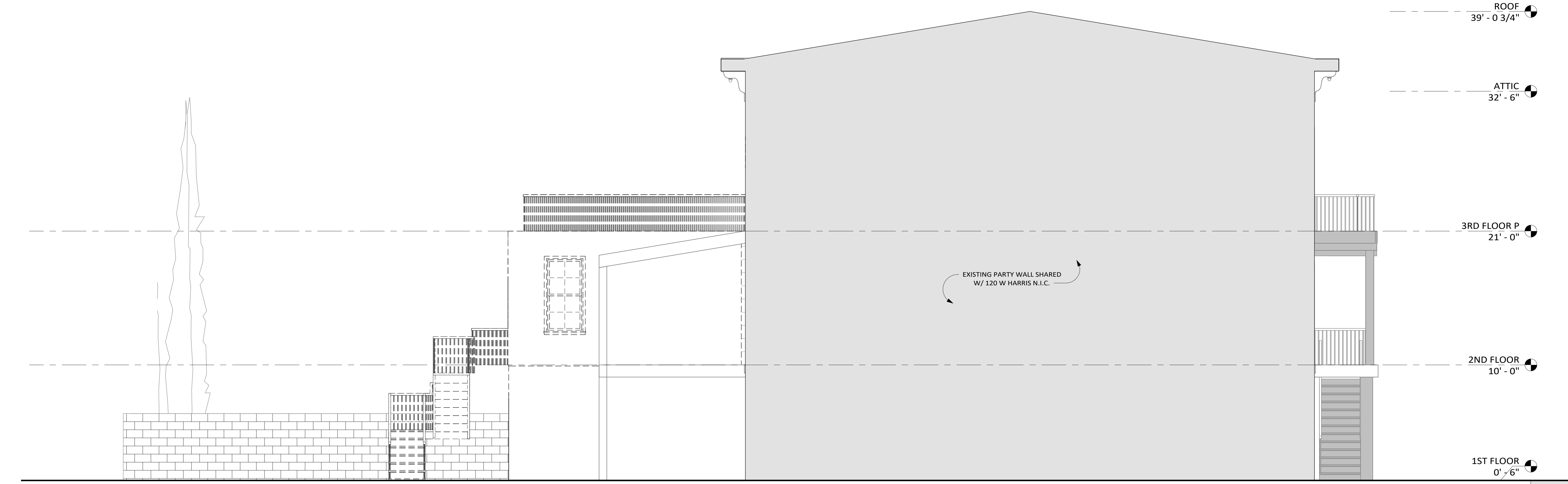
DEMO ELEVATIONS

2502
Author Checker
8.20.25

D201



1 EAST ELEVATION - DEMO
D202 1/4" = 1'-0"

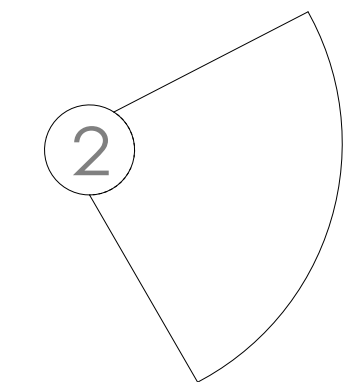


2 WEST ELEVATION - DEMO
D202 1/4" = 1'-0"

LOT COVERAGE %

EXISTING BUILDING	938.37 SF
NEW ADDITION	+ 559.28 SF
	1497.65 SF = 1498 SF
LOT PERCENTAGE	
LOT GROSS (20'-0" * 100'-0"=2000SF)	1595SF/2000SF *100 = 74.9%

PIN # - 20015 36008



BARNARD STREET
75' R/W

LOT 16
N/F TRACEY CANNON &
JEREMY EVAN LONDON
PARCEL# 20015 36010

PORTION OF LOT 15
N/F RAYMOND W.
MASCIARELLA II, ESQ.
REVOCABLE TRUST
PARCEL# 20015 36009

EXISTING ADJACENT
ADDITION

EXISTING
BUILDING

LOT 14
N/F LORA
MCGRATH-TRUSTEE
PARCEL# 20015 36011

LIBERTY LANE

W LIBERTY LANE
22.5' R/W

OVERHEAD POWER LINE

GRANITE CURB

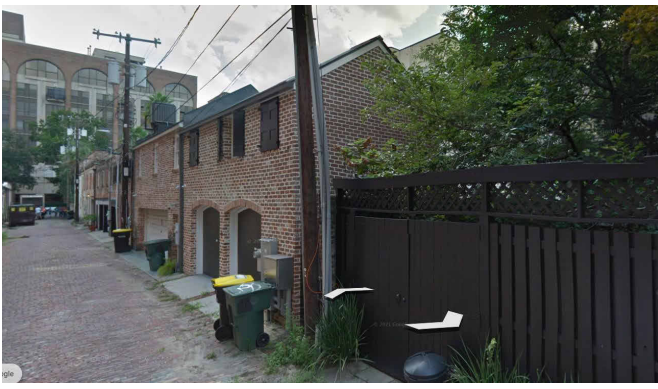
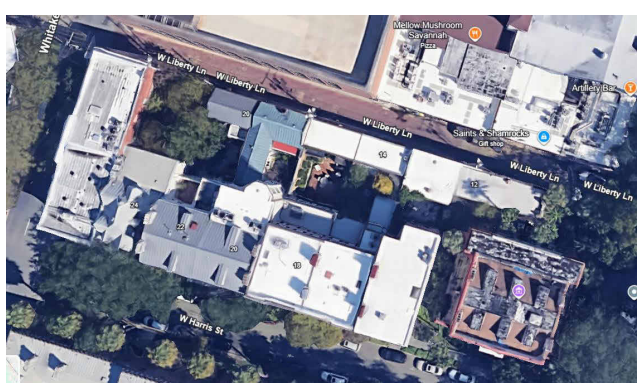
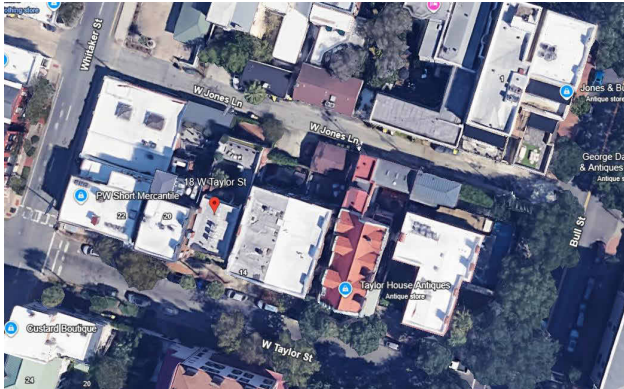
HARRIS STREET
60' R/W

COBBLESTONE PAVEMENT

GRANITE CURB

KI SQUARE
AYOR & ALDERMEN
VANNAH

1 SITE PLAN
A100 3/32" = 1'-0"



EXAMPLES OF EXISTING CONNECTORS WITHIN IMMEDIATE AREA

PRIVATE RESIDENCE

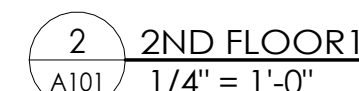
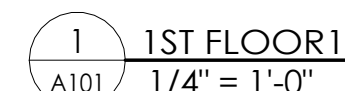
118 W. HARRIS ST.
SAVANNAH, GA 31401

Revisions

SITE PLAN

2502
Author Checker
8.20.25

A100

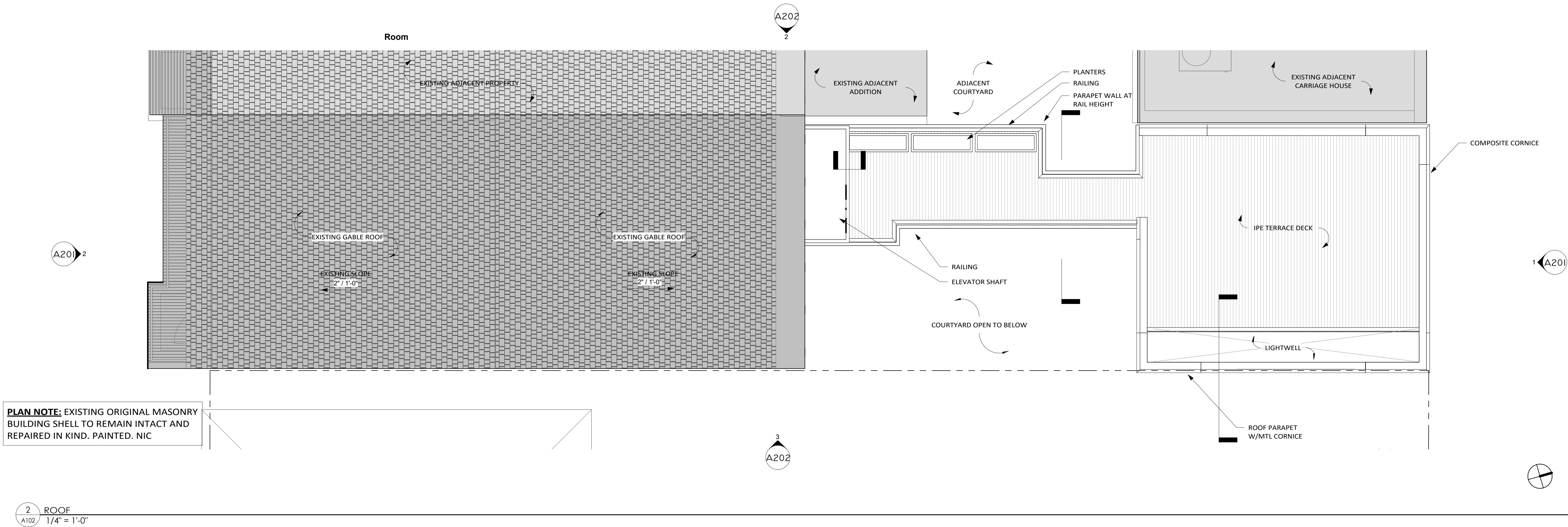
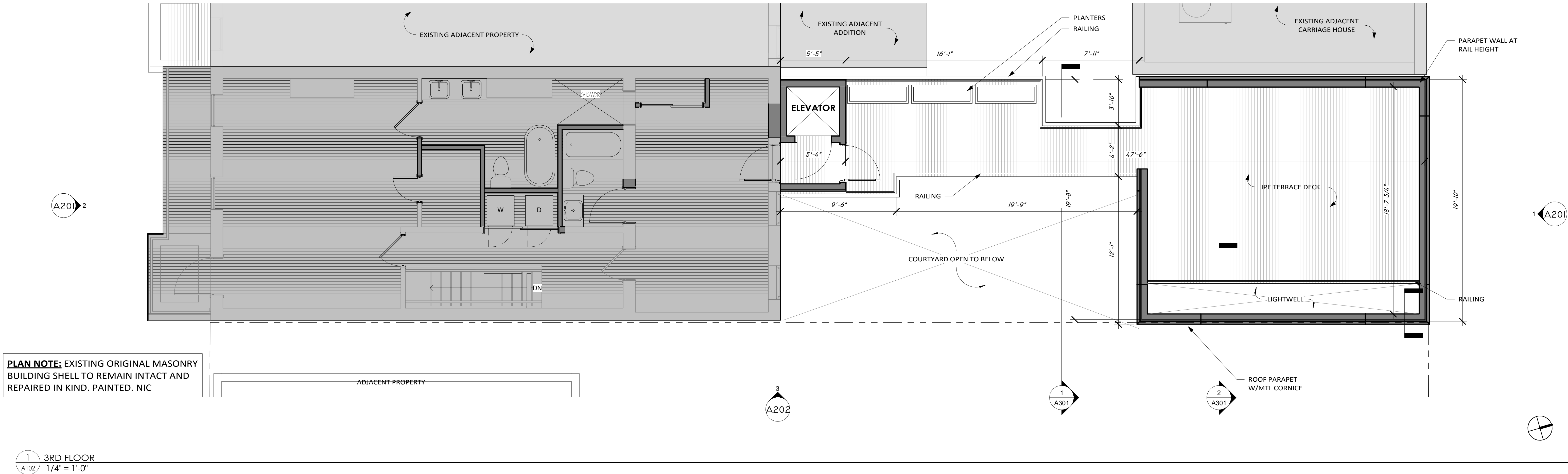


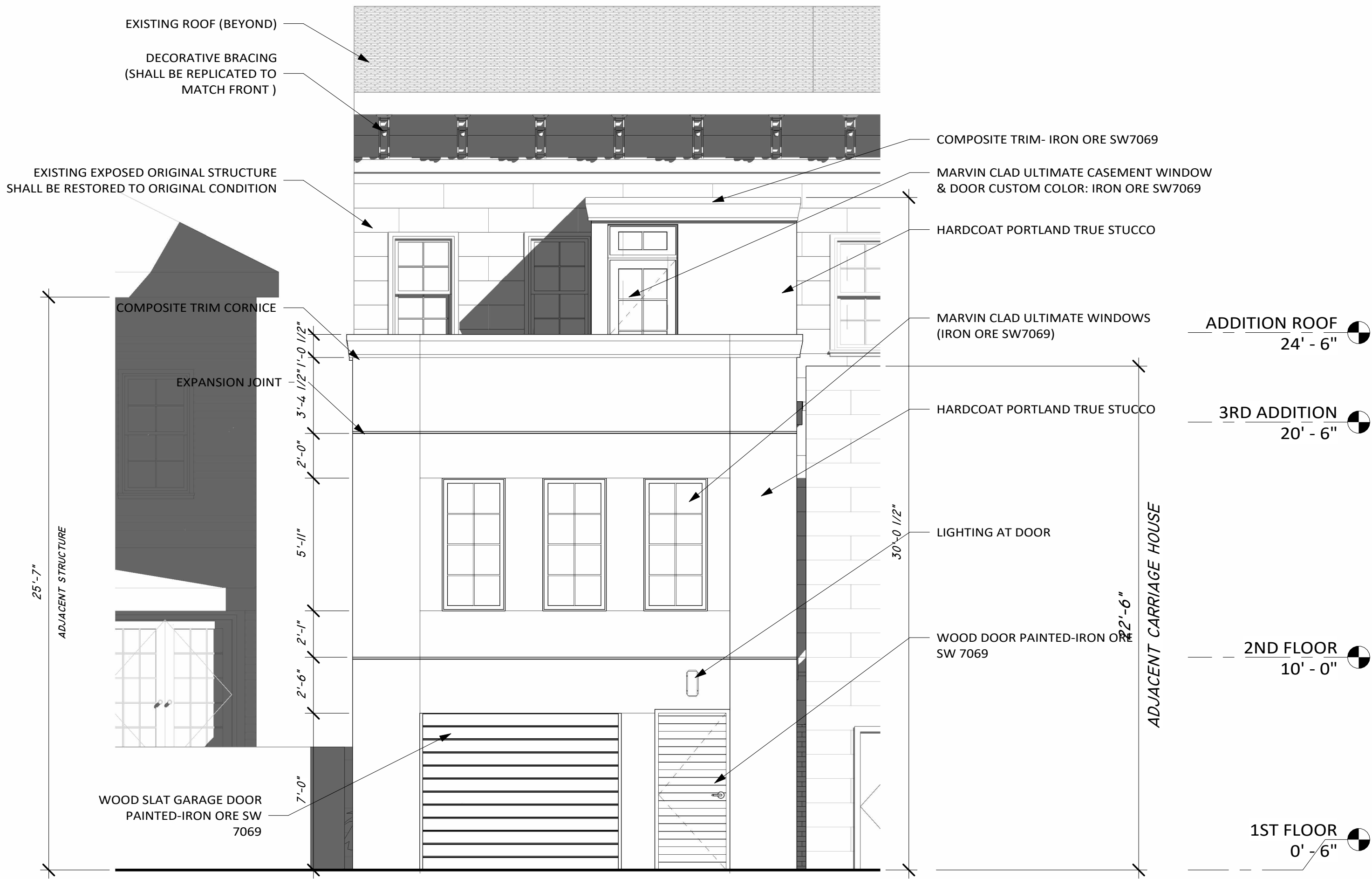
118 W. HARRIS ST.
SAVANNAH, GA 31401

Revisions

**FIRST AND SECOND
FLOOR PLAN**
2502
Author Checker
8.20.25

A101

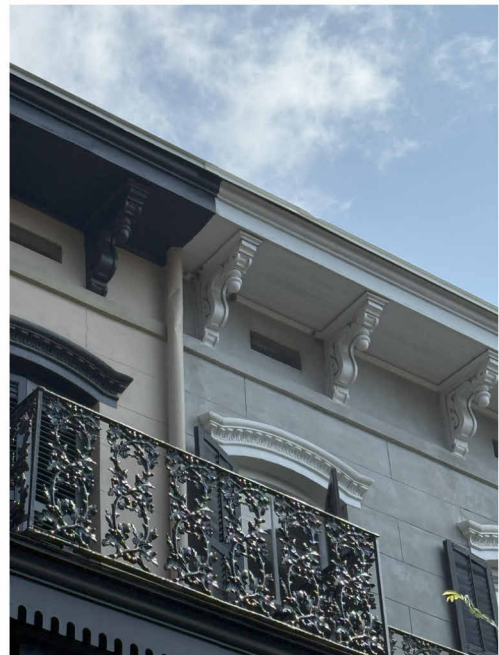




1 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



2 SOUTH ELEVATION - EXISTING (NO CHANGE)
1/4" = 1'-0"



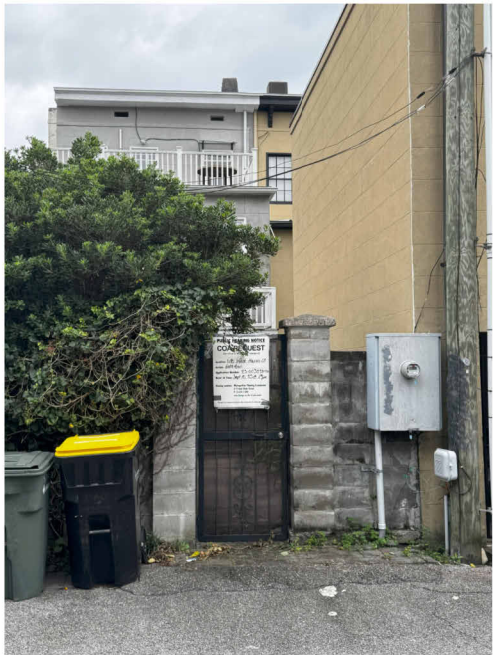
RESTORE ORIGINAL KNEE BRACE @ REAR



CONNECTED ROW HOUSE SLEEPING PORCH ON SIDE



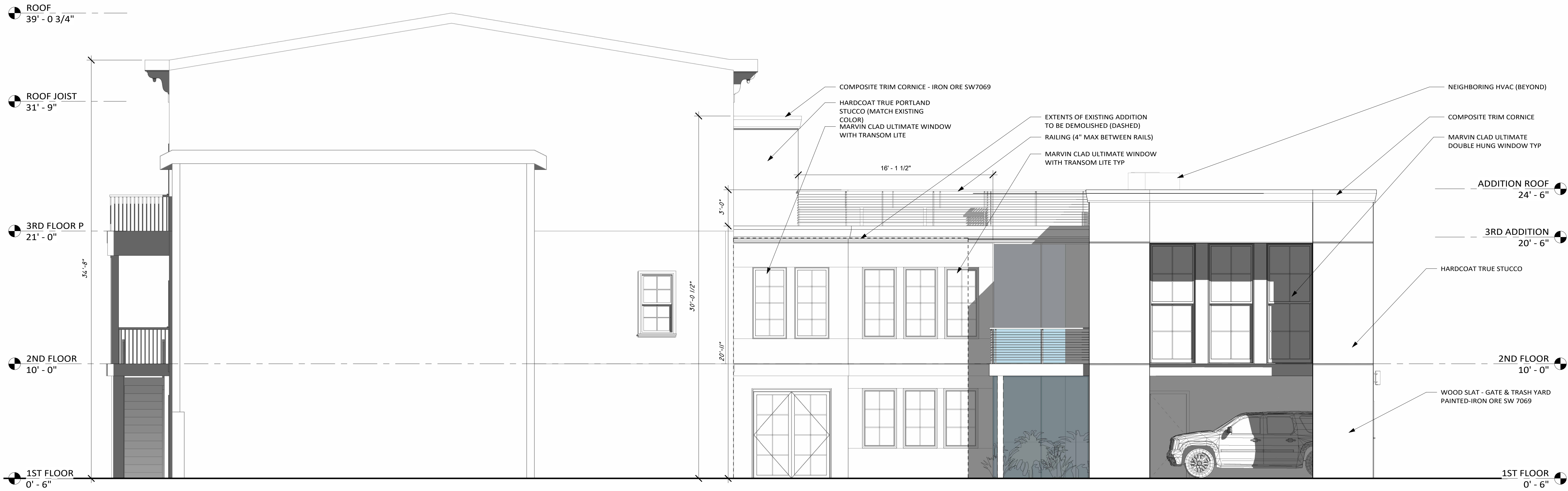
CONNECTED ROWHOUSE ADDITION



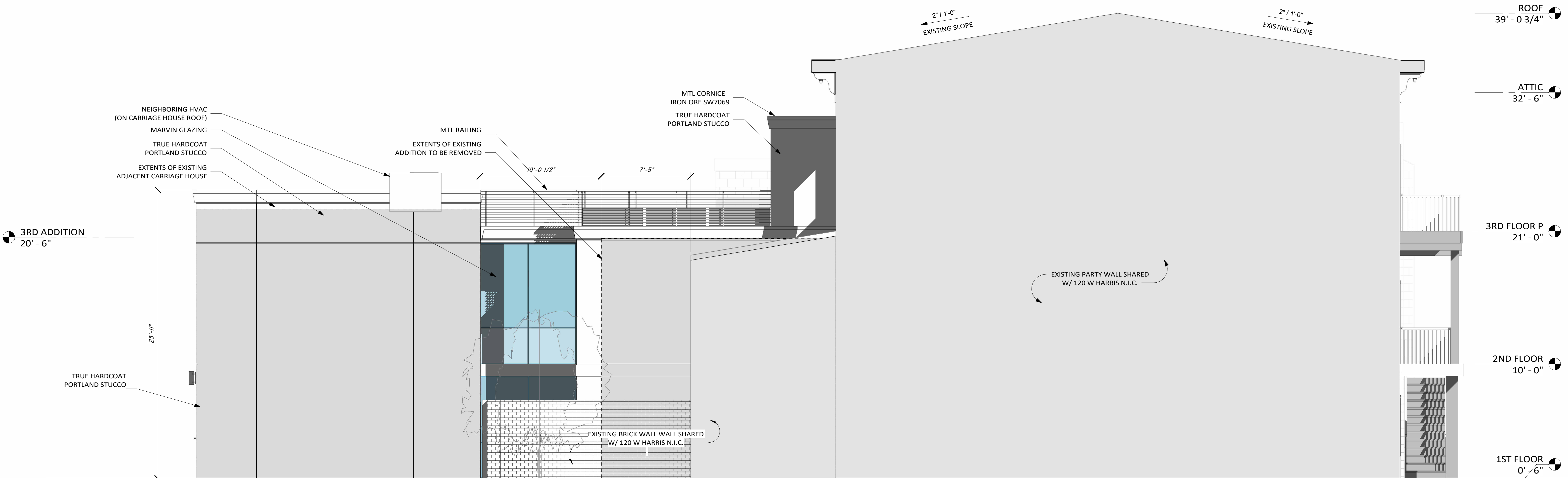
EXISTING SPACE BETWEEN EXISTING ADDITION
AND CONNECTED ROW HOUSE CARRIAGE HOUSE



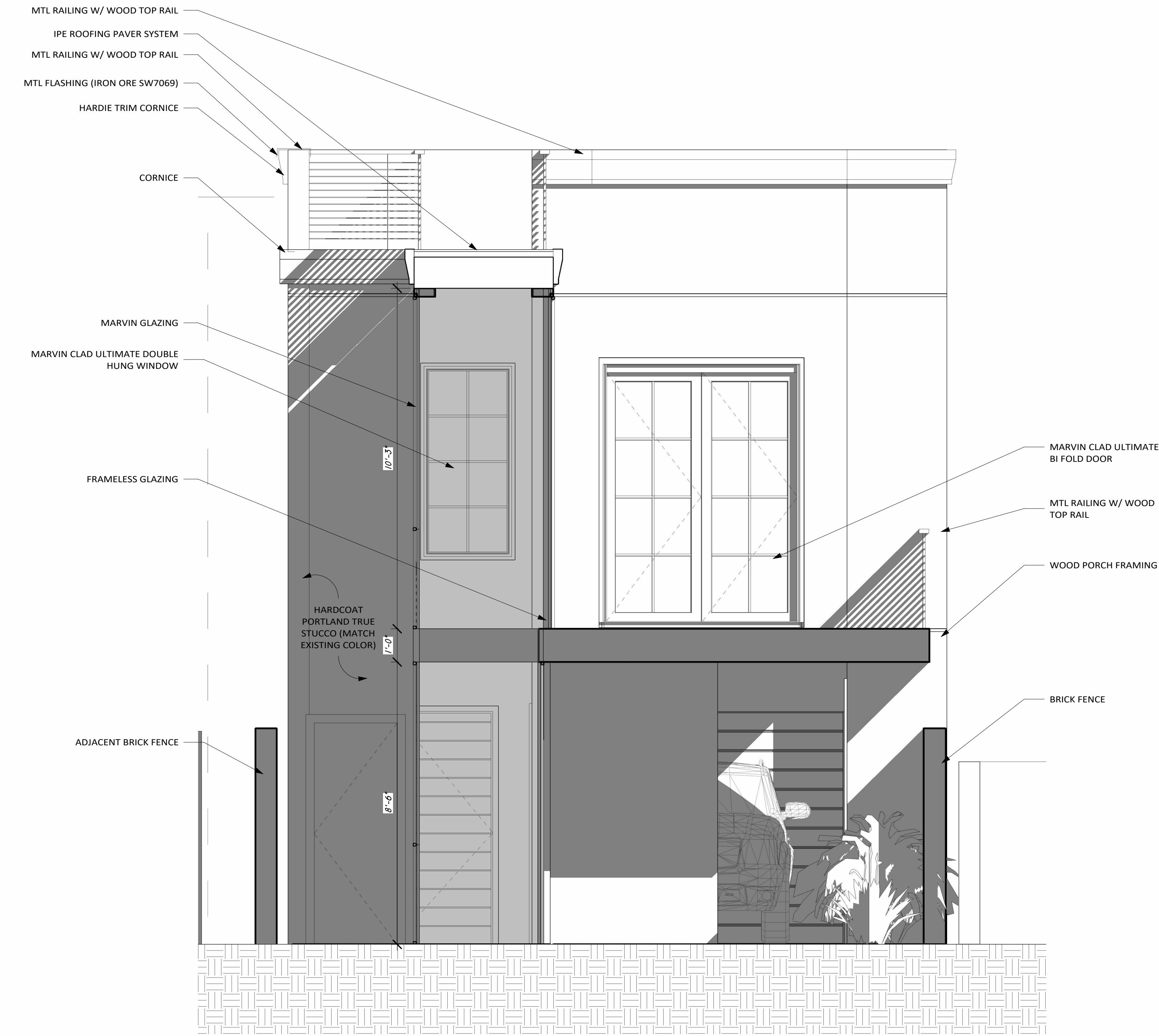
FRONT OF BUILDING TO BE RESTORED TO THE SECRETARY OF INTERIORS STANDARDS



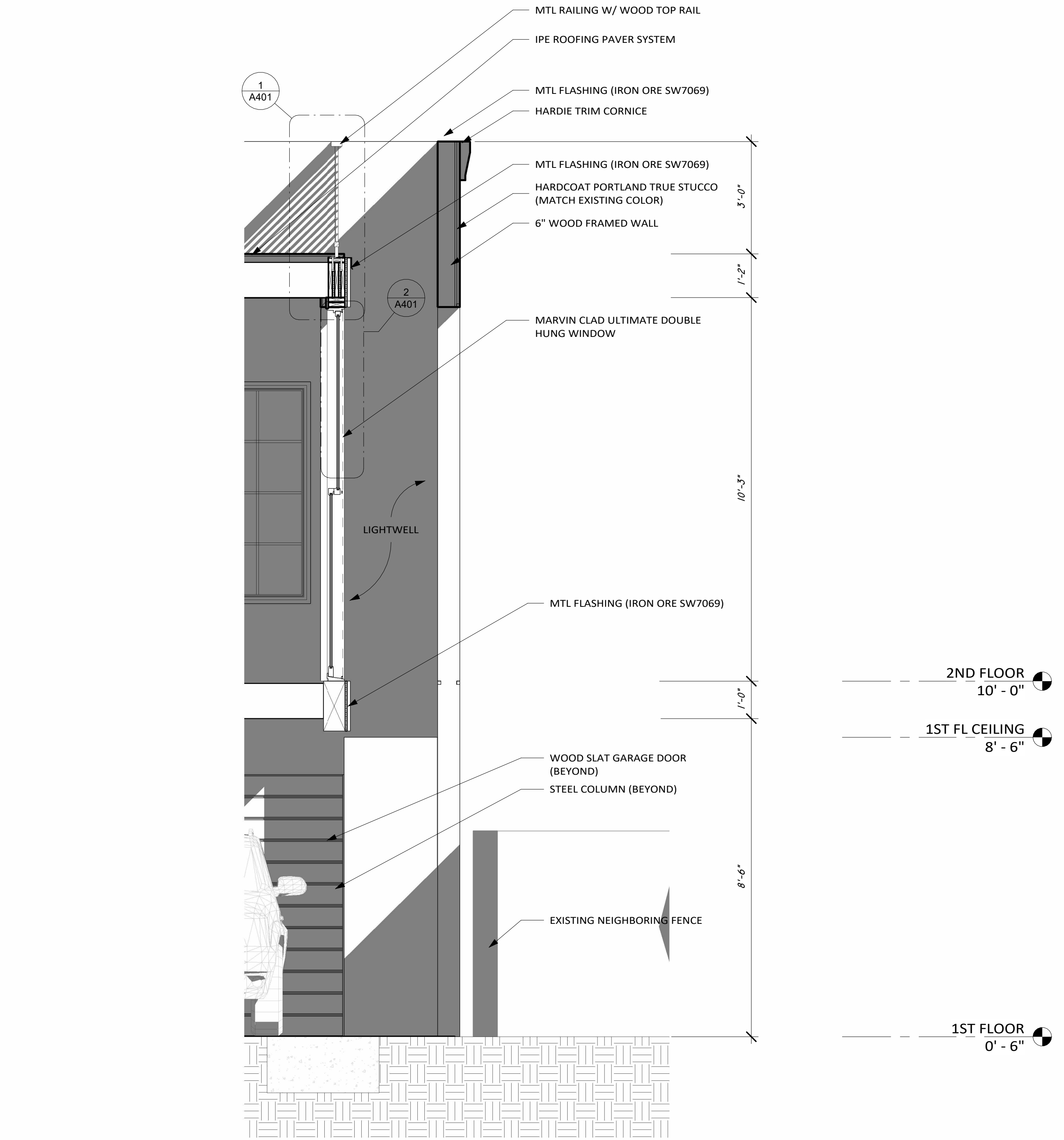
3 EAST ELEVATION
1/4" = 1'-0"



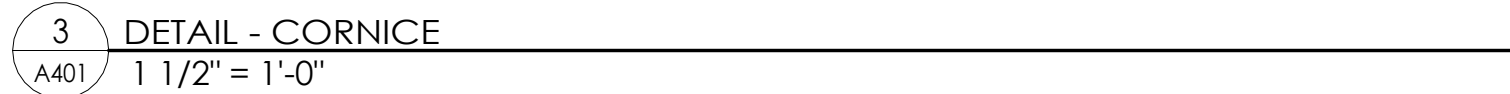
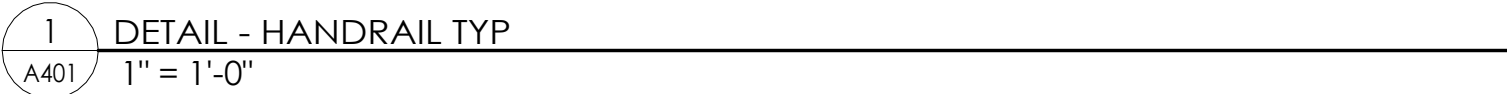
2 WEST ELEVATION
1/4" = 1'-0"



1 SECTION - BRIDGE LIGHTWELL
1/2" = 1'-0"



2 WALL SECTION - INTERIOR ATRIUM
1/2" = 1'-0"





PRIVATE RESIDENCE

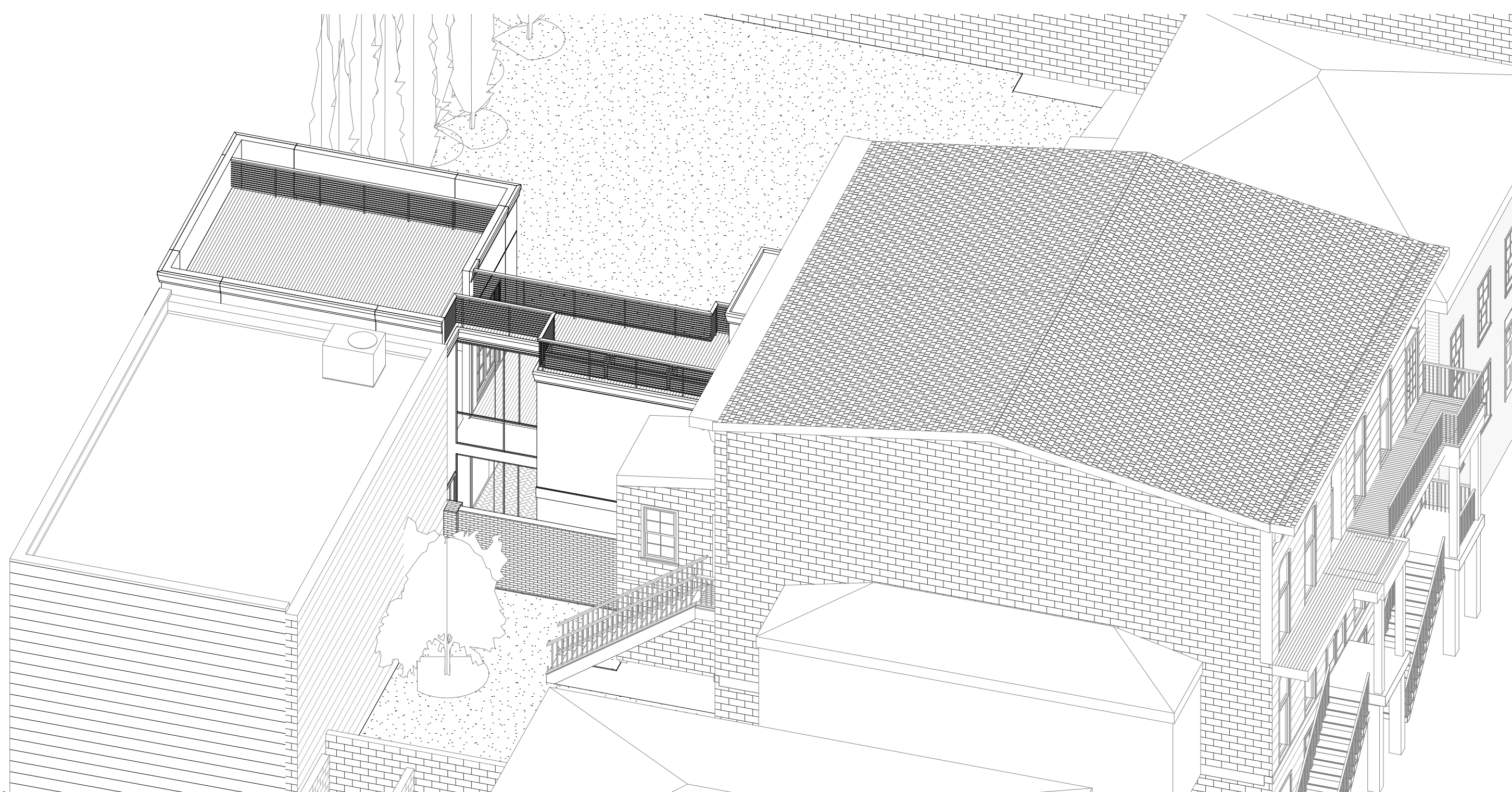
118 W. HARRIS ST.
SAVANNAH, GA 31401

Revisions

LANE PERSPECTIVES

2502
Author Checker
8.20.25

A601



PRIVATE RESIDENCE
118 W. HARRIS ST.
SAVANNAH, GA 31401

Revisions

