

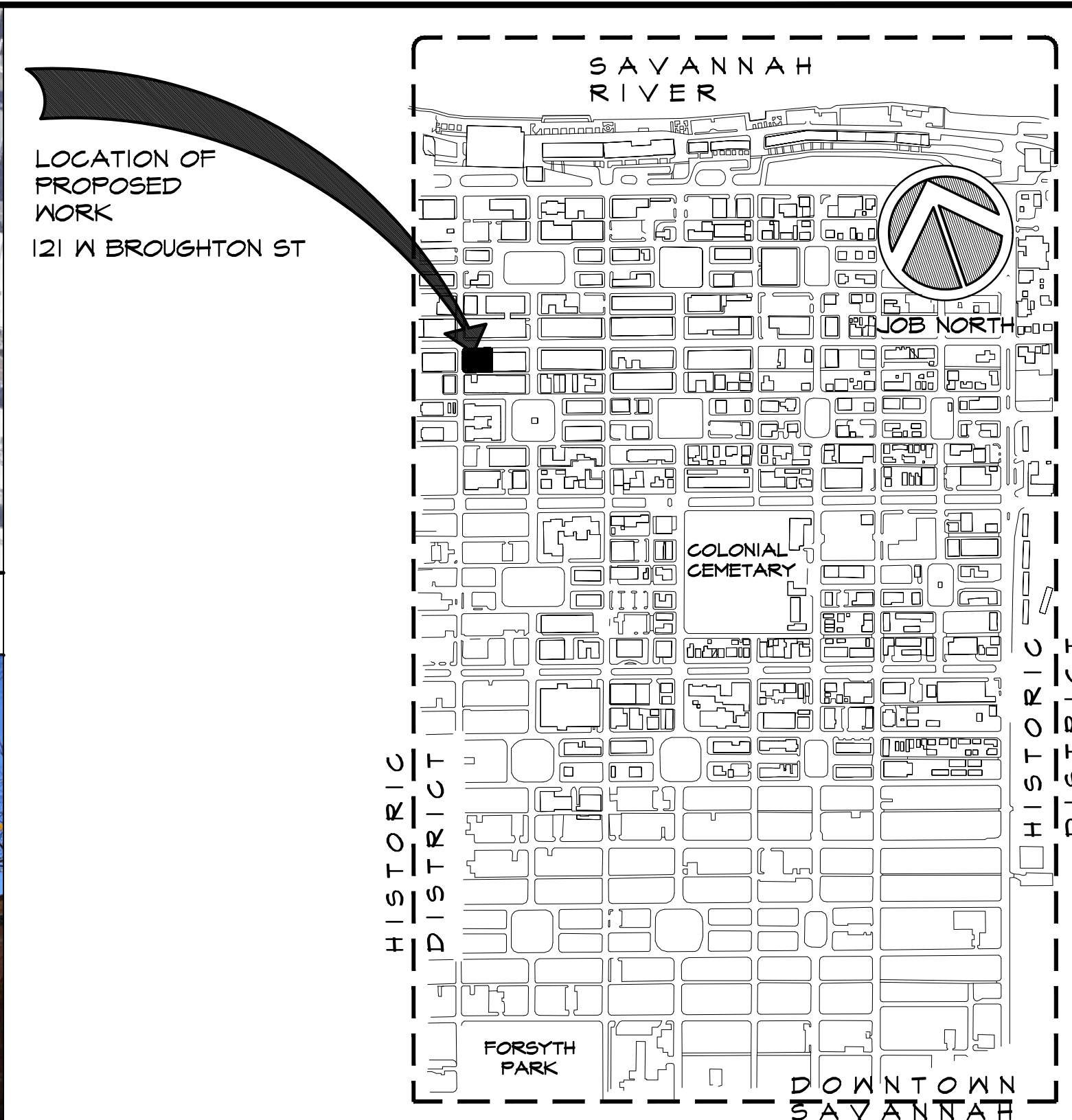
# GROUND LEVEL & ELEVATION RENOVATION TO 121 W. BROUGHTON ST. SAVANNAH, GEORGIA

## SCHEDULE OF DRAWINGS

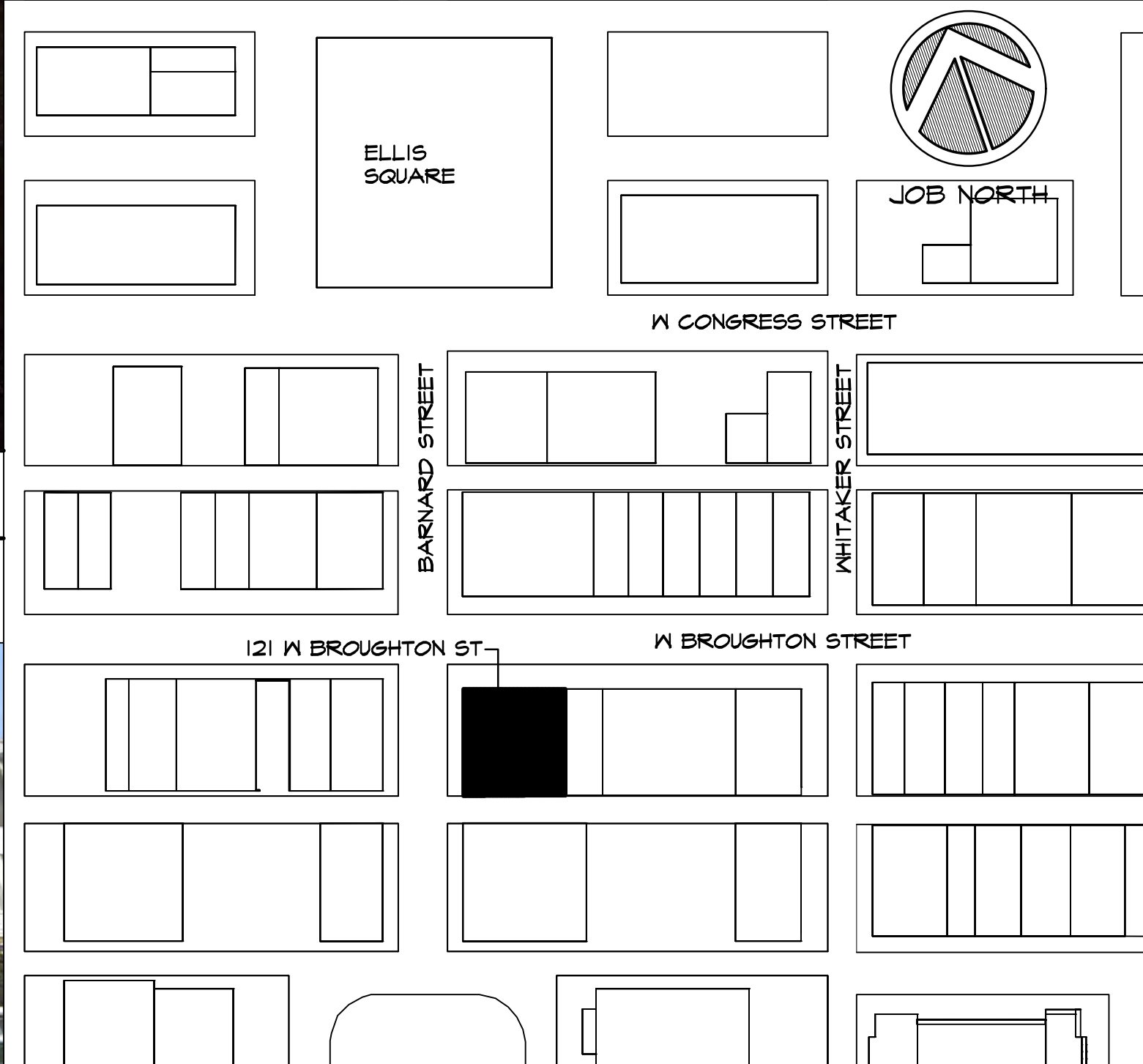
PH1.0- PHOTOS/SITE  
PH1.1 - PHOTO KEY /SITE  
PH1.2 - HISTORIC PHOTOS  
HDBR 1 - PROPOSED PLANS  
HDBR 2- EXISTING ELEVATIONS  
HDBR 3 - EXISTING ELVATIONS  
HDBR 4 - PROPOSED ELEVATIONS  
HDBR 5 - PROPOSED SECTIONS  
EXTERIOR RENDERINGS  
8 SHEETS TOTAL



10  
PH1.0 AERIAL VIEW  
SCALE: N/A



12  
PH1.0 VICINITY MAP  
SCALE: N/A



13  
PH1.0 AREA MAP  
SCALE: N/A

**PROJECT DESCRIPTION:**  
SCOPE OF WORK INCLUDES RENOVATION OF EXISTING GROUND LEVEL RETAIL SPACE, W/ NORTH AND WEST FACADE IMPROVEMENTS. WORK WILL INVOLVE MINOR MODIFICATIONS TO THE NORTH AND WEST STOREFRONT GROUND LEVEL; NEW PAINT SCHEME AT ALL LEVELS.



1  
PH1.0 VIEW AT WEST ELEVATION  
SCALE: N/A



2  
PH1.0 VIEW AT WEST ELEVATION  
SCALE: N/A



3  
PH1.0 VIEW AT NORTH ELEVATION  
SCALE: N/A



4  
PH1.0 VIEW AT NORTH ELEVATION  
SCALE: N/A



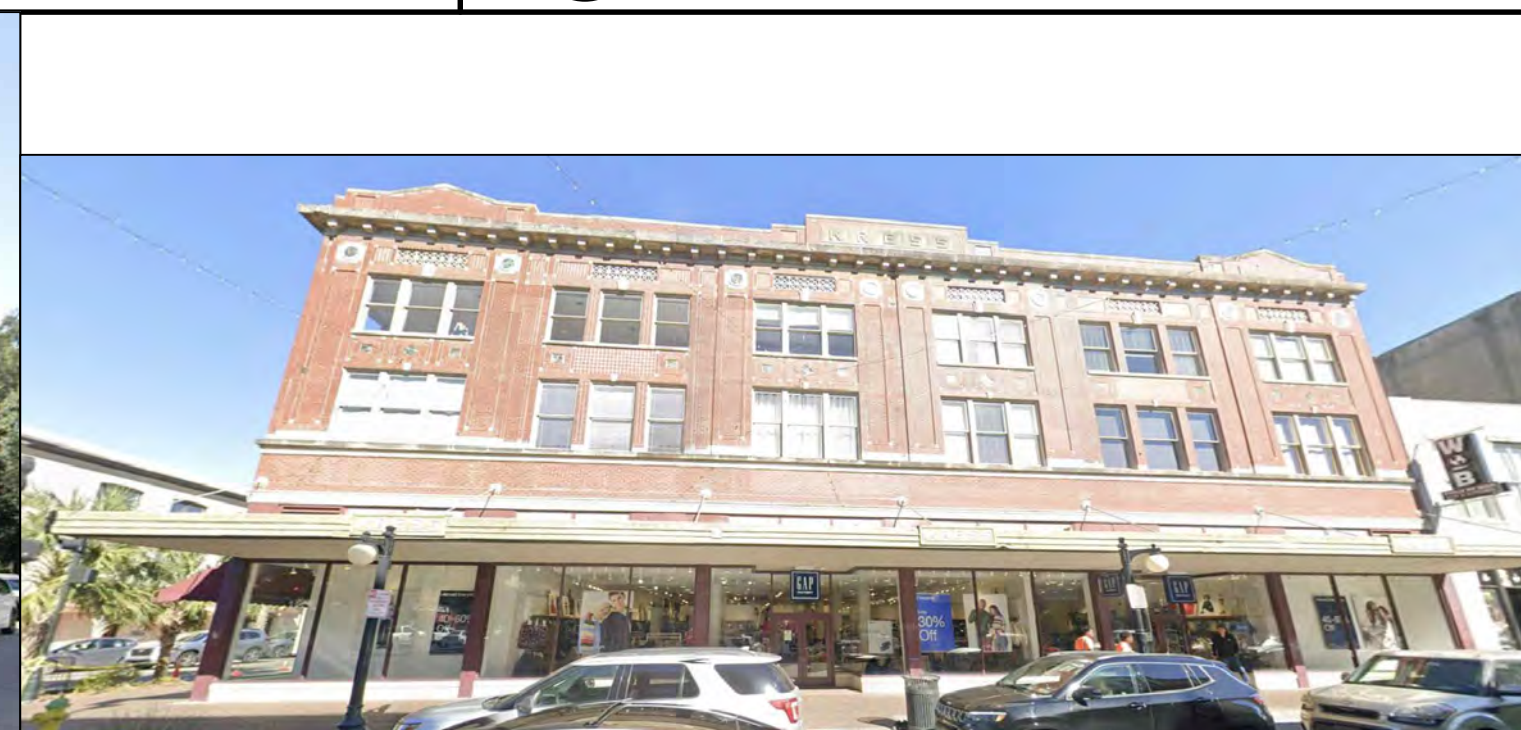
5  
PH1.0 STREET CONTEXT  
SCALE: N/A



6  
PH1.0 STREET CONTEXT  
SCALE: N/A



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PH1.0 STREET CONTEXT  
SCALE: N/A



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PH1.0 STREET CONTEXT  
SCALE: N/A



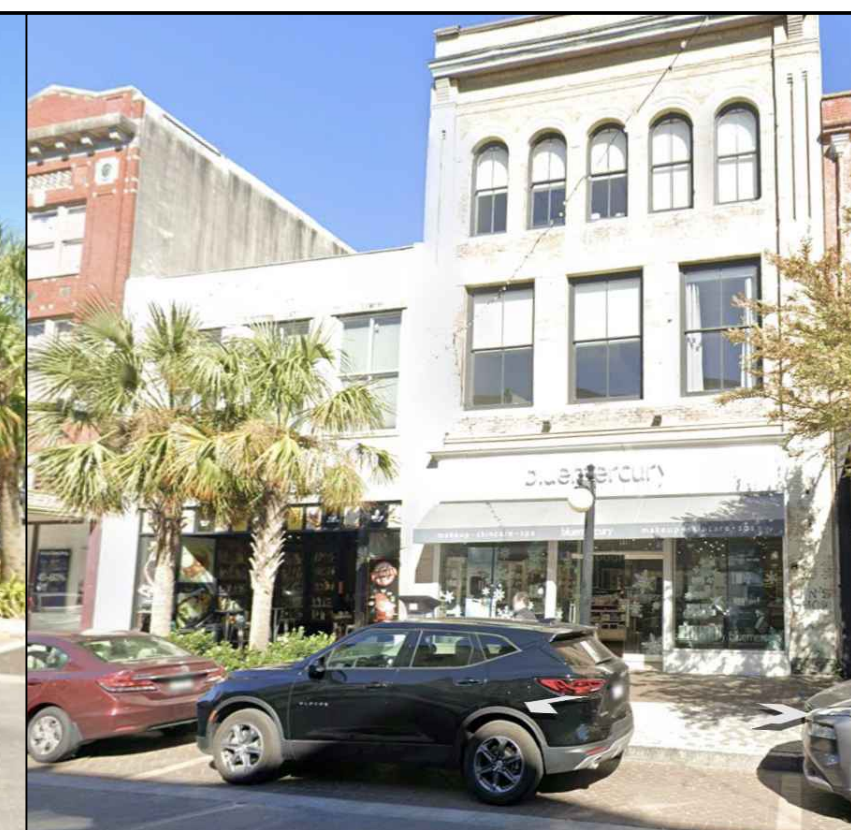
9  
PH1.0 STREET CONTEXT  
SCALE: N/A



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PH1.0 STREET CONTEXT  
SCALE: N/A



11  
PH1.0 STREET CONTEXT  
SCALE: N/A



12  
PH1.0 STREET CONTEXT  
SCALE: N/A



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SAVANNAH, GA 31401  
T 912.447.5665  
F 912.447.8381  
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BALUITY PROPERTY ENHANCEMENT

GROUND LEVEL & ELEVATION  
RENOVATION OF THE  
121 W. BROUGHTON ST.  
SAVANNAH, GEORGIA

REVISIONS

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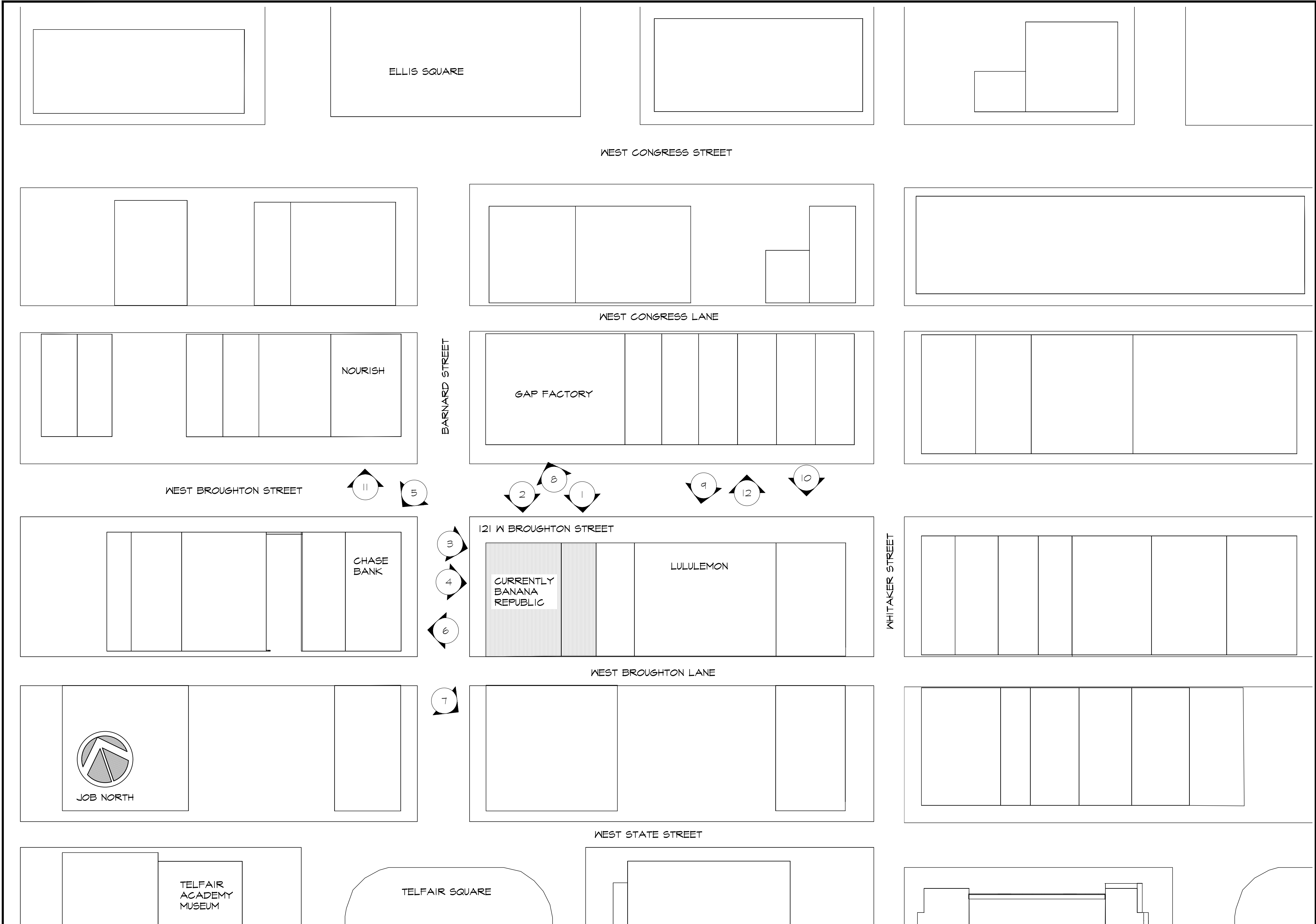
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HDBR DRAWINGS

JOB NO: 26.002  
ISSUE DATE: 03/11/2026  
DRAWN: ERS

PH1.0



GROUND LEVEL & ELEVATION  
RENOVATION OF THE  
121 W. BROUGHTON ST.  
SAVANNAH, GEORGIA

SITE/PHOTO  
KEY PLAN

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 BALAITY PROPERTY ENHANCEMENTS

GROUND LEVEL & ELEVATION  
RENOVATION OF THE  
121 W. BROUGHTON ST.  
SAVANNAH, GEORGIA

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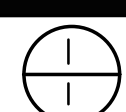
## REVISIONS

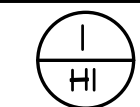
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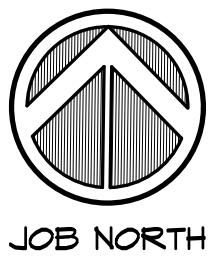
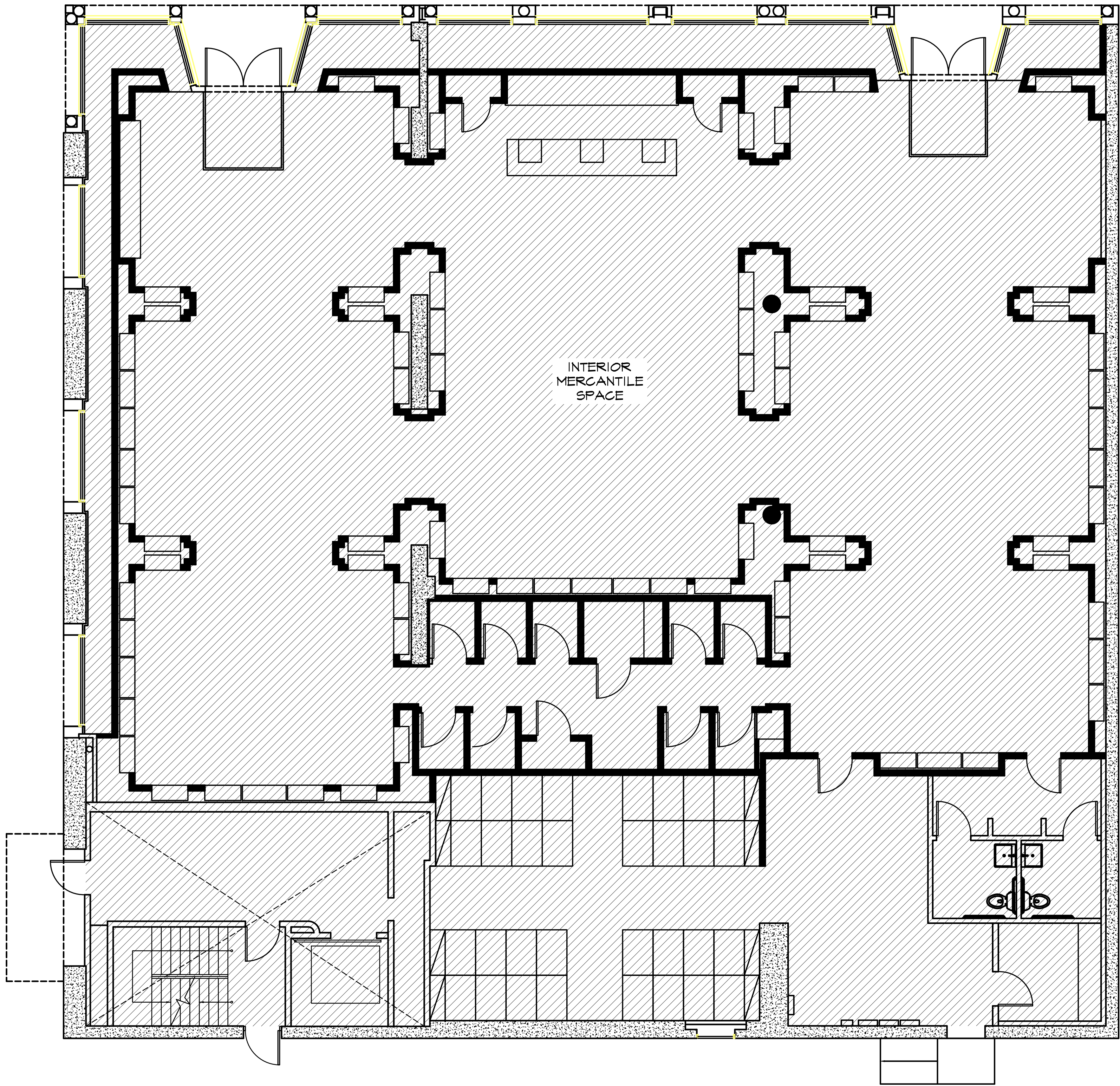
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PH1.2





FIRST FLOOR - PROPOSED  
SCALE: 3/16"=1'-0"



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GROUND LEVEL & ELEVATION  
RENOVATION OF THE  
121 W. BROUGHTON ST.  
SAVANNAH, GEORGIA

REVISIONS

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HDBR DRAWINGS

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HDBR 1

GROUND LEVEL & ELEVATION  
RENOVATION OF THE  
121 W. BROUGHTON ST.  
SAVANNAH, GEORGIA

EXISTING BUILDING  
ELEVATIONS - NORTH

## REVISIONS

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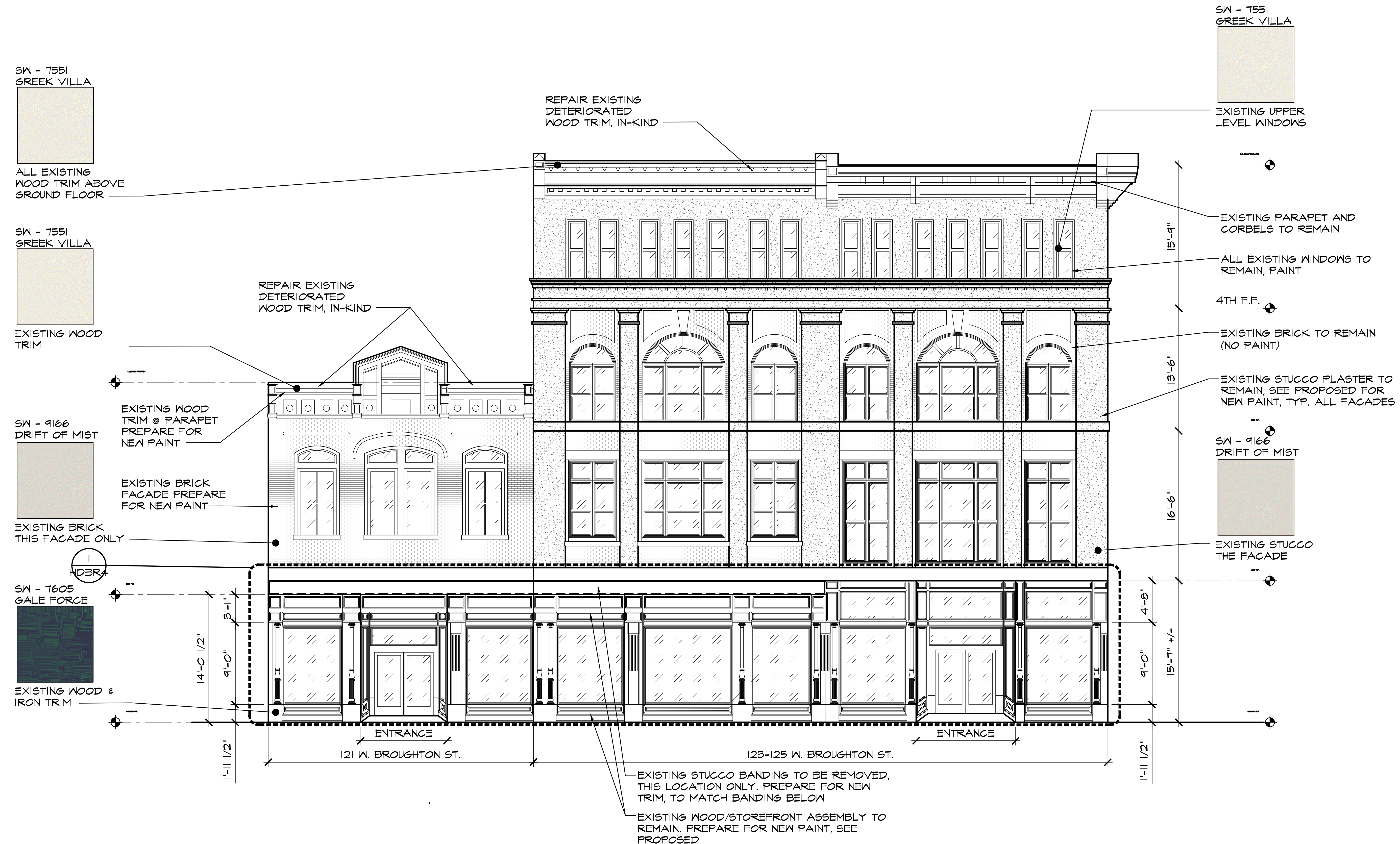
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HDBR DRAWINGS

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HDBR 2





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BALAIY PROPERTY ENHANCEMENT

GROUND LEVEL & ELEVATION  
RENOVATION OF THE  
121 W. BROUGHTON ST.  
SAVANNAH, GEORGIA

EXISTING BUILDING  
ELEVATIONS - EAST

REVISIONS

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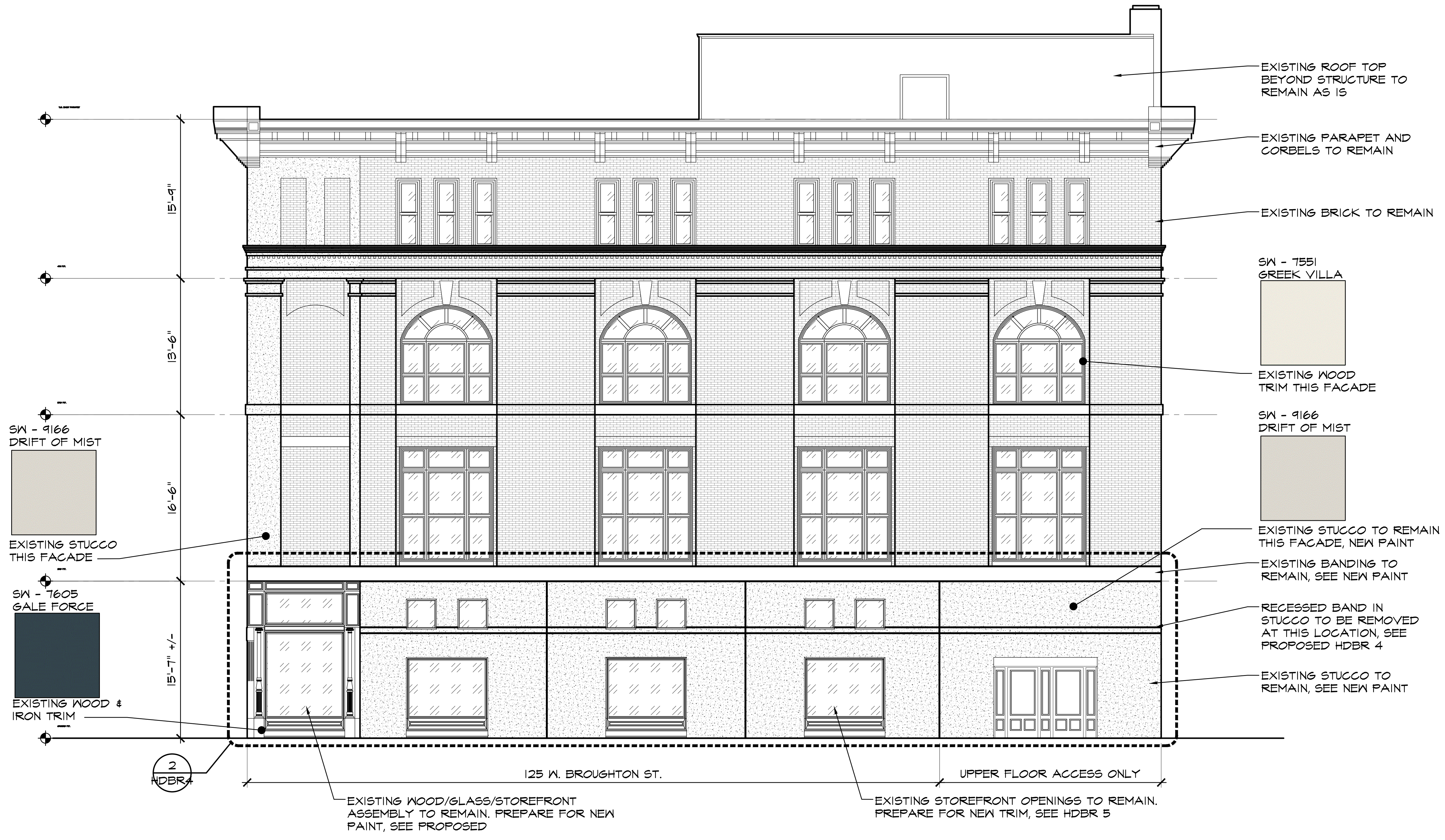
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HDBR DRAWINGS

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HDBR 3





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BALAITTY PROPERTY ENHANCEMENT

GROUND LEVEL & ELEVATION  
RENOVATION OF THE  
121 W. BROUGHTON ST.  
SAVANNAH, GEORGIA

PROPOSED ENLARGED  
BUILDING ELEVATIONS

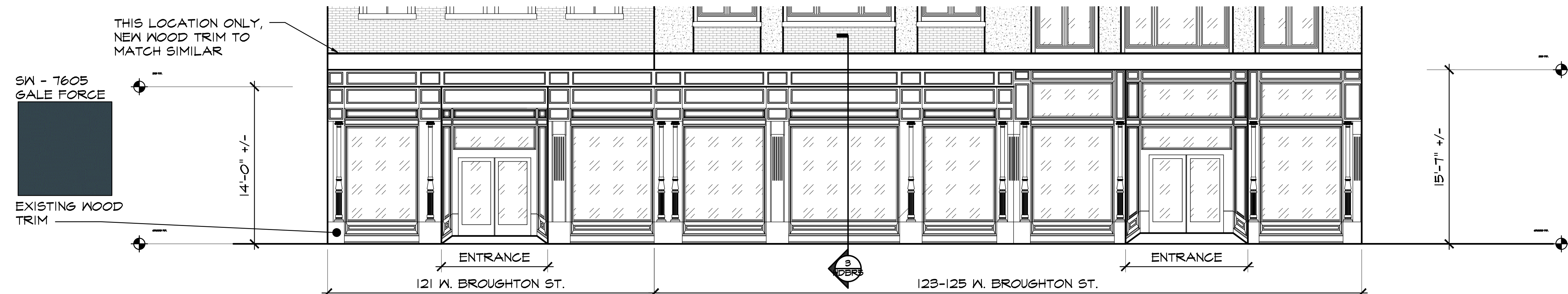
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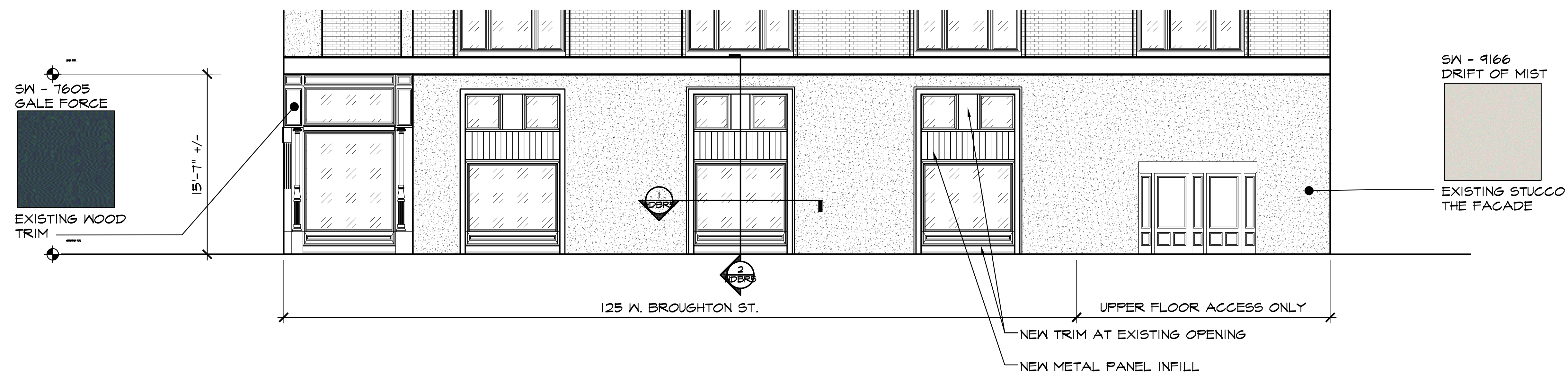
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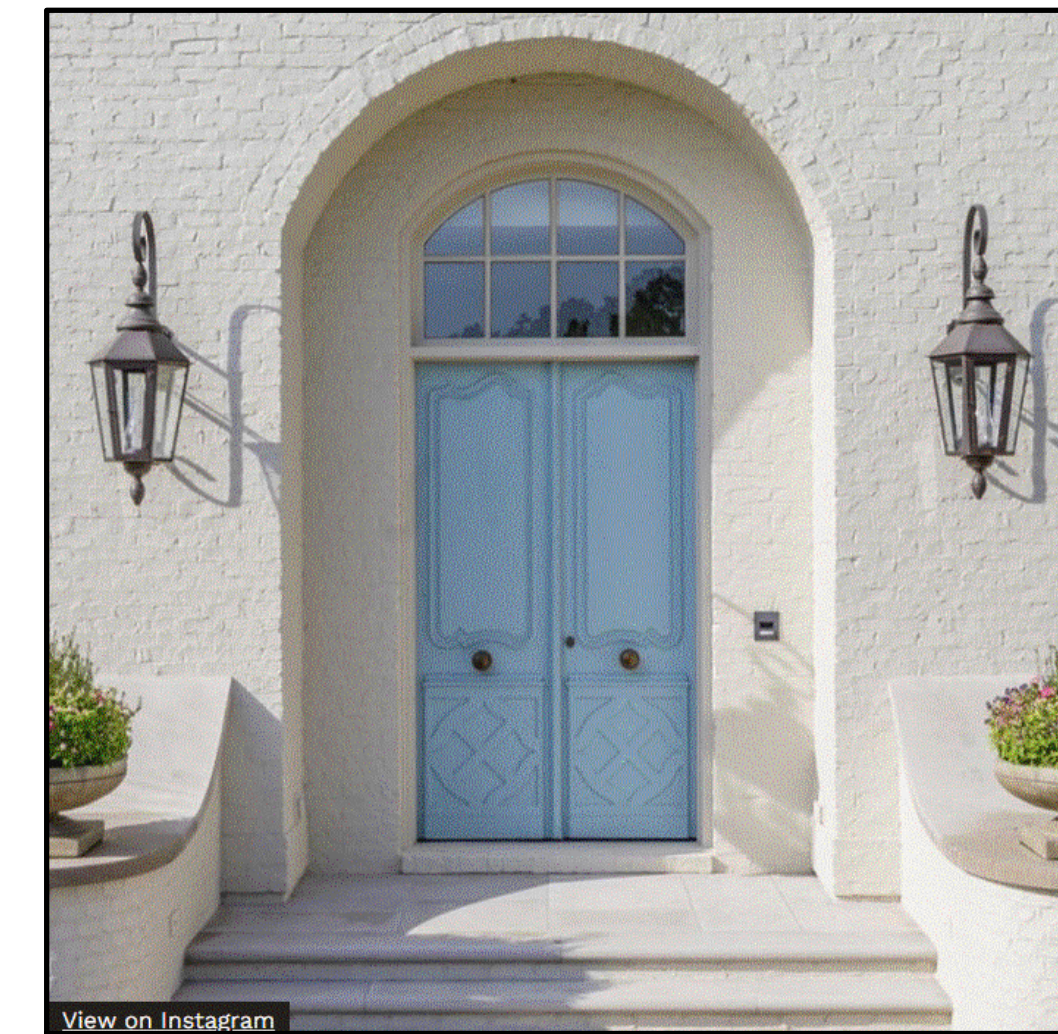
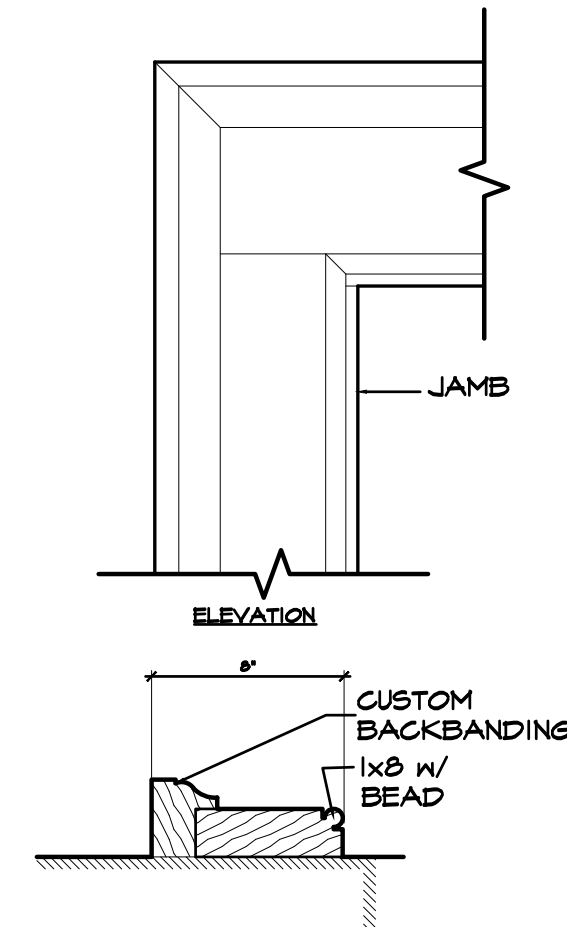
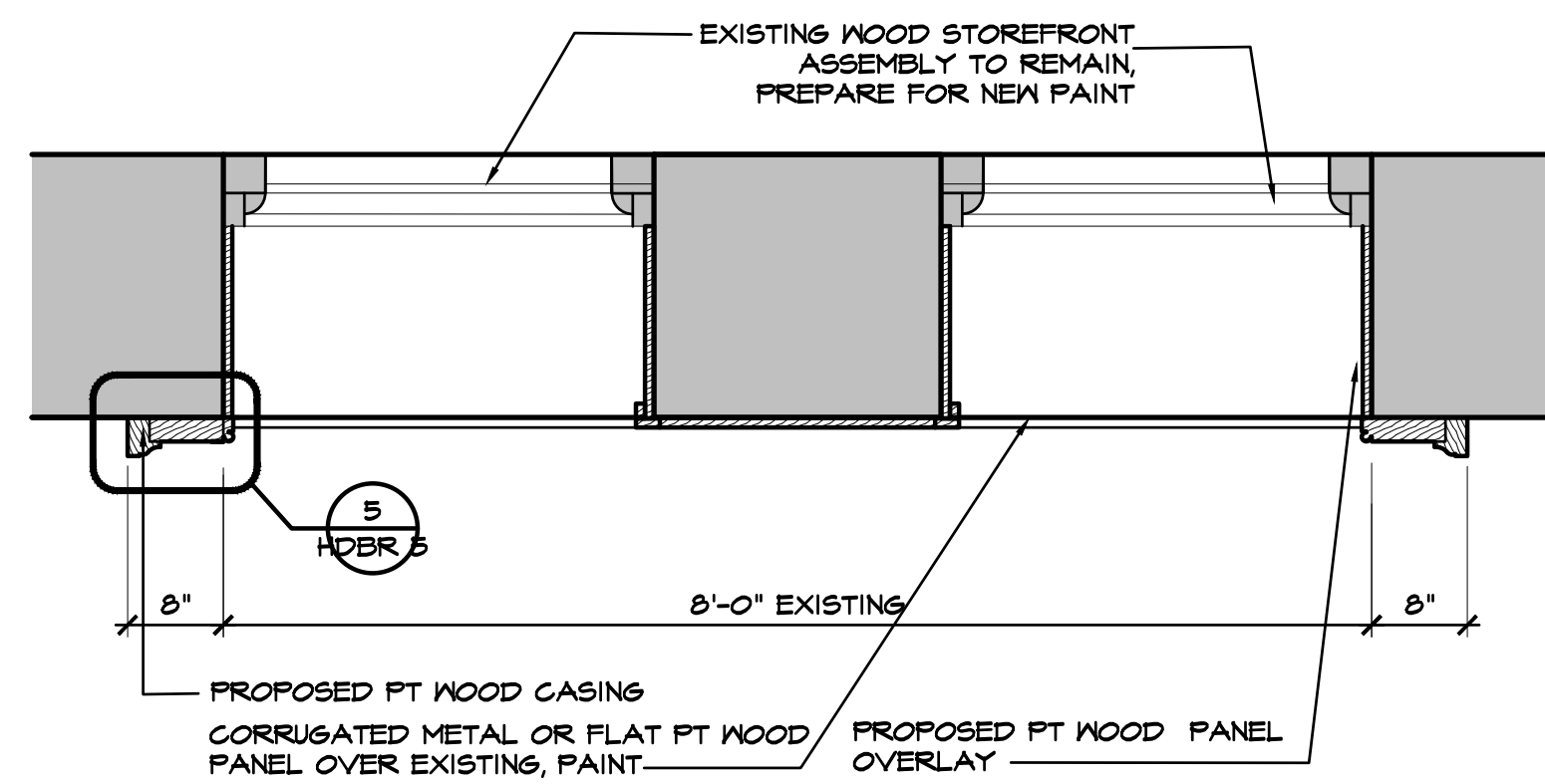
HDBR 4



ENLARGED NORTH ELEVATION - PROPOSED  
SCALE: 3/16"=1'-0"

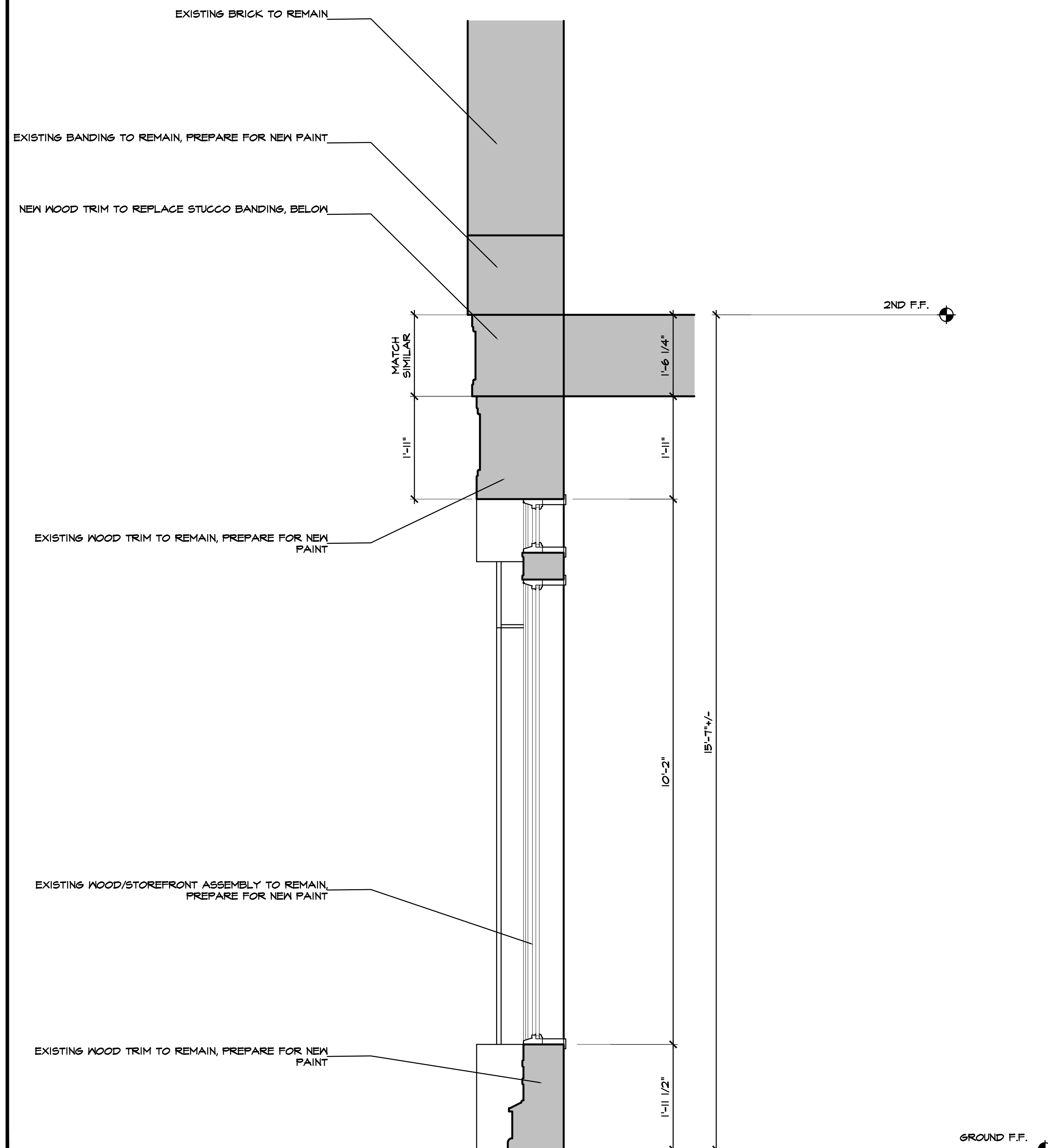


ENLARGED EAST ELEVATION - PROPOSED  
SCALE: 3/16"=1'-0"



EXTERIOR WALL SCONCE BY BEVOLO LIGHTING-  
SIX SIDED LONDON STREET WITH RODIN BRACKET

1  
HDBR EAST ELEVATION - TYP. WALL DETAIL AT LOWER AND UPPER PANEL  
SCALE: 3/4" = 1'-0"



 NORTH ELEVATION - TYP. WALL SECTION  
SCALE: 3/4" = 1'-0"

Architectural elevation drawing of a building facade section. The drawing shows a vertical cross-section of a wall with various materials and dimensions. The materials are labeled on the left, and the dimensions are on the right. A north arrow and level markers are also present.

**Materials and Annotations (Left Side):**

- EXISTING BRICK TO REMAIN (NO NEW PAINT)
- EXISTING BANDING TO REMAIN, PREPARE FOR NEW PAINT
- EXISTING STUCCO TO REMAIN, SEE NEW PAINT
- NEW WOOD TRIM AT EXISTING OPENING, PAINT
- PROPOSED METAL INFILL PANEL
- PROPOSED STUCCO TRIM
- EXISTING WOOD/STOREFRONT ASSEMBLY TO REMAIN, PREPARE FOR NEW PAINT
- NEW WOOD TRIM AT SIDES, PAINT
- EXISTING WOOD TRIM TO REMAIN, PREPARE FOR NEW PAINT

**Dimensions (Right Side):**

- 8"
- 9'-2"
- 2'-7 1/2"
- 15'-7" +/-
- 6'-0 1/2"
- 1'-11 1/2"

**Level Markers:**

- 2ND F.F. (Second Floor Finish)
- GROUND F.F. (Ground Floor Finish)

 EAST ELEVATION - TYP. WALL SECTION  
SCALE: 3/4" = 1'-0"



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## PROPOSED WALL SECTIONS

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HDBR DRAWINGS

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HDBR 5



FAÇADE CONCEPT



FAÇADE CONCEPT



FAÇADE CONCEPT



FAÇADE CONCEPT



FAÇADE CONCEPT



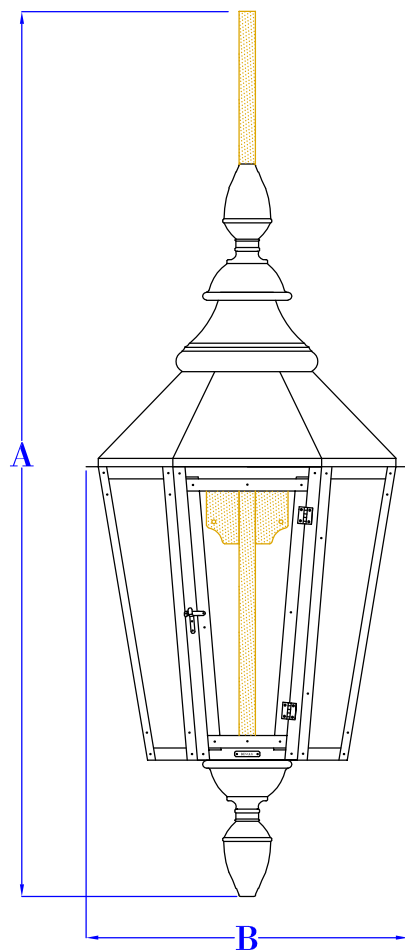
FAÇADE CONCEPT



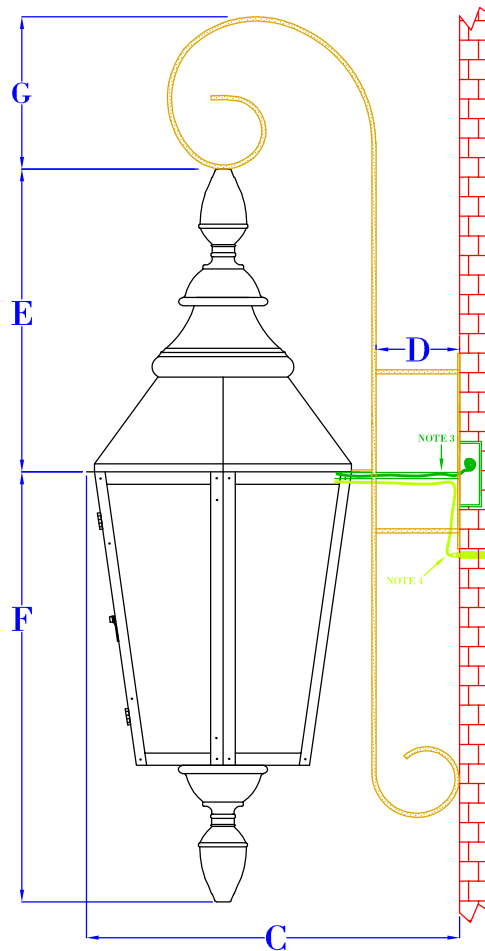
FAÇADE CONCEPT



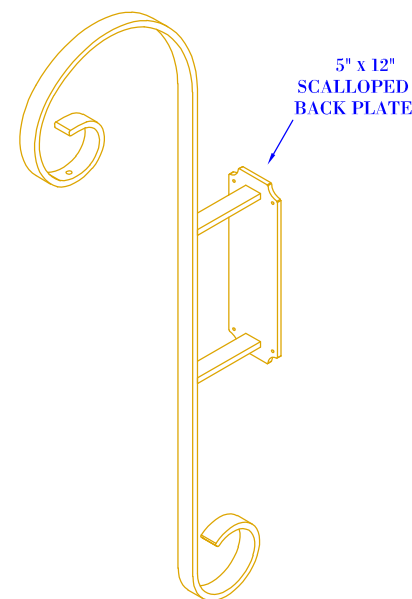
FAÇADE CONCEPT



**FRONT VIEW**  
(NTS)



**SIDE VIEW**  
(NTS)



**ISOMETRIC VIEW**  
(NTS)-BRACKET ONLY

**NOTES:**

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS  $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH  $\frac{3}{16}$ " COPPER GAS LINE AND  $\frac{3}{16}$ " x  $\frac{1}{4}$ " GAS LINE ADAPTOR

| SIZE: | 37"<br>29" SSLS    | 45"<br>36" SSLS    |
|-------|--------------------|--------------------|
| A:    | 45"                | 54 $\frac{1}{2}$ " |
| B:    | 15 $\frac{3}{4}$ " | 20 $\frac{1}{4}$ " |
| C:    | 16 $\frac{3}{4}$ " | 22 $\frac{3}{4}$ " |
| D:    | 5"                 | 5"                 |
| E:    | 15 $\frac{1}{4}$ " | 18 $\frac{1}{2}$ " |
| F:    | 20 $\frac{1}{2}$ " | 27 $\frac{1}{2}$ " |
| G:    | 8"                 | 9 $\frac{1}{2}$ "  |

# BEVOLO GAS & ELECTRIC LIGHTS

**LIGHT:**

**SIX SIDED LONDON STREET w/ LONDON BOTTOM**

**DATE:**

**DRW BY:**

**JJG**

**APP. BY:**

**JJG**

**BRACKET:**

**RODIN BRACKET**

**5-8-19**

**REVISION:**

**5**

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