
Queensborough Bank Proposal

From Lucinda Schultz 

Date Fri 5/29/2026 3:22 PM

To historic <historic@thempc.org>

Cc Andrew Jones 

Dear Members of the HDBR,

I respectfully urge the HDBR to continue this matter with instructions to the applicant to comply with Design Standards and make the proposal more visually compatible with the 18th and 19th century structures which surround it. While I do not oppose the construction of the bank on this site, the current proposal simply does not meet the Design Standards nor the Visual Compatibility Criteria in the Savannah Ordinance.

For your reference, below are photos of what the nearby buildings look like:





My husband and I own and have restored and lived at 105 East Oglethorpe Avenue for 30 years and continue to watch the decisions made by this board ignore and erode the historic district ordinance which sustains the traditional design principals underlying our National Historic Landmark District designation, and Savannah is now in danger of losing its National Historic District Designation as a result of the decisions repeatedly made by this board; and once it is gone, it is gone forever.

Most sincerely,

Lucinda D. Schultz

105 East Oglethorpe Ave

Queensborough Bank Proposal

From David Schultz <>
Date Fri 5/29/2026 3:18 PM
To historic <historic@thempc.org>
Cc Andrew Jones <>

Dear Members of the HDBR,

I respectfully urge the HDBR to continue this matter with instructions to the applicant to comply with Design Standards and make the proposal more visually compatible with the 18th and 19th century structures which surround it. While I do not oppose the construction of the bank on this site, the current proposal simply does not meet the Design Standards nor the Visual Compatibility Criteria in the Savannah Ordinance.

For your reference, below are photos of what the nearby buildings look like:





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Most sincerely,

David C. Schultz

105 East Oglethorpe Avenue

"Opposition to 402 E. Broughton Street and Request for Improvements"

From milesbid@gmail.com <milesbid@gmail.com>

Date Sat 5/30/2026 5:16 PM

To historic <historic@thempc.org>

Cc andrewjonesnyc@aol.com <andrewjonesnyc@aol.com>; milesbid@gmail.com <milesbid@gmail.com>

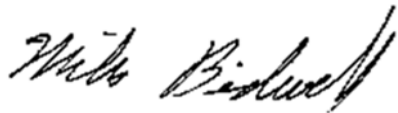
Dear HDBR,

I respectfully urge the HDBR to continue this matter with instructions to the applicant to comply with Design Standards and make the proposal more visually compatible with the 18th and 19th century structures that surround it, or to deny the application. My view is that there should be no commercial building in the historic area. School children in the future need to know what it was like.

I am the direct decedent of Major John Jones who was killed during the siege of Savana . I now live in Florida at 5051 N. Highway A1A, Apt 7 – 1, Hutchinson Island, FL 34949. I used to live in South Carolina about 30-minute drive from Savana and spent considerable there. I think that the historic area and the lessons of history and the role of people from the Savana area in the American Revolution are important to protect and to teach future generations. Please keep the historic area historic.

Please note that I am 86 years old and in Hospice, so this is literally my dying wish.

Regards,



Miles Bidwell, Ph.D.

401 545 0931

Opposition to 402 East Broughton Street and Request for Improvements

From Steven Gold

Date Sat 5/30/2026 11:18 AM

To historic <historic@thempc.org>

Cc opc.preservation@gmail.com <

Dear HDBR,

I respectfully urge the HDBR to continue this matter with instructions to the applicant to comply with Design Standards and make the proposal more visually compatible with the 18th and 19th century structures that surround it.

Sincerely,

Steven Gold

534 East Harris Street

Savannah, GA 31401

Opposition to 402 E Broughton and Request for Improvements

From Laurie Sinden <[REDACTED]>

Date Sat 5/30/2026 9:44 AM

To historic <historic@thempc.org>

Cc opc.preservation@gmail.com <[REDACTED]>

Dear HDBR

I respectfully urge the HDBR to continue this matter with instructions to the applicant to comply with Design Standards and make the proposal more visually compatible with the 18th and 19th century structures that surround it.

Thank you in advance
Laurie Sinden
543 E Macon

Sent from my iPad



Outlook

402 E Broughton St

From Edwin Connerat <

Date Mon 6/1/2026 3:59 PM

To historic <historic@thempc.org>

Please do not approve the application for the proposed structure at subject address. As presented it does not meet design standards to meet compatibility of 18 and 19th century standards of nearby structures in downtown Savannah. Thank you. Bryan Connerat , East Charlton Street.

Opposed to 402 East Broughton Street

From Vicki Guenther

Date Mon 6/1/2026 10:45 AM

To historic <historic@thempc.org>

Cc Andrew Jones

Dear HDBR,

Please continue this application so that this new structure may follow the compatibility and design standards of our historic city. The city standards were established to protect the unique architectural elements in the Landmark district. The irreplaceable 18th and 19th structures here are among the most beautiful in the historic district. I have no objection to a commercial building but please look at the surrounding structures. I live at 418 East State Street in an early 18th century building one block south. I have worked for many years to preserve its original historic character. With some additional adjustments, this new building could follow the design and compatibility standards and show commitment to the historic nature of our beautiful Landmark Historic District.

Thank you,
Victoria Guenther
418 East State Street

402 East Broughton Steet - Request for Improvements

From Susan Prutzman [REDACTED]
Date Mon 6/1/2026 12:38 PM
To historic <historic@thempc.org>

 2 attachments (124 KB)
HSRB - Queensborough Bank.docx; ATT00001;

Dear Historic District Review Board,

Please find attached and copied my letter regarding the Queensborough Bank project to be reviewed on June 10, 2026.

Respectfully,
Susan Currie Prutzman
Homeowner next to proposed building

To Historic District Review Board
RE: 402 East Broughton Street – Request for Improvements
QUEENSBOROUGH BANK PROJECT PROPOSAL

From: Susan Currie Prutzman
Date: June 1, 2026

I own the property at 32 Habersham Street, which is in the same block and on the same side of the street as the proposed Queensborough Bank building project. My building is basically the next door neighbor to the proposed bank building.

I attended the meeting for the neighbors, which was hosted by the Queensborough Bank. At the neighborhood meeting with bank representatives and the architect, the plans for the proposed bank building at the corner of East Broughton and Habersham Streets were presented along with visuals.

The architect described taking the historic nature of the area into consideration in developing the architectural plans. He highlighted considering complementary features to nearby structures in the

design. Some of these structures included the Kennedy Pharmacy (HSF), the historic Berrien house, the row of buildings on East Broughton, and other historically contributing structures within view of the proposed building.

The neighbors asked questions and generally seemed pleased with the building design as presented.

The problem is that building plan that was presented **was replaced after** the neighborhood meeting with a **different design** that does not take into account compatible features or the historic nature of surrounding buildings. The neighbors **never saw** the plans that were presented for the City's building approval process.

I am writing in regard to the plan that is now before the HDRB. The architectural plans **DO NOT acknowledge or** respect an architectural compatibility into which it will be built. It is clear that the Queensborough Bank plan does not meet the City's Design Standards.

Additionally, by being on the same Habersham block and same side of the street, as my property is, it visually overwhelms the block with an overabundance of glass windows.

I ask the HDRB to direct the architect to make adjustments to the plan in order to fit compatibly and visually into my Warren Ward neighborhood.

Respectfully,

Susan Currie Prutzman

Request for Improvements to 402 E. Broughton Street

From reginaroney@me.com <[REDACTED]>

Date Mon 6/1/2026 12:17 PM

To historic <historic@thempc.org>

Cc opcpreservation@gmail.com <[REDACTED]>

Dear HDBR

Please do not approve the application for 402 E. Broughton Street.

Due to the historic 18th and 19th century structures across the street and in the neighborhood, it is critical that the applicant comply with the Design Standards in place to make the proposal more visually compatible with the neighboring buildings. People come to Savannah for history and the ambience that has been preserved in the Historic District. Let's keep tourists coming and appreciating our history.

I live in the Historic District in a recently built townhome. I am appreciative that the external structure matches a 19th century townhouse across the street.

Respectfully submitted,
Regina Roney
13 E. Macon Street
415-990-0254

402 E Broughton

From Rick Roney <[redacted]>

Date Mon 6/1/2026 2:50 PM

To historic <historic@thempc.org>

Cc opc.preservation@gmail.com <[redacted]>

Historic Review Board,

Please do not approve this application as submitted. It doesn't look like it will fit into the street (visually incompatible). The architect should easily be able to improve this design and still meet the objectives of the bank.

Thanks for your consideration of this view.

Best,

Rick

Rick Roney
13 E Macon Street
Savannah, GA
31401
rroney@me.com
(650) 799-3262

Concerns about the Queensboro Bldg

From Delbert Alan Smith <[redacted]>

Date Mon 6/1/2026 4:15 PM

To historic <historic@thempc.org>

Cc Delbert Alan Smith <[redacted]>

Dear HDBR,

As a native Savannahian who has seen so much lost and also saved in my home town, I am concerned about the proposed Queensboro Bank project. In the June 10, 2026, HDBR hearing and in subsequent hearings, I urge you to direct the COA applicant to make the proposed bank more visually compatible with the 1791 Berrien House. This house is the most significant historic asset in the immediate vicinity of the bank's proposal. I am not opposed to growth and change, but I do want those changes to be appropriate. I have the honor to serve as the President of the Georgia Society of the Cincinnati. Major Berrien was a significant part of our Society's history. I am also the chair of the Rock House Advisory Committee. We are engaged in a major restoration project; so, I also know the importance of adjacent land parcels.

Sincerely

D. Alan Smith
2742 Old Mesena Rd, NW
Thomson, Georgia 30824

Opposition to 402 E. Broughton Street and Request for Improvements

From JANTLH [redacted]

Date Tue 6/2/2026 9:58 PM

To historic <historic@thempc.org>

Cc Carolyn C. Swiggart - Wayt <[redacted]>; Andrew Jones [redacted]

Dear HDBR,

I am writing to strongly oppose the Certificate of Appropriateness application for the proposed bank building at 402 E. Broughton Street and respectfully urge the Board to deny the application in its current form.

The proposed design fails to meet the fundamental objective of new construction within Savannah's Historic District: compatibility with the historic character of the surroundings. Rather than complementing the district's architectural heritage, the proposal introduces a modern commercial structure whose design, materials, and visual appearance are at odds with the historic streetscape and the significant and the historical resources nearby.

Of particular concern is the building's relationship to the 1791 Berrien House (which was the home of my family, being a fifth generation descendent). The extensive glass storefront treatment and contemporary architecture expression neither reflect or respect the historical significance of the surrounding area. The design draws attention to itself rather than contributing to a cohesive historic environment.

Savannah's Historic District is internationally recognized because generations of citizens have insisted that new construction respect the architectural context into which it is placed. Approval of a building that lacks meaningful historical compatibility would undermine those preservation principles and set an unfortunate precedent for future development.

The issue is not whether a bank should be at this location. The issue is to whether the proposed design is appropriate for one of our nation's most treasured historic districts. In its present form, it is not. The applicant should be required to return with a substantially revised design that incorporates architectural elements, materials, scale, and proportions that are more consistent with the historical characteristics of the district and more respectful of the Berrien House and neighboring historic structures.

Accordingly, I urge the Board to deny application as submitted and require significant design modifications before any approval is considered.

Thank you for your service and your commitment to preserving Savannah's historic character for future generations.

Respectfully,
Jan Burroughs

1016 Corby Court
Tallahassee, Florida 32327
jantlh@comcast.net

Opposition to 402 E. Broughton Street and Request for Improvements

From Gary M Radke

Date Tue 6/2/2026 11:09 AM

To historic <historic@thempc.org>

Cc Andrew Jones <>

Dear HDBR,

I write yet again with serious concerns about the design of the proposed new building at 402 East Broughton Street. It does not meet the Designs Standards or the Visual Compatibility Criteria in the Savannah Ordinance.

In order for the building to be compatible with the historic buildings flanking it and across Broughton Street from the site, the ground floor should only be articulated as a single story. The exterior expression of a higher space is both inappropriate when compared to the historic buildings around it and **also not true to the actual division of the floors inside the proposed structure.**

Above, the design currently includes horizontal windows that are prohibited and includes much more window area than is the historic norm. The window design should be corrected, and I urge that they be reduced to 25% of the surface area on the upper two floors.

Making these changes will greatly improve the relationship of this large building to other structures around it while allowing the corner to regain the commercial vibrancy it has enjoyed for many decades.

Thank you for your consideration,
Gary Radke
Washington Ward

Opposition to 402 East Broughton Street - Request for Improvements

From berrienhousetr@aol.com <[redacted]>
Date Tue 6/2/2026 6:52 PM
To historic <historic@thempc.org>; opc.preservation@gmail.com [redacted]
Cc andrewjonesnyc@aol.com <[redacted]>

Dear HDBR,

As the Trustee of the Berrien House Trust, I have a particular interest in having the Savannah City Ordinances enforced in regard to the Historic District and the Queensborough Bank & Trust architectural plans. Firstly, I would like to say that the Queensborough Bank & Trust has been very supportive of the Berrien House and the Savannah Historic District, especially since they have been excellent tenants of the Berrien House for more than 10 years. Secondly, the Berrien House Trust does not own the Berrien House and has no relationship to the bank, but acknowledges the bank is a tenant of the present owner of the Berrien House. The site in question lies directly across from the Berrien House at Habersham Streets. The address of the Berrien House is 322-324 East Broughton Street.

The bank's architect, Rose Architects presented plans that do not conform to the following ordinances: 7.8.10(h) et seq., re window configurations; 7.8.9(et seq., re proportion of window openings; rhythm of solids to voids; 7.8.10 et seq., re building form rules, including placement of windows; 13.5 et seq., re visually related relationships between buildings, structures, squares, and places within view of subject property; and 13.5 re relationship between buildings, structures, squares, and places within view of subject property. (Reference to the texts of the cited ordinances shall be had.) The intent of the foregoing ordinances is to "protect and complement the existing contributing resources." (Ordinance Sec. 7.8.10). The Oglethorpe Plan Coalition, Inc. has presented a thoughtful and technical analysis of Rose Architects' plans that are subject to the HDBR's decisions. The Berrien House Trust supports the Oglethorpe Plan Coalition, Inc.'s analysis.

From the Berrien House Trust's perspective, the Rose Architect's designs do not incorporate any design elements that reflect or honor the historic structures nearby. Directly across Habersham Street (at East Broughton Street) is the Berrien House. This structure is one of the few wooden houses that survived the fire of 1797 and is of great historic importance for Savannah. Down the street is 417 East Broughton Street, another late 18th century building. Directly across the street is the historic Kennedy Pharmacy at 323 East Broughton Street. One block away is the historic Davenport House. Warren Square, East Julian Street, East Congress Street, and East Bryan Street with all of their historic 19th century houses are all within 3 blocks of the proposed bank building.

Rose Architects has put forth a glass box. The current design has little charm or imagination. It does not incorporate any native brick or other local materials used in 18th and 19th century structures in the immediate neighborhood. The design ignores palladian principles, which are significant design elements in the immediate neighborhood; it does nothing to enhance or celebrate its historic siting. It is disappointing that a local architect cannot honor the significant and special location that the Queensborough Bank & Trust property offers.

Sincerely,
Carolyn Clay Swiggart
Trustee

Berrien House Trust

berrienhousetr@aol.com

Opposition to 402 East Broughton Street & Recommendations

From Ccwayt

Date Tue 6/2/2026 7:18 PM

To historic <historic@thempc.org>; opc.preservation@gmail.com

Dear HDBR,

I am a direct descendant of Maj. John Berrien, the original owner of the Berrien House at 322-324 East Broughton Street, Savannah. I have been apprised of the architectural plans of Rose Architects for the Queensborough Bank & Trust, which are for the site directly opposite the Berrien House at 402 East Broughton Street and Habersham Street.

The Berrien House is one of Savannah's early Federal-era treasures. There are very few structures that survived the 1797 fire that destroyed most of the city. The area surrounding the Berrien House, including Warren Square, Kennedy Pharmacy, Davenport House, and many houses in the neighboring streets are from the late 18th and early 19th centuries. They are low profile structures with classic design elements from federal and Greek Revival styles. Wood clapboard, brick, and stucco are the usual exterior claddings.

The Rose Architect firm has presented a modern glass box as their design for the Queensborough Bank & Trust building at 402 East Broughton Street. It does not reflect or incorporate any classical design or materials, and it does not incorporate itself as part of the East Broughton historic fabric. The architects can do better.

The purpose of the HDBR and the city design ordinances is to protect and enforce the preservation of the historic elements of downtown Savannah. The HDBR is extremely important: if it fails or neglects to protect the integrity of the Historic District against indiscriminate design and construction, the essence of Historic Savannah will be lost forever. The main attraction for historians and tourists is the low profile, classic, and sympathetic architecture of Savannah. It is unique in America. Charleston has been developed so that high rise, modern, and glass buildings interrupt the downtown so that there is no uniformity or consistency to the experience. It's just another city. Savannah is different. It should be preserved.

I am proud to be a descendant of Savannah families, and I hope that the city I love will protect itself and honor the Oglethorpe plans and enforce its existing ordinances.

Sincerely,
Carolyn C. Wayt

ccwayt@aol.com

Anna Habersham Wright

126 West Taylor Street

Savannah, GA 31401

2 June 2026

Letter of Opposition to Petition of Rose Architects, Kevin Rose | 25-005674-COA |
402 East Broughton St. | New Construction, Part 2 to be presented at June 10, 2026
HISTORIC District Board of Review Meeting

Dear HDBR and staff,

At the 4/8/2026 HDBR meeting this proposal received approval for height and mass and for fundamental exceptions including vehicle access from Broughton ST for parking and the 3-story construction on the lane. The staff and petitioner argued articulately to justify this. However, their arguments were based neither on the spirit nor the letter of the ordinance.

Bizarrely the design of this proposal neither relates to any building in the historic district of Savannah, nor does it even to the one distant contributing building selected by staff as allegedly providing justification for the board's approval (without exactly specifying how or why).

I wish to put on record that I fully support the detailed analysis submitted to the HDBR on 28 May 2026 by the Oglethorpe Plan Coalition: "25-005674-COA402 E. Broughton Street – Letter of Opposition and Request to Require the Proposal To Comply with the Ordinance" (not yet uploaded to the on line agenda).

Also, the power point presentation of Andrew Jones to the 4/8/2026 HDBR meeting regarding the importance of the Habersham Street corridor.

<https://www.thempc.org/eagenda/x/hrb/2026/april-8-2026-historic-district-board-of-review-meeting/040627-jones-public-comment.pdf>

And the power point presentation of James Hunsdrucker regarding visual compatibility.

<https://www.thempc.org/eagenda/x/hrb/2026/april-8-2026-historic-district-board-of-review-meeting/040626-hundsrucker-public-comment.pdf>

Also, please note my previous objections to the “Petition of Rose Architects, Kevin Rose | 25-005674 COA | 402 E Broughton Street | New Construction, Part I”

April 8, 2026 HISTORIC District Board of Review Meeting

The main point of my 4/2/2026 letter of opposition (in addition to previous letter and presentation below) was that the requested first two exceptions are disruptive and unnecessary. Rather the design should “maintain the existing entrance and egress on Habersham ST and Congress Lane in conformance with the historic city plan.” These are perfectly adequate and provide an equal amount of parking. The third exception to allow excessive height on lane ignores and degrades “the historic context.”

<https://www.thempc.org/eagenda/x/hrb/2026/april-8-2026-historic-district-board-of-review-meeting/040226-wright-public-comment.pdf>

February 11, 2026 HISTORIC District Board of Review Meeting

My Power Point presentation at the meeting compared the proposal to the nearby Architect John Norris designed Abrahams Home at 548 East Broughton, which has the same Broughton Street frontage and number of stories. I also enumerated all the Visual compatibility Criteria (7.8.9) ignored by the applicant’s proposal. Note also the power point presentation of James Hunsdrucker regarding the “form rule” and nature and importance of the surrounding historic neighborhood included with mine.

<https://www.thempc.org/eagenda/x/hrb/2026/february-11-2026-historic-district-board-of-review-meeting/021026-public-comment-hunsrucker-combined.pdf>

The main point of my letter of opposition of 2/8/2026 was: As the proposed design is “utterly alien to its context and the city ordinance,” “Under no circumstances should any ultimate decision on height and mass transfer into closing public discussion of visual compatibility.”

<https://www.thempc.org/eagenda/x/hrb/2026/february-11-2026-historic-district-board-of-review-meeting/020826-public-comment-wright.pdf>

Sincerely yours,

Anna Habersham Wright

402 E. Broughton Street - Request for Improvements

From Lori Broyles <[redacted]>

Date Wed 6/3/2026 12:36 PM

To historic <historic@thempc.org>

Cc Andrew Jones [redacted]

Dear HDBR,

My name is Lori Broyles and I am a resident of the Downtown Landmark Historic District. I am writing to object to the plans submitted in connection with the development at 402 E. Broughton Street.

It is important for any new construction in this part of Savannah's Historic District to be compatible with the 18th and early 19th century homes that surround the proposal. Those structures are the contributing structures that inform the conversation and direct re-development efforts. The plans as presented fail to account for the contributing structures in contravention of the preservation ordinance.

To that end, I respectfully ask that HDBR enforce Savannah's preservation ordinance as it relates to this application. The current design falls short of acceptable design standards as laid out in the ordinance, particularly with respect to the amount of glass that is specified under the current plan. Also, a one-story storefront instead of two-story storefront is more appropriate in the context of the contributing structures.

Thank you for your consideration,

Lori Broyles
331 Barnard Street

402 East Broughton Street - Requests for Improvements

From Mimi Cay

Date Wed 6/3/2026 4:41 PM

To historic <historic@thempc.org>

Cc andrewjonesnyc@aol.com <

Dear HDBR,

--

It is important that new construction in the Historic District of Savannah is compatible with the existing 18th and 19th century architecture.

Many talented and dedicated people have worked untold hours for decades to restore Savannah to its former glory. It would be tragic not to uphold the precedent that has been set. Quite aside from the pleasures of living in an aesthetically pleasing environment, the last fifty years --dating from the true renaissance of the early 1970s restoration --show that it is simply good business.

Mimi Cay
5500 Turners Rock Road
Savannah, GA 31410

mimi@mimicay.com
www.mimicay.com
912-429-6765

402 E. Broughton Street - Request for Improvements

From Charles McNeill <>
Date Wed 6/3/2026 8:53 PM
To historic <historic@thempc.org>
Cc Gustav Klimt <andrewjonesnyc@aol.com>

Dear HDBR,

I am Charles McNeill, Many times a tourist, and more recently married to a long time resident. It is important for any new construction in this part of Savannah's Historic District to be compatible with the 18th and early 19th century homes that surround the proposal. Keeping the Historic District in the appearance of being historic should be a minimum requirement for remaining a "Historic District". I trust that the proposed facade can be adjusted to not only be more in-compliance, but also more in keeping with the character of this particular area of Savannah. Maintaining the character of the city is not done with a single building, but with many concerted efforts over the years.

In the June 10, 2026, HDBR hearing and in subsequent hearings, I ask you to enforce Savannah's preservation ordinance and ensure that the proposal complies with it. The current design needs modifications in order to comply, including a reduction in the amount of glass and the replacement of the two-story storefront with a one-story storefront.

Charles E McNeill
6229 18th st N
Arlington, VA 22205

Queensborough Application

From Mills Morrison

Date Wed 6/3/2026 10:56 AM

To historic <historic@thempc.org>

Cc opc.preservation@gmail.com

Dear HDBR,

I respectfully urge you not to approve this application in its current state. Please instruct to the applicant to comply with Design Standards and make the proposal more visually compatible with the 18th and 19th century structures that surround it.

Mills Morrison

Savannah, Georgia

Opposition to 402 E Broughton St and Request for Improvements

From John Page

Date Wed 6/3/2026 11:03 AM

To historic <historic@thempc.org>

Dear HDBR,

In the June 10, 2026, HDBR hearing and in subsequent hearings, I urge you to direct the COA applicant to make the proposed bank more visually compatible with the 1791 Berrien House, the most significant historic asset in the immediate vicinity of the bank's proposal. In 1776, 250 years ago, at the age of 16, John Berrien was commissioned as an officer in the Continental Army. In this 250th anniversary of the nation's independence and John Berrien's service, please pay respect to his historic home and ensure that any new structure in its vicinity complements the Berrien House instead of detracting from it.

I visit Savannah twice a year, and the Berrien House is always a highlight. After the significant and historically accurate restoration of this property, it would truly be a shame to compromise its surroundings with the proposed structures so nearby. I would strongly urge a more complementary approach .

Sincerely,

John Page
1710 Hilton Avenue
Columbus, GA 31906

Opposition to 402 E. Broughton Street and Request for Improvements

From Fran Pavley <[redacted]>
Date Wed 6/3/2026 5:45 PM
To historic <historic@thempc.org>
Cc andrewjonesnyc@aol.com [redacted]

June 3, 2026

Dear HDBR,

In order to protect the Berrien House, you must ensure that the new buildings in the vicinity are complimentary to this historic home and do not clash. A visitor's experience is both the beautiful sites they see, as well as the surrounding context.

Last month, I heard from some long time college friends that live in California. They had just finished a paid bicycle tour of historic Savannah. They contacted me, because they saw and remembered the name, Noble Wymberly Jones and asked if that was a relative of mine. They let me know how much they learned about Savannah and how much they enjoyed their visit. This was the first time they had visited Savannah and loved the beauty and history of the preserved downtown area. Keeping these homes and neighbourhoods is what attracts tourists to visit and spend money in your special city. The beautiful historic Berrien house and nearby buildings deserve your careful attention.

I respectfully urge HDBR to continue this matter with instructions to the applicant to comply with Design Standards that are more visually compatible with the 18th and 19th century structures that surround it.

Thank you for your consideration,

Frances Meldrim Jones(Pavley)
4050 Jim Bowie Rd
Agoura Hills, CA 91301

franpavley@yahoo.com

cc Andrew Jones

Queensborough Bank

From Ryan Thomas

Date Wed 6/3/2026 11:23 AM

To historic <historic@thempc.org>

Cc opc.preservation@gmail.com <>

Dear HDBR,

I respectfully urge you not to approve this application in its current state. Please instruct to the applicant to comply with Design Standards and make the proposal more visually compatible with the 18th and 19th century structures that surround it.

The more you allow variations from design standards the more we will lose the historic quality of Savannah.

Sincerely,
Ryan Thomas
PO Box 592
Springfield, OR 97477

Proposed Queensborough Bank design

From Ardis Wood

Date Wed 6/3/2026 10:21 AM

To historic <historic@thempc.org>

Dear HDBR,

Scenic Chatham is one of 50 affiliates of Scenic America (scenic.org), an organization devoted to improving the visual landscape around us. We write to oppose the current proposal for the new Queensborough Bank, believing that the building needs to be revised so that it better fits in with its historic setting.

East Broughton Street and Habersham Street each have a specific character that needs to be complemented by any new construction.

This is a mixed-use neighborhood, but the proposal is just too commercial in appearance. The bank simply appears to be replacing a two-story car dealership with a three-story version.

The situation on the Habersham Street side is even more concerning, just a few lots away from the Davenport House, the cornerstone of the beginning of our Landmark Historic District. The bank site is also in a predominantly residential area, and features some of the city's oldest clapboard dwellings. While the new bank need not be a clapboard structure, it should reduce the ration of glass to solid materials substantially.

Finally, we note that the two-story storefront wrapping both facades is completely out of character. No building in the vicinity has a feature remotely like this.

In conclusion, please reject the proposal's current design and require the applicant to return with something that better fits its historic context.

See: <https://www.scenic.org/take-action/resources/placemaking-resources/case-studies-placemaking-and-community-planning/>

Sincerely yours,

Ardis Wood, Chair
Scenic Chatham

402 East Broughton Street

From Cory Highland [redacted]
Date Thu 6/4/2026 1:09 PM
To historic <historic@thempc.org>
Cc opc.preservation@gmail.com [redacted] Margaret Highland
[redacted]

TO: HDBR
SUBJECT: 402 East Broughton Street
FROM: Cory Highland

Dear HDBR,

First, thank you of your service on the Historic District Board of Review. This unpaid position requires lots of time and energy and is very important. Thank you for accepting this responsibility.

I'm writing to ask that you not approve the current application for 402 E. Broughton Street. The applicant must comply with the ordinance, like everybody else. In particular, design standards must be met and the proposal needs to be more visually compatible with the 18th- and 19th-century structures that surround it.

As a native Savannahian and downtown resident, I believe it's very important to protect what makes Savannah special. I live a few blocks away from the proposed building and my sister lives virtually across the street. We both have worked hard to protect what makes Savannah special: its National Historic Landmark District.

Architectural integrity and a keen sensitivity to the historic fabric of my neighborhood--and indeed the entire Landmark District--is a major reason I chose to return to my beautiful hometown. Of course, not all of our buildings can be historic, and they shouldn't be, but they can be thoughtfully integrated into the neighborhood. This design still needs some work to achieve that.

Most importantly, the laws require that applicants respect visual compatibility and uphold the design standards. Please make sure they do.

Thank you again for your work.

Sincerely,
Cory Highland

A. Cory Highland

211 East York St.

Savannah, GA 31401

acoryhighland@gmail.com

Proposed bank at Habersham and Broughton Streets

From kay gunkel <[redacted]>

Date Thu 6/4/2026 6:42 AM

To historic <historic@thempc.org>

Cc Andrew Jones <[redacted]>

Dear HDBR,

I am a life-long Savannahian and a resident of the historic district. It is important for any new construction in this area of Savannah's Historic District to be compatible with the 18th and early 19th century homes that surround the proposal.

In the June 10, 2026, HDBR hearing and in subsequent hearings, I ask you to enforce Savannah's preservation ordinance and ensure that the proposal complies with it. The current design needs modifications in order to comply, including a reduction in the amount of glass and the replacement of the two-story storefront with a one-story storefront.

Kay Exley Gunkel
kaygunkel@gmail.com

Opposition to 402 E. Broughton Street and Request for Improvements

From Margaret Adams Highland [redacted]

Date Thu 6/4/2026 10:35 AM

To historic <historic@thempc.org>; opc.preservation@gmail.com [redacted] Cory Highland

Dear HDBR,

I respectfully urge you not to approve the application in its current state for 402 E. Broughton Street. Please instruct the applicant to comply with the Design Standards and make the proposal more visually compatible with the 18th- and 19th-century structures that surround it.

I live a few blocks away. Architectural integrity and a keen sensitivity to the historic fabric of my neighborhood--and indeed the entire Landmark District--is a major reason why I chose to relocate to my husband's hometown. Not all of our buildings can be historic, but they can be thoughtfully integrated into the streetscape. This design still needs some work to achieve that.

Our National Historic Landmark District designation came with a duty to respect visual compatibility and to uphold the design standards. Let's get it right.

Thank you,

--

Margaret Adams Highland
211 East York Street
Savannah, GA 31401

Queensborough Bank building proposal

From Joanne Lukacher [redacted]

Date Thu 6/4/2026 9:19 AM

To historic <historic@thempc.org>

Cc andrewjonesnyc@aol.com [redacted]
[redacted]

Dear Review Board Members,

By taking cues from the mass, height, rhythms, and details of the many 19th and early 20th century residential, institutional, and commercial buildings of the surrounding urban landscape, builders in Savannah are presented with a unique opportunity to exercise unusual creativity in designing new infill buildings to enhance the core of the Historic Landmark District.

Unfortunately the design of the bank building at Broughton Street across the street from the recently and meticulously restored Berrien House neglects the advantages of this siting, ignoring essential aspects of the Historic Design Guidelines and presenting instead a case of "better than" (the existing building) instead of a distinctive, non-intrusive improvement in the streetscape.

I urge you not to approve this proposal but to work carefully with the developers, the neighborhood residents, and the Oglethorpe Plan Coalition to design a plan that will compliment the character of this northeastern section of the Historic Landmark District.

Thank you,

Joanne Martin Lukacher
845-417-6238

Opposition to 402 E. Broughton Street and Request for Improvements

From Nancy Radke [redacted]

Date Thu 6/4/2026 6:13 PM

To historic <historic@thempc.org>

Cc opc.preservation@gmail.com <[redacted]>

Dear HDBR,

As a resident of nearby Washington Square, I attended the community introduction to the Queensboro Bank Building many months ago. The current building designs now look nothing like the ones we were shown. I understand that this happens in the design process but instead of becoming a better design it has become worse.

At a glance, it is easy to see that it has no visual compatibility with the historic Berrien House (1791) one of Savannah's oldest homes across Habersham Street and it does not step down on the eastern end of its northern façade as it did in the original presentation to become harmonious with the proportions of the two story dormered building built for John Deubell before 1809. Instead, it reads as a massive horizontal monolithic structure with a confused rhythm to window placement and truly ugly garage entrance.

Emphasizing this horizontality are the second story horizontal windows that are prohibited by code. In fact, the top two stories include more fenestration than the historic norm and this should be reduced by 25%.

I respectfully urge the HDBR to continue this matter with instructions to the applicant to comply with the Designs Standards to improve its visual compatibility.

Thank you for your consideration,
Nancy Radke
Washington Ward

Opposition to 402 E Broughton St and Request for Improvements

From John Page <[\[REDACTED\]](#)>

Date Fri 6/5/2026 8:00 AM

To historic <historic@thempc.org>

Dear HDBR,

A friend forwarded this to me, and I did want to send you my opinion.

I live in Columbus Georgia, but visit Savannah often and am always impressed with its history, as well as its preservation efforts. It's a beautiful place. I was absolutely shocked at the proposed bank project across the street from the Berrien House. It is completely incompatible and would be, at least in my opinion, an eyesore and completely out of sync with the very historic Berrien property.

In the June 10, 2026, HDBR hearing and in subsequent hearings, I urge you to direct the COA applicant to make the proposed bank more visually compatible with the 1791 Berrien House, the most significant historic asset in the immediate vicinity of the bank's proposal. In 1776, 250 years ago, at the age of 16, John Berrien was commissioned as an officer in the Continental Army. In this 250th anniversary of the nation's independence and John Berrien's service, please pay respect to his historic home and ensure that any new structure in its vicinity complements the Berrien House instead of detracting from it.

Do consider altering these plans for a more harmonious streetscape.

Sincerely,

Nancy Burgin
1600 Hilton Avenue
Columbus, GA 31906

**James Terry Honan
127 Cherry Street
Eufaula, Alabama 36027**

June 5, 2026

Dear HDBR,

Queensborough Bank and Trust, is proposing to build a new building at 402 E. Broughton Street, on the northeast corner of East Broughton Street and Habersham Street immediately across from the Berrien House. Unfortunately, the historic integrity of the immediately surrounding area is being threatened with inappropriate development which the current design is not visually compatible with the Berrien House and other nearby homes, which is required under our preservation ordinance.

The 1791 John Berrien House, the most significant historic asset in the immediate vicinity of the bank's proposal. The current owner and direct descendant of Major John Berrien, Mr. Andrew Jones, has painstakingly restored the Berrien House and the new bank, if built as currently proposed, will negatively impact the home and the immediate area.

Mr. Jones has made several suggested changes to the design of the bank to make it more compatible with the neighborhood. However, the bank is refusing to consider these changes. I urge the HDRB to direct the bank to make the proposed bank more visually compatible.

I have a very personal interest in the Berrien Home. My great-4th grandfather, General John Stewart, served in the American Revolution as did Major John Berrien. After the revolution, General Stewart who was also the senior commander of the Georgia troops in the War of 1812, became great friends with Major Berrien and in fact named one of his sons, my great-5th uncle, John Berrien Stewart after his good friend John Berrien. Another ancestor, Major Edward White, also served in the American Revolution and was a member of the Society of the Cincinnati in the State of Georgia with his good friend Major Berrien. Major White and Major Berrien both served as officers of the Society which often held its meetings in the Berrien Home.

In this 250th anniversary of the nation's independence and John Berrien's service, please pay respect to his historic home and ensure that any new structure in its vicinity complement the Berrien House instead of detracting from it.

Sincerely,



Terry Honan

Col. Raymond M. Masciarella II
120 West Harris Street
Savannah, GA 31401

June 5, 2026

Historic District Board of Review
Savannah, GA

Re: 402 East Broughton Street; Case No. 25-005674-COA

Dear HDBR:

My wife, Karen, and I bought a home on Pulaski Square 25 years ago. It was at a time when, while preservation efforts in Savannah had begun years before, new residents for the first time began to incur the considerable expense of actually restoring properties as opposed to stabilizing them with necessary repairs. We made our investment with the understanding that Savannah had preservation ordinances which it intended to enforce. That enforcement mechanism is the HDBR.

Those ordinances require any new construction Savannah's Historic District to be compatible with the 18th and early 19th century structures surrounding the proposed project. While I do not oppose the redevelopment of 402 East Broughton Street, I strongly oppose the current proposal. The applicant bears the burden of proving its proposal meets every applicable ordinance. It has clearly failed to meet that burden for the reasons set forth in the Oglethorpe Plan Coalition's evidence in opposition. By way of example but not limitation, the mass of glass and the replacement of the two-story storefront with a one-story storefront would be viewed as incompatible to even the casual observer.

As a quasi-judicial tribunal, the HDBR has the legal duty to enforce the preservation codes as written. The HDBR does not have the authority to engage in fanciful interpretations of the code to find any possible way to approve a project. Rather, it is the HDBR's duty to enforce the codes as written. Additionally, the HDBR cannot justify ignoring the codes because a developer has spent a lot of money acquiring the property, has engaged a talented architect to design a splendid building, or the new project would be an asset to the city.

I urge the HDBR to protect Savannah's cultural heritage and architectural history by rejecting the current proposal for 402 East Broughton Street for the reasons set forth in the Oglethorpe Plan Coalition's submittal which demonstrates that the proposal violates numerous provisions of Savannah's preservation codes.

Yours respectfully,

/s/Raymond M. Masciarella II
Raymond M. Masciarella II

Opposition to 402 E. Broughton Street and Request for Improvements

From Danielle Oke

Date Fri 6/5/2026 1:48 PM

To historic <historic@thempc.org>

Cc Andrew Berrien-Jones

Dear HDBR,

I respectfully urge the HDBR to continue this matter with instructions to the applicant to comply with Design Standards and make the proposal more visually compatible with the 18th and 19th century structures that surround it.

Although I live near Isle of Hope, I am downtown approximately six days a week, sometimes multiple times a day. After living here for 7 years, I am still amazed at the beauty of this city and the privilege it is to live and work here.

I understand that our economy is reliant on the tourism that we get each year. I actually love the tourists! I love to share this fantastic historical city with everyone! However the new builds in town, particularly the design for 402 E. Broughton Street, are visually incompatible with historical fabric of Savannah. Such designs need to be rethought and sensitively designed so they fit within our exceptional architectural framework.

I am from Pittsburgh originally, and my city is on nobody's bucket list. Savannah, however, is on EVERYONE'S bucket list. The foundation for our success is our beauty. Let's please endeavor to continue that exquisite tradition.

Sincerely,

Danielle Oke

134 Neva Avenue

"Opposition to 402 E. Broughton Street and Request for Improvements"

From Roy <

Date Fri 5/29/2026 3:14 PM

To historic <historic@thempc.org>

Cc opc.preservation@gmail.com <

Dear HDBR,

I respectfully urge the HDBR to continue this matter with instructions to the applicant to comply with Design

Standards and make the proposal more visually compatible with the 18th and 19th century structures that

surround it. The responsible people at HDBR who make these decisions must thoroughly understand these

standards also.

Walter R. Stallings

Catherine M. Bobinyec-Stallings

544 East Harris Street

Savannah, Georgia 31401

Sent from my iPad

STATEMENT OF JIM HUNDSRUCKER OPPOSING THE COA FOR 402 E. BROUGHTON STREET

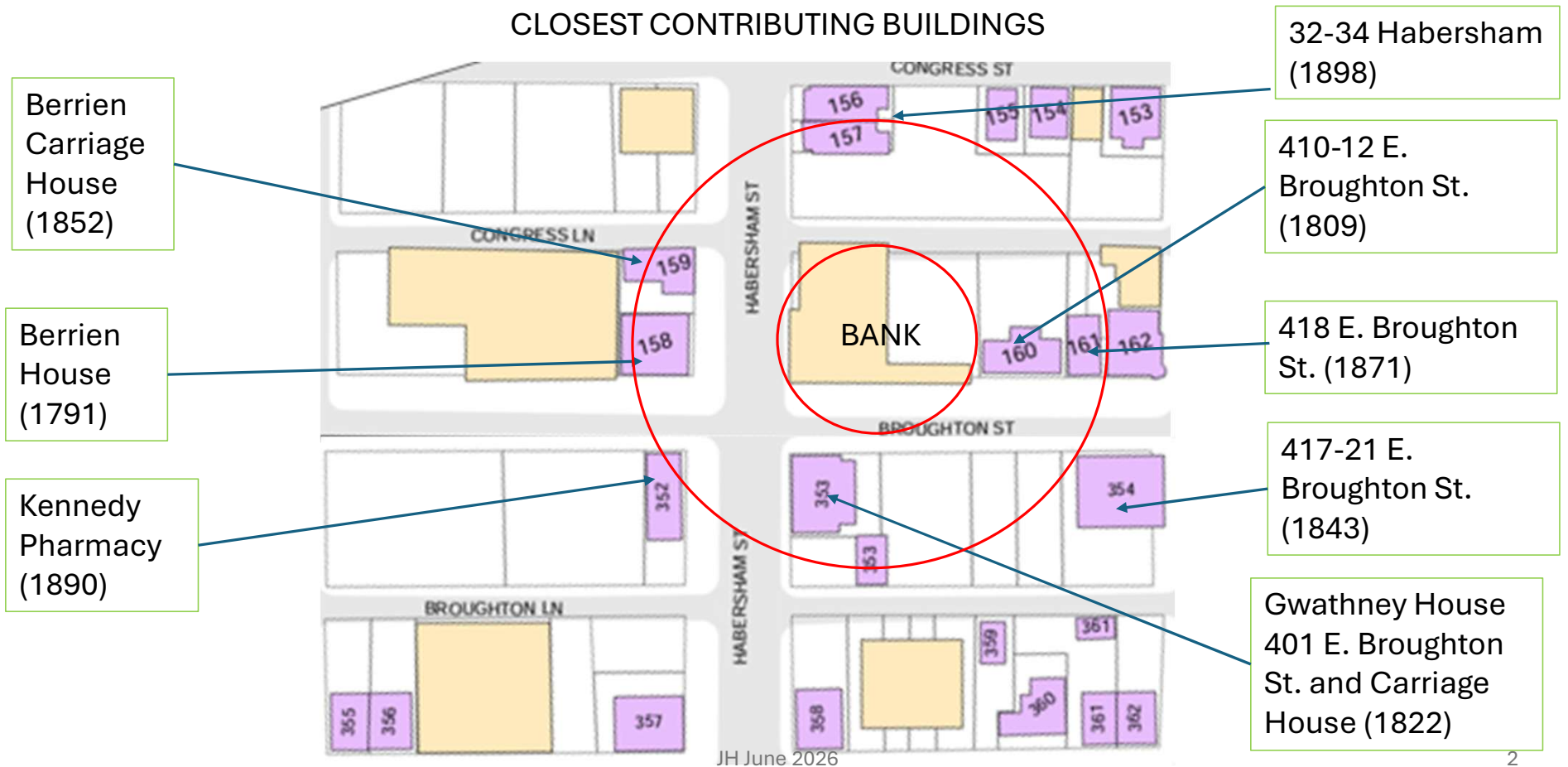
Nearby Structures
(1791 Major John Berrien House)



JH June 2026

HISTORIC BUILDING MAP SUPPLEMENT

CLOSEST CONTRIBUTING BUILDINGS



NEARBY CONTRIBUTING BUILDINGS

THREE CONTRIBUTING BUILDINGS ON THE OTHER CORNERS OF BROUGHTON AND HABERSHAM STREETS



Kennedy Pharmacy



Berrien House and Carriage House



Gwathney House 401 E. Broughton St.

OTHER NEARBY CONTRIBUTING BUILDINGS WITHIN VIEW



32-34 Habersham



410-12 E. Broughton St.



418 E. Broughton St.



419 E. Broughton St.

THIS MIGHT MAKE SENSE IN POOLER BUT
NOT IN THE HISTORIC DISTRICT



VISUAL COMPATIBILITY CRITERIA

DEFINITION OF VISUALLY RELATED IN 13.5

The relationship between buildings, structures, squares and places within view of the subject property.

Greater weight is placed upon adjacent historic buildings and structures.

Intent of the Design Standards

Section 7.8.10. “The intent of these standards is to ensure appropriate new construction, additions, and alterations within the Savannah Downtown Historic District. They are not intended to promote copies of the architectural designs of the past, but to encourage contemporary designs ***that protect and complement existing contributing resources.***”

CHARACTERISTICS OF NEARBY CONTRIBUTING BUILDINGS

- Storefronts are only on first floors
- Windows are vertically proportioned
- Distance between windows is typically at least one window width



THE PROPOSAL DOES NOT SHARE
THESE CHARACTERISTICS



THE PROPOSAL CLASHES WITH THE NEARBY CONTRIBUTING STRUCTURES

Nearby Structure
(1791 Major John Berrien House)



JH June 2026

COMMENT OF ANDREW JONES IN OPPOSITION TO THE COA FOR 402 E. BROUGHTON STREET

THE PROPOSAL FAILS THE DESIGN STANDARDS OF SECTION 7.8.10

- The Centerline Requirement
- The Window Distance Requirement
- The Proportion Requirement



**MPD STAFF OMITTED THE
WINDOW CONFIGURATION
REQUIREMENTS**

THE SECRETARY OF THE INTERIOR STANDARDS DO NOT APPLY TO NON-CONTRIBUTING STRUCTURES SUCH AS THIS PROPOSAL

7.8.8 Secretary of the Interior's Standards and Guidelines for Rehabilitation

Material changes to contributing resources and resources that are eligible for listing as contributing shall be evaluated by use of the current edition of the Secretary of the Interior's Standards and Guidelines for Rehabilitation as published by the U.S. Department of the Interior. In considering proposals for alterations to contributing resources, the documented original design of the resource may be considered.

LARGE-SCALE DEVELOPMENT STANDARDS REQUIRE COMPLIANCE WITH THE OTHER DESIGN STANDARDS, INCLUDING THE WINDOW CONFIGURATION RULES

t. Large-Scale Development Standards

Large-Scale Development shall comply with the following standards. New construction on monumental buildings shall be exempt from Large-Scale Development Standards.

i. Visual Compatibility Criteria (Sec. 7.8.9).

ii. **Design Standards (Sec. 7.8.10)**. Should there be a conflict, the Large-Scale Development Standards shall take precedence.

viii. Windows and Doors

1. Configuration

a. Facades fronting streets shall incorporate windows over the following minimum percentage of surface area:

- i. Ground level commercial uses: 55%;
- ii. Ground level residential uses: 25%;
- iii. Ground level all other uses: 35%; and
- iv. Upper levels all uses: 20%.

LARGE-SCALE DEVELOPMENT STANDARDS REQUIRE COMPLIANCE WITH THE OTHER DESIGN STANDARDS, INCLUDING THE WINDOW CONFIGURATION RULES

Although the MPC omitted these rules, you as a quasi-judicial tribunal must read them and apply them rather than relying on the MPC's omission. [SPCV25-01083-KA, *Ballastone Inn Property, LLC v. Oglethorpe Avenue LLC* \(Sup. Ct., Chatham County, 2025\); *Northside Corp. v. City of Atlanta*, 275 Ga. App. 30, 31 \(2005\); *Trubey v. Hall*, 237 Ga. App. 498, 501 \(1999\); *DeKalb County v. Post Apartment Homes, L.P.*, 234 Ga. App. 409, 411 \(1998\).](#)

PROPOSAL FAILS THE WINDOW DISTANCE TEST

7.8.10(h)(i)(2)(a)(ix) “The distance between windows shall not be less than for adjacent contributing buildings.”



(next door)



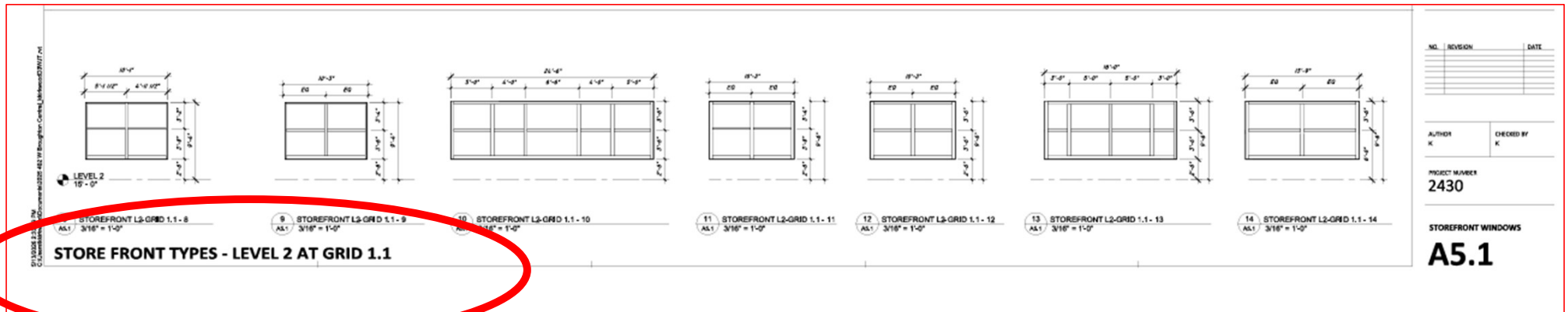
(next door, across Habersham Street)



(across Broughton Street, side view)

Nearby contributing buildings have windows spaced at least one full window width between them.

A SECOND FLOOR IS NOT A STOREFRONT

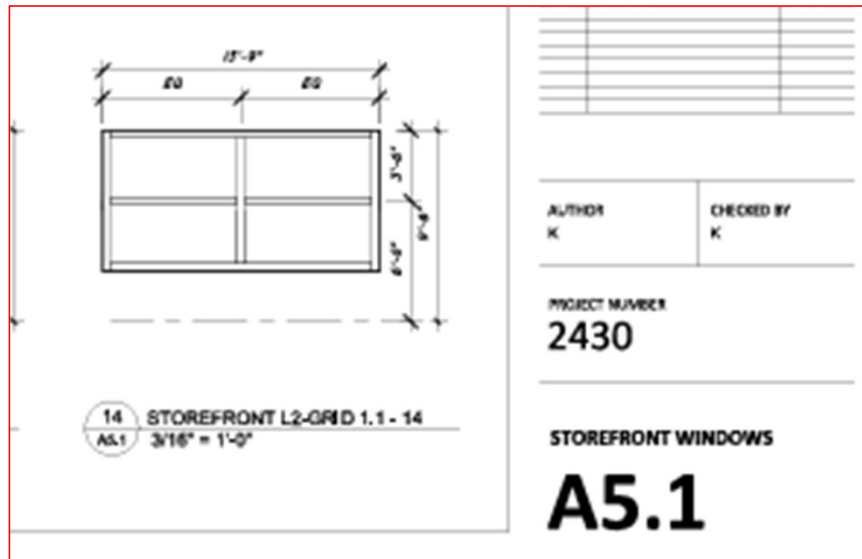


Section 13.5 ***defines a storefront as*** "The ground floor area of a retail building featuring large glass windows."

PROPOSAL FAILS THE WINDOW PROPORTION REQUIREMENT

Section 7.8.10(h)(i)(2)(a)(i) states, “All windows facing a street, exclusive of storefronts, basement and top story windows, shall be rectangular and shall have a vertical to horizontal ratio of no less than 5:3...”

Neither the entire window nor each half is vertically proportioned.



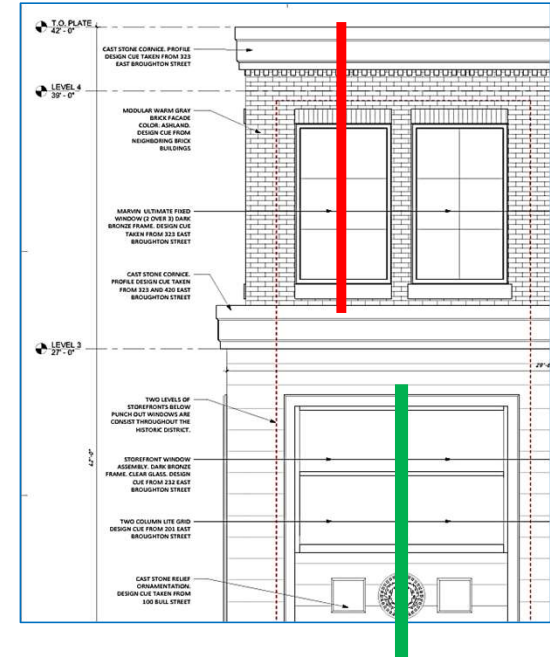
THE PROPOSAL FAILS THE THE CENTERLINE RULE

Old Version

New Version

Third Floor Windows are pairs of separate window **openings**, each surrounded with masonry. Red line is the centerline of each window **opening**.

Second Floor Windows are located in horizontal window **openings**. Green line is the centerline of the window **opening**.

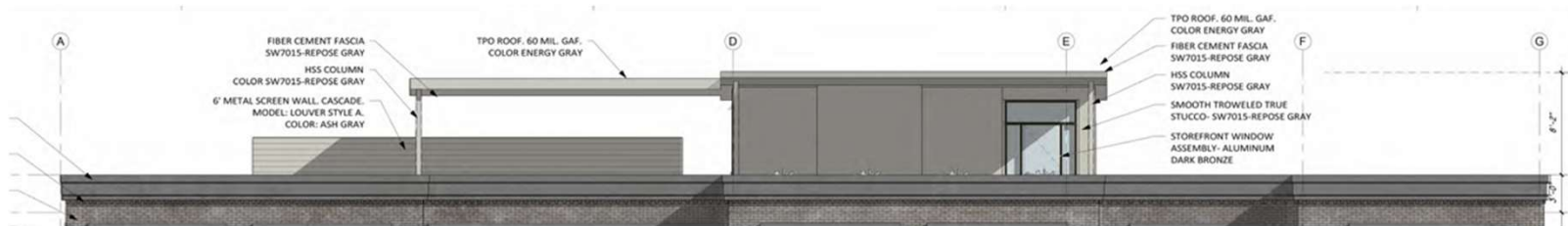


7.8.10(h)(i)(2)(a)(iv) **Centerline Rule.** “The centerline of the window and door **openings** all align vertically.”

The centerline of the window **openings** on the third floor do not align vertically with those below.

PROPOSAL FAILS THE BUILDING FORM RULE

There is no evidence in the COA application of a flying canopy roof on any qualifying building.



13.5 Building Form: “The physical shape of a building resulting from its mass, height, and envelope.”

7.8.10 (c) “Building form is based on the height, mass and envelope of a building. The proposed building form for new construction shall comply with the following:

...

ii. A proposed building located on an east-west through street shall utilize a contributing building form fronting the same street within the same ward or in an adjacent ward.”

SOLUTION



Centerline of second floor and third floor windows aligned.

Sufficient space between windows.

No impermissible second-story storefront windows.

Windows proportioned properly.

Meets the 20% minimum on upper floors (no conflict with large-scale development rules)

Presentation of Danielle Oke in Opposition to 402 E. Broughton

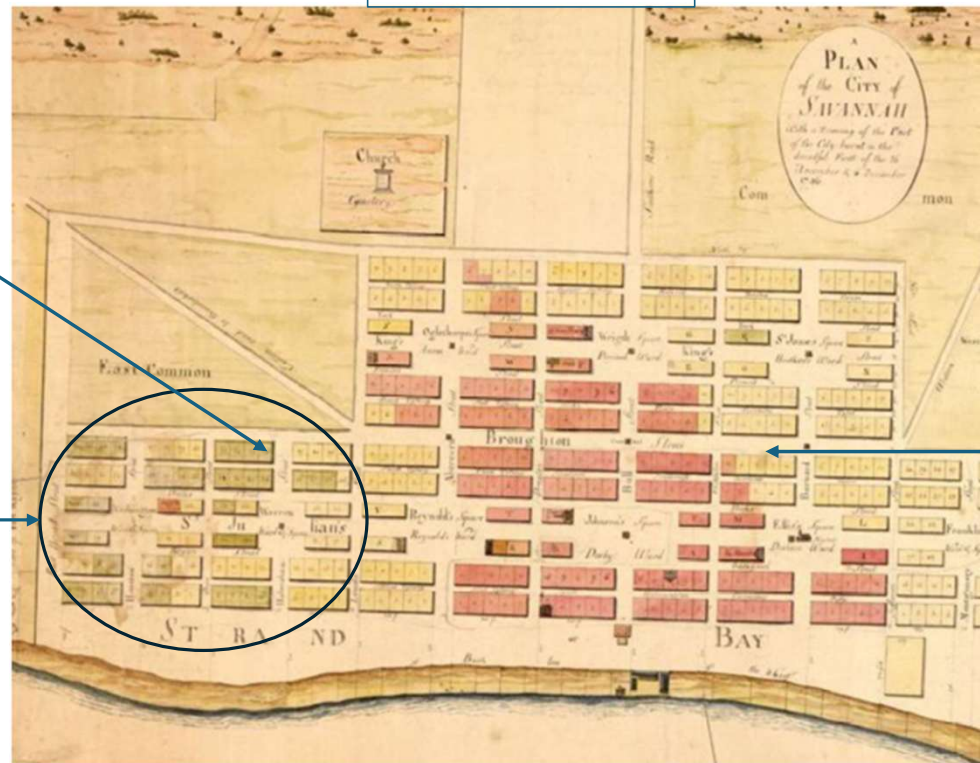
The Revolutionary War-Themed Wards

1796 Fire Map

Queensborough
Proposal

**Warren and Washington
Wards**
(survivors of the 1796 fire)

Broughton Street



THE BERRIEN HOUSE
(1791)



Major John Berrien
(commissioned in 1776)



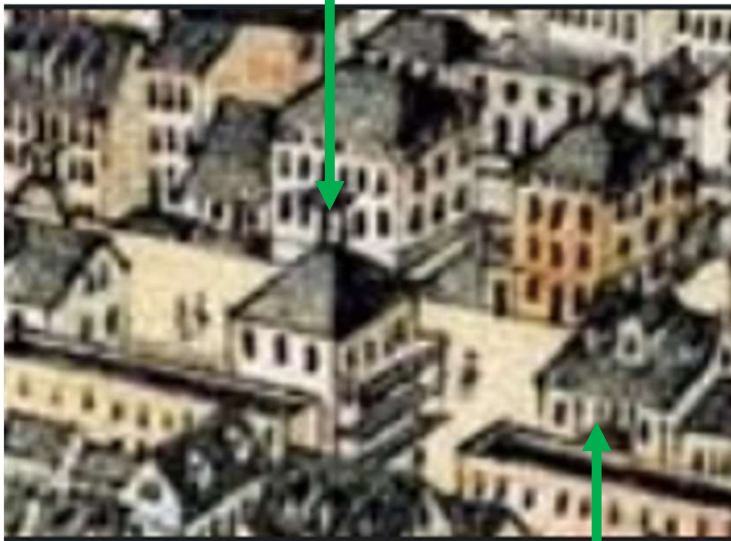
DO 2026



The Berrien Eagle,
Given to Berrien
by George
Washington at the
Berrien House

QUEENSBOROUGH SITE

Mansion Formerly at the Queensborough Site



1891 Koch Bird's Eye View

Berrien
House

Mansion Formerly at the Queensborough Site



1870s Photograph

Berrien
House

MALL ARCHITECTURE IS NOT WHAT THE DISTRICT NEEDS



DO 2026

COMMENT OF ANNA HABERSHAM WRIGHT IN OPPOSITION TO THE COA FOR 402 E. BROUGHTON STREET

1791 Major John Berrien House



AHW June 2026

VISUAL COMPATIBILITY CRITERIA

OPERATIVE LANGUAGE IN 7.8.9

[NAME OF BUILDING FEATURE] shall be visually compatible to the contributing buildings and structures to which it is visually related.

DEFINITION OF VISUALLY RELATED IN 13.5

The relationship between buildings, structures, squares and places within view of the subject property.
Greater weight is placed upon adjacent historic buildings and structures.

NEARBY CONTRIBUTING BUILDINGS

THREE CONTRIBUTING BUILDINGS ON THE OTHER CORNERS OF BROUGHTON AND HABERSHAM STREETS



Kennedy Pharmacy



Berrien House and Carriage House



Gwathney House 401 E. Broughton St.

OTHER NEARBY CONTRIBUTING BUILDINGS WITHIN VIEW



32-34 Habersham



410-12 E. Broughton St.



418 E. Broughton St.



419 E. Broughton St.

VISUAL COMPATIBILITY CRITERIA

SAMPLE CRITERIA BY SUBSECTION

7.8.9(c) **Proportion of openings.** The relationship of the width of the windows to height of windows within a building or structure
7.8.9 (d) **Rhythm of solids to voids in front facades.** The relationship of solids to voids in the facades visible from the public right-of-way
7.8.9 (f) **Rhythm of entrance and/or porch projection.** The relationship of entrances, porch projections, and walkways to buildings or structures
7.8.9 (g) **Relationship of Materials, Texture and Color.** The relationship of materials, texture and color of the facade of a building or structure shall be visually compatible with the predominant materials, textures, and colors used on contributing buildings and structures to which the structure is visually related.
7.8.9 (J) **Scale of a building.** The mass of a building or structure and size of windows, door openings, porches column spacing, stairs, balconies and additions
7.8.9 (l) **Directional expression of front elevation.** A building or structure shall be visually compatible with the buildings and structures to which it is visually related in its directional character, Including vertical character, horizontal character, or non-directional character.

OTHER DEFINITIONS IN 13.5

13.5 Definition of Primary Façade: For buildings on corner lots, the building may have two primary façades
13.5 Definition of Fronting: Facing
13.5 Definition of Façade: Any exterior face of a building.

APPLYING THE VISUAL COMPATIBILITY CRITERIA

418 E. Broughton St.



CONCERNS RELATIVE TO VISUAL COMPATIBILITY WITH CONTRIBUTING BUILDINGS IN THE VICINITY:

- 7.8.9(c) **Proportion of openings.** MULTIPLE RANDOM WINDOW WIDTHS ON THE FIRST TWO FLOORS
- 7.8.9 (d) **Rhythm of solids to voids in front facades.** EXCESSIVE GLASS TO MASONRY RATIO
- 7.8.9 (f) **Rhythm of entrance and/or porch projection.** NON-COMPATIBLE TWO-STORY STOREFRONT
- 7.8.9 (g) **Relationship of materials, texture and color.** SUSPENDED MASONRY NOT RELATED TO STRUCTURAL BRICK OF NEIGHBORING BUILDINGS
- 7.8.9 (J) **Scale of building components.** HORIZONTAL WINDOW GROUPINGS TOO LARGE
- 7.8.9 (l) **Directional expression of front elevation.** CAST IS HORIZONTAL, UNLIKE VISUALLY RELATED STRUCTURES

COMPLIANT VERSION OF THE BROUGHTON STREET FACADE

418 E. Broughton St.



IMPROVED VISUAL COMPATIBILITY

- 7.8.9(c) **Proportion of openings.** Second and third floors have equal-width, vertically proportioned windows
- 7.8.9 (d) **Rhythm of solids to voids in front facades.** Proportion of glass reduced
- 7.8.9 (f) **Rhythm of entrance and/or porch projection.** Façade division placed below second floor
- 7.8.9 (g) **Relationship of materials, texture and color.** Less glass, more solid materials
- 7.8.9 (j) **Scale of building components.** Massive second floor windows revised
- 7.8.9 (l) **Directional expression of front elevation.** Horizontals and verticals balanced

THE SAME CONCERNS APPLY TO THE HABERSHAM STREET FACADE

322-324 E. Broughton Street and 41 Habersham Street
(across Habersham Street)



COMPLIANT VERSION OF THE HABERSHAM STREET FACADE

322-324 E. Broughton Street and 41 Habersham Street
(across Habersham Street)



Which Building Better Meets the Visual Compatibility Criteria?

VERSION ONE
oversize elements
(Note: Fourth floor is not a valid building form)



VERSION TWO
(same height and width, but with scale of elements adjusted)



AHW June 2026

Letter of Opposition to 25-005674-COA, 402 E. Broughton Street

From andrewjonesnyc@aol.com <andrewjonesnyc@aol.com>

Date Thu 5/28/2026 12:57 PM

To historic <historic@thempc.org>

Cc Caitlin Chamberlain <chamberlainc@thempc.org>; Jodie Brown <brownj@thempc.org>

 1 attachment (9 MB)

Public Comment, Oglethorpe Plan Coalition, Inc. in Opposition to 25-005674-COA.pdf;

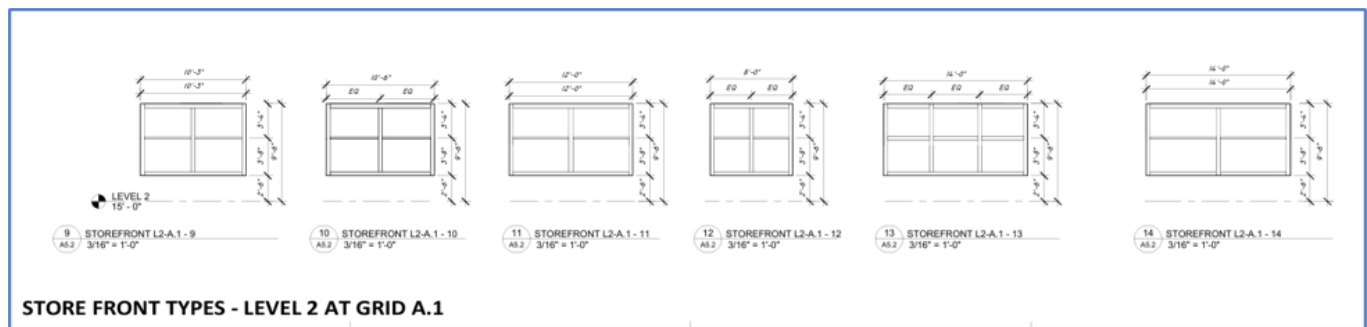
Dear Caitlin and Jodie,

Attached is the letter from the Oglethorpe Plan Coalition, Inc. in opposition to 25-005674-COA, 402 E. Broughton Street. The OPC is suggesting stylistic changes. Please add this letter to the Record for this proceeding.

We would like to call your attention to Section 7.8.10(h)(i)(2)(a)(i), which provides, “All windows facing a street, exclusive of storefronts, basement and top story windows, shall be rectangular and shall have a vertical to horizontal ratio of no less than 5:3...” If you then look at the definition of "storefront" in Section 13.5, you will see "storefront" defined as “The ground floor area of a retail building featuring large glass windows.”

Thus, the second floor of the proposal is not eligible for storefront treatment. Here’s an image of the second story windows from the submittal packet, which are labeled as "store front types." None meet the requirements of Section 7.8.10(h)(i)(2)(a)(i). And note that these are not grouping of windows, which is permitted. Each image below is a single window.

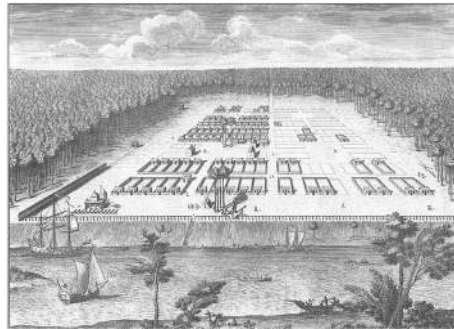
:



Respectfully,

Andrew Jones
Chair, Oglethorpe Plan Coalition, Inc.

OGLETHORPE PLAN COALITION, INC.



c/o Major John Berrien House
324 East Broughton St.
Savannah, GA 31401

May 28, 2026

Thomas Thomson, Melissa Rowan, Karen Guinn, Sabrina Nagle,
Robert Helms, Michael Higgins, Shedrick Coleman, Mariel Hamer and Sara Woodfield
Historic District Review Board
c/o Caitlin Chamberlain
Chatham County – Savannah Metropolitan Planning Commission
110 East State Street
Savannah, GA 31401

Re: 25-005674-COA 402 E. Broughton Street – Letter of Opposition and Request to Require the
Proposal To Comply with the Ordinance

Dear HDBR Chair and Members:

The Oglethorpe Plan Coalition, Inc. (OPC) opposes the proposal for Queensborough's new bank building in its current design. While the OPC does not oppose the construction of the bank on this site, the current proposal does not meet the Design Standards or the Visual Compatibility Criteria in the Code of Ordinances Savannah Georgia, Division II, Part 8, Chapter 3 – Zoning (the "Ordinance"). Such shortcomings, however, can possibly be partially mitigated through design modifications, such as reducing the amount of glass, especially at the second floor, and adjusting the horizontal directionality of the facades.

Neighborhood Historic Integrity

The proposal is located at the northeast corner of East Broughton Street and Habersham Street. Originally the site of a mansion and garden, the original structure was modified and

eventually replaced with a car dealership. Here are the Broughton and Habersham facades of the proposal:



Around the proposal are some of the oldest homes in the Downtown Historic District. These include the 1791 Berrien House, on the northwest corner of East Broughton Street and Habersham Street, immediately across the street from the proposal. A winner of multiple preservation awards, this house has been written about extensively. For more information, see <http://www.berriehousetrust.org/>; <https://www.georgiatrue.org/preservation-awards/berrien-house/>; and https://www.georgiahistory.com/ghmi_marker_updated/the-berrien-house-c-1791/.



Section 13.5 of the Ordinance treats the proposal as having two facades, one on Broughton Street and one on Habersham Street. Thus, it is significant that the proposal also lies in the middle of the Habersham Street Corridor of Warren and Columbia Wards. This corridor includes notable late 18th and early 19th century homes, including the historic Davenport House. <https://davenportmuseum.org>. This corridor was a focus of significant preservation work by Mills Lane and the Beehive Foundation in the 1960s onwards. <https://beehivefoundation.org/category/blogs/about-mills-bee-lane-iv/>. See Exhibit A for images of the Habersham Street Corridor and Exhibit B for a Certified Copy of ordinance Section 13.5. Below is the Davenport House.



Design Standards

Intent of the Design Standards. The intent of the Design Standards is set forth in Ordinance Section 7.8.10. The intent is to protect and complement the existing contributing

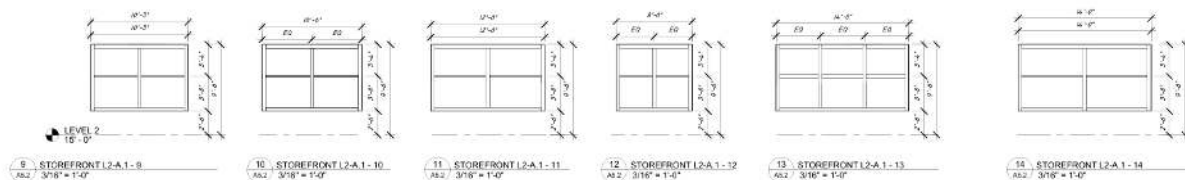
resources. This proposal in no way complements the neighboring contributing buildings. A Certified Copy of Ordinance Section 7.8 is attached hereto as Exhibit C.

Building Form Rule. Ordinance Section 7.8.10(c) requires the proposal to use the same height, mass and envelope as a contributing building on Broughton Street in Warren Ward or one of the adjacent wards.

The proposal includes a rooftop deck and floating roof canopy. There is no evidence of a building form with this feature on any contributing building on Broughton Street in the applicable wards.

Window Configuration Standards. Ordinance Section 7.8.10(h)(i)(2)(a)(i) provides, “All windows facing a street, exclusive of storefronts, basement and top story windows, shall be rectangular and shall have a vertical to horizontal ratio of no less than 5:3...” Multiple windows in this design appear to violate that rule.

The proposal labels the second floor windows as “storefront windows” in an attempt to sidestep this Ordinance section. However, Section 13.5 of the Ordinance defines storefront as “The ground floor area of a retail building featuring large glass windows.” The second floor of the proposal is not eligible for storefront treatment. Here’s an image of the second story windows from the submittal packet:



STORE FRONT TYPES - LEVEL 2 AT GRID A.1

Ordinance section 7.8.10(h)(i)(2)(a)(iv) states, “The centerline of the window and door openings all align vertically.” This rule is violated on both the Habersham Street and Broughton Street Facades.



Ordinance Section 7.8.10(h)(i)(2)(a)(ix) provides, “The distance between windows shall not be less than for adjacent contributing buildings..” The proposal violates this standard as well.

Visual Compatibility Criteria

Ordinance section 7.8.9 requires the proposal to be visually compatible with structures to which it is visually related. Ordinance Section 13.5 defines visually related: “[T]he relationship between buildings, structures, squares and places within the view of the subject property. Greater weight is placed upon adjacent historic buildings and structures.” Note that the ordinance refers to structures plural to which it is visually related. One can’t skip over the nearby buildings to rely on one building located blocks away for comparison.

Section 7.8.9(c): Proportion of Openings. Section 7.8(c) provides,

The relationship of the width of the windows to height of windows within a building or structure shall be visually compatible to the contributing buildings and structures to which it is visually related.

The proportions of the new windows are not visually compatible with the windows in the adjacent historic structures. In particular, the grouping of windows into horizontal bands has no relationship to the vertical proportion of window openings of nearby contributing buildings.

Section 7.8.9(d): Rhythm of Solids to Voids. Section 7.8.9(d) provides,

The relationship of solids to voids in the facades visible from the public right-of-way shall be visually compatible with the contributing buildings and structures to which it is visually related.

The proportion of solids to voids is too low; conversely, the proportion of total window and door openings to the overall facades is excessive, especially on the second level. While the upper floors of the surrounding contributing buildings typically feature a window opening coverage of approximately 25%, here the proportion at the second level is approximately 56%, well in excess of the 20% minimum requirement under Section 7.8.10(t)(viii)(1)(a) and inconsistent with the surrounding contributing buildings.¹

Section 7.8.9(e): Rhythm of Structures on the Street. Section 7.8.9(e) provides,

The relationship of a building or structure to the open space between it and adjacent buildings or structures shall be visually compatible with the open spaces between contributing buildings and structures to which it is visually related.

This proposal, with a footprint of 100% lot coverage, has nothing to do with the rhythms of the contributing buildings on Habersham Street, many of which feature green space. We therefore contend that the Part I approval of height and mass is invalid. Note that visual compatibility criteria are not subordinate to the maximum lot coverage for the designated zoning.

Section 7.8.9(g): Relationship of Materials, Texture and Color. Section 7.8.9(g) provides,

¹ We also note that the architect understates the ratio, because the architect’s measurement is based on the glazing area only while the Ordinance measures the total window opening.

The relationship of materials, texture and color of the facade of a building or structure shall be visually compatible with the predominant materials, textures, and colors used on contributing buildings and structures to which the structure is visually related.

The addition has large expanses of glass. This is not visually compatible with contributing buildings to which the addition is visually related. There is no contributing building in view that has the same extent of large glass walls at the second floor level. Likewise, the colors are unrelated.

Section 7.8.9(j): Scale of a building. Section 7.8.9(j) provides,

The mass of a building or structure and size of windows, door openings, porches column spacing, stairs, balconies and additions shall be visually compatible with the contributing buildings and structures to which the structure is visually related.

The pattern of the fenestration with its horizontal expanses of glass, especially at the second floor level, is not compatible with that of any contributing building which is visually related.

Also concerning is the division of the façade into an impermissible two-story storefront with a separate third story above. This massing of elements is not visually compatible with the surrounding contributing buildings, which have their strongest horizontal division above the first floor. We recommend that the facades be redesigned to adjust the horizontal focal point to be the division between the ground floor and upper stories rather than between the two-story storefront form and the third floor above.

We also note that in the Part I hearing the HDBR failed to address how the proposal was visually compatible in overall mass with the surrounding contributing buildings. The proposal is generally five or more times the mass of any of the immediately surrounding buildings. We therefore contend that the Part I approval is invalid.

Section 7.8.9(l): Directional Expression. Ordinance section 7.8.9(l) provides,

A building or structure shall be visually compatible with the buildings and structures to which it is visually related in its directional character, including vertical character, horizontal character, or non-directional character.

As stated above, this building has an excessively horizontal directional character, while the vertical and horizontal directionality of surrounding contributing buildings is balanced.

Secretary of the Interior Standards Not Applicable to New Construction

Ordinance Section 7.8.8 provides that the Secretary of the Interior Standards apply to contributing structures. The proposal is not a contributing structure. Therefore, any argument that those standards require that this building must “be of its time” is not relevant to the issues at hand.

Monumental Building Standards Do Not Apply

Section 7.8.10(u) provides special rules for “monumental buildings,” defined in Section 13.5 as “An institutional building such as a place of worship, governmental building, school or institution of higher learning with the primary use as education, theater or museum, having special or unique form because of the nature of its use.” There is nothing in the Ordinance to suggest that these rules apply to for-profit entities such as banks, office buildings or hotels.

Due Process Violations

The HDBR regularly approves COAs without making independent decisions in applying the rules, such as the Building Form Rule and the visual compatibility criteria. The Superior Court deems the HDBR to be a quasi-judicial tribunal. As such, the HDBR must independently review the provisions of the actual Ordinance and interpret them, not simply rely on the MPC’s interpretation. Testimony of a public official as to the interpretation of the ordinance is not dispositive in a judiciary’s independent interpretation of the law.

Failure to independently review and interpret the Ordinance deprives the public of its right to a fair trial, which constitutes a violation of the due process rights of the public under the Georgia and Federal Constitutions.

In addition, the HDBR unfairly limits testimony by aggrieved parties to only 3 minutes. This denies aggrieved parties a fair trial. Failure to read written testimony by such parties is also a due process violation. We urge you to permit any aggrieved parties sufficient time to present their concerns.

Recommendations

The OPC urges the HDBR to reject or continue this application and require design changes, including the following:

- 1) Reducing the maximum proportion of glass to 25% on the upper two floors
- 2) Replacing horizontally proportioned windows with compliant windows
- 3) Revising the horizontal division of the building to be above the first story rather than the impermissible second-story “storefront.”

You may reach me at (646) 248-2050 if you have questions. Please add this letter to the record for 25-005674-COA.

Respectfully,



Andrew Berrien Jones
Chair, Oglethorpe Plan Coalition, Inc.

EXHIBIT A

THE HABERSHAM STREET CORRIDOR IN WARREN & COLUMBIA WARDS

The Largest Concentration of Late 18th and Early 19th Century
Buildings in Savannah

TWELVE BLOCKS WITH FOURTEEN STRUCTURES FROM THE LAST QUARTER 18TH/FIRST QUARTER 19TH CENTURIES.

WARREN WARD (1791)

Each building has a footprint less than 2000 SF.

7 Habersham Street (1791-94)



324-26 E. Bryan Street (1806)



324 E. Broughton Street (1791)



BAY STREET



404 E. Bryan Street (1821-23)



22 Habersham Street (1790-1804)



24 Habersham Street (1797)



410-12 E. Broughton Street (1809)



BROUGHTON STREET

Andrew Berrien Jones - April 2026

COLUMBIA WARD (1799)

Each building has a footprint
less than 2000 SF.

324 E. State St. (1821)



321 E. York Street (1818)



322 E. Oglethorpe Ave. (1809)



BANK

BROUGHTON STREET



OGLETHORPE AVE.

Andrew Berrien Jones - April 2026

401 E. Broughton Street (1822)



416 E. State Street (1799/1808)



136 Habersham Street (1805)



138-40 Habersham Street (1805)



Optional Large-Scale Massing for Visual Compatibility

BUILDING 1
BANK FUNCTIONS
ON ONE TITHING LOT

BUILDING 2
OFFICE RENTAL
ON THE SECOND
TITHING LOT



410-12 E. Broughton Street (1809)

The Legacy of Mills Bee Lane IV

ABOUT MILLS BEE LANE IV

Stone House expands and contracts with the times



Columbia Ward is one of the most famous in Savannah, and the Lane family put their time and money into restorations of houses on the square and side streets. An earlier post about signs in Savannah described Mills Lane IV's...

ABOUT MILLS BEE LANE IV

Warren Square Encircled



Two more houses complete our walk around Warren Square. The William Parker House built 1806-1809 sits on the square's northwest corner at 324-326 East Bryan St. It was built for Dr. William Parker, 1766-1838, who volunteered to visit houses of...

ABOUT MILLS BEE LANE IV

The squares are staged better for walking



The Mills Bee Lane family was instrumental in the house ballet that moved buildings around Savannah. Those houses have played musical squares and filled in the streetscapes. The Lanes were key players in the rehabilitation of public and private buildings...

EXHIBIT B



CODE OF ORDINANCES SAVANNAH, GEORGIA

DIVISION II

PART 8- PLANNING AND REGULATION OF DEVELOPMENT^[1]

GEORGIA, CHATHAM COUNTY

I certify that the foregoing is a true and exact copy of the original which appears on record in this office.

In witness whereof, I have this day 30th of May, 2025, affixed the city seal and my signature.

Mark Massey
Mark Massey, Clerk of Council, City of Savannah

Total Number of Pages: 9 pages

Article 13.0, Section 13.5
Defined Terms, Historic



CHAPTER 3. - ZONING (EFFECTIVE SEPTEMBER 1, 2019)

ARTICLE 13.0 ABBREVIATIONS AND DEFINITIONS

References to NAICS Codes shall mean those codes assigned to businesses in the 2002 North American Industry Classification System (NAICS) Manual published by the federal Office of Management and Budget. NAICS Codes may be utilized as an aid in interpretation and determination of specific uses.

None of the definitions contained herein shall be construed to permit any act that is in violation of any City, state or federal code.

Sec. 13.5 Defined Terms, Historic

The following definitions are, primarily, specific to historic overlay districts and historic property overlay districts and are in addition to the definitions in Sec. 13.2 Defined Terms, General. Where the same or similar definitions exist, the definitions of this Section shall govern.

(Ord. of 10-10-2019(37), § 1)

Abutting Building: A building on a parcel which shares a parcel line with the subject parcel or is located on the same parcel.

Accessory Building: A detached building or structure which may include, but is not limited to, a garage, storage building, carriage house.

Active Use: For the purposes of this subsection, an active use is considered to be an allowed use under the zoning ordinance for a property that is open to and provides a sustained, regular activity or service for the general public (including, but not limited to, restaurant, retail, office, gallery), and maintains individual primary exterior entrances. Uses intended primarily for the buildings' occupants, such as meeting rooms, internal offices, hallways, storage areas, recreational facilities not open to the general public, etc., or are accessed primarily from the interior, are not considered active uses. A lobby shall be considered an active use provided that it is limited in area as determined in the Large-Scale Development standards.

(Ord. of 10-10-2019(37), § 1)

Effective on: 10/10/2019

Adjacency: Abutting parcels, buildings, or buildings within the same parcel.

Adverse Effect: An effect on a historic property that diminishes the historic integrity of the property's location, design, setting, materials, workmanship, or association.

Appurtenance: Accessory object including, but not limited to, fences, light fixtures, signs, brackets, downspouts, and trellises.

Apron: A ramp providing access to a parking pad or building.

Architrave: The bottom band of an entablature, located immediately above the column capitals.

Awning: A lightweight, exterior roof-like shade that typically projects over a window or door, usually made of canvas or similar fabric on a metal frame, also may be wood, plastic or metal. Awnings are attached to buildings, typically on a vertical surface. See also Shade Structures.

Baluster: One of several small columns or rods that supports a railing or balustrade.



Base Zoning District Development Standards: The development standards associated with the base zoning district, which include lot coverage percentage and setbacks (front, rear and side).

Beach Institute Character Area: A unique area within the Savannah National Historic Landmark district distinguished by its plan, architecture and historic ethnic diversity containing the greatest concentration of remaining one-story cottages. Originally part of privately owned garden lots, the area developed as a series of small neighborhood villages in the mid-19th century. The area is used for recreational purposes including, but not limited to viewing or enjoying historic, archaeological, and scenic sites.

Block: A block is a rectangular space bounded on three sides by a street and on the fourth by a street or lane and occupied by or intended for buildings.

Block front: A block front is the street fronting a block, excluding the lane frontage.

Building Form: The physical shape of a building resulting from its mass, height, and envelope.

Canopy: A canopy is a permanent projection over an entrance which is architecturally and structurally integrated into the design of the building.

Carrera Glass: A trade name for thick, solid-color structural glass cast in panels and used as a wall veneer. Vitrolite® is a name brand for this product.

Central of Georgia National Historic Landmark District: A 33.2-acre historic industrial site originally operated by the Central of Georgia Railroad, consisting of the motive power, cotton yard and industrial warehouses, passenger facilities and two brick viaducts. The district is bounded by Martin Luther King, Jr. Boulevard on the east, Jones Street on the south, West Boundary Street on the west, and Turner Street on the north. The area is used for recreational purposes including, but not limited to viewing or enjoying historic, archaeological, and scenic sites.

Character Area: Predefined areas with special character-defining features.

Character-Defining Feature: An element or elements of a building which convey its historical or architectural significance. These may include, but are not limited to, windows, window casings, doors, porch columns, handrails, scroll brackets, corner boards, rooflines, cornices, eaves, brackets, setbacks, height, form, and similar features.

City Market Character Area: A unique area within the Savannah National Historic Landmark District distinguished by commercial buildings associated with historical market functions. The area is used for recreational purposes including but not limited to viewing or enjoying historical and scenic sites.

Commercial building: A building whose primary function is for business or retail use.

Compatibility: The positive relationship of alterations to existing buildings and designs for new construction to their environs; compatibility is measured by consistent application of accepted guidelines and standards defining the individual visual character of a specific area.

Contributing Building: Any building which adds to the historic, architectural, or archaeological value for which a historic district or historic property is significant and is identified as such on the Contributing Resources Map of the Historic Preservation Plan for the historic district or historic property.

Contributing Object: Any object which adds to the historic, architectural, or archaeological value for which a historic property or historic district is significant and is identified as such on the Contributing Resources Map of the Historic Preservation Plan for the historic district or historic property.

Contributing Resource: Any building, structure, object or site which adds to the historic, architectural, or archaeological value for which a historic property or historic district is significant and is identified as such on the Contributing Resources Map of the Historic Preservation Plan for the historic district or historic property.



Contributing Site: Any site which adds to the historic, architectural, or archaeological value for which a historic property or historic district is significant and is identified as such on the Contributing Resources Map of the Historic Preservation Plan for the historic district or historic property.

Contributing Structure: Any structure which adds to the historic, architectural, or archaeological value for which a historic property or historic district is significant and is identified as such on the Contributing Resources Map of the Historic Preservation Plan for the historic district or historic property.

Deck: A structure without a roof directly attached to a principal building, which has an average elevation of 30 inches or greater from finished grade.

Demolition by Neglect: The consistent failure to maintain a structure that causes, or is a substantial contributing factor of, the deterioration of building materials to such an extent that the structure is no longer safe, or renovation/restoration is no longer feasible, that ultimately leads to the need for physical demolition.

Directional Character: Structural shape, placement of openings, and architectural details that give a predominantly vertical, horizontal, or a non-directional character to the building's front façade. For example, a skyscraper would have a vertical character and a one-story ranch house would have a horizontal character.

EIFS: Exterior Insulation Finishing System.

Economic Hardship: The denial of all reasonable use or return on a piece of property by the application of regulation.

Elevation: An exterior façade of a building.

Entablature: The entire band of horizontal elements above the column capitals.

Entrance: See Primary Entrances.

Exceptional Importance: Structures of extraordinary importance because of an event or an entire category of resources so fragile that survivors of any age are unusual. The property is not required to be of national significance; the measure of a property's importance is within the historic context, whether the scale of that context is local, state, or national (National Park Service, National Register Bulletin).

Executive Director: The Executive Director of the Chatham County-Savannah Metropolitan Planning Commission.

Exterior Expression: Exterior building design features that visually define the number of stories.

Façade: Any exterior face of a building.

Factors Walk Character Area: A unique historic area within the Savannah National Historic Landmark District distinguished by its access to the Savannah River, parks and green space, proximity to commercial and shipping industry structures, historical structures, cobblestone rights-of-way, and pedestrian bridges. The area is used for recreational purposes including, but not limited to, fishing, boating, picnicking, nature study, and viewing or enjoying historic, archaeological, and scenic sites.

Fronting: Facing.

Glazing: The clear or translucent material through which light passes into a building; most often glass.

Green Roof: See City of Savannah Green Roof Ordinance (Sections 8-1175 through 8-1178).

(Ord. of 10-10-2019(37), § 1)

Effective on: 10/10/2019

Height of building: The vertical distance measured from the mean finished ground level adjoining the building to the highest point of the roof.



Height, Floor: Floor height shall be measured from top of finished floor to top of next higher floor.

High Stoop: An elevated entrance landing, typically nine feet (9') tall, accessed by stairs.

Historic Building Map: A catalog of Historic Buildings in map form.

Historic Context: The historic characteristics and features which provide a context for a historic property or property within a local historic district. This includes, but is not limited to, traditional building materials; configurations of windows, doors, porches, roofs, or other architectural elements; and building placement on a parcel. Historic context may be based on existing features within a historic district/property or based on characteristics historically appropriate for a building or structure.

Historic District: Any local historic district designated by the Mayor and Aldermen as per Sec. 3.16, Local Historic District Designation and Article 7.0, Overlay Districts.

Historic District Height Map.: A map of the Historic District showing the maximum number permissible stories up to which buildings may be constructed in defined areas.

Historic Fabric: Original building materials of a historic building.

Historic Property: Any local historic property designated as such by the Mayor and Aldermen as per Sec. 3.17 Local Historic Property Designation and Article 7.0, Overlay Districts.

Historic Setback: The average setback of a group of historic buildings along a block front.

Historic Site: A site which is the location of a significant event, a prehistoric or historic occupation or activity, or a building or structure, whether standing, ruined or vanished, where the location itself possesses historic, cultural or archaeological value regardless of the value of any existing structure.

Hopper Window: A single-sash window that hinges in the center of each vertical rail.

Human Scale: The relationship of the scale of a building or material to the size and proportion of the human body.

Individual Buildings: A building that meets the requirements for a stand-alone building by the building code. May be denoted by a fire wall, setback, and/or property line.

In-kind Repairs: Minor repairs that do not involve a change in material, placement, or design.

In-kind Repair: Any minor repair that does not involve a change in material, placement, or design.

Lane: The service corridor subdividing a tithing block in Oglethorpe's original ward plan. See Street Types.

Large Scale Development: Development whose combined ground floor footprint is equal to or greater than 9,000 square feet within a single parcel or is four stories or greater in D-R and D-N zoning districts or is five-stories or greater in all other zoning districts. In the case of an addition to an existing building, the combined footprint and height of both the existing building and the addition located on the same parcel apply.

(Ord. of 10-10-2019(37), § 1)

Effective on: 10/10/2019

Low Emissivity Glass: The coating on glazing or glass to control heat transfer through windows with insulated glazing. It is a microscopically thin, virtually invisible, metal or metallic oxide layer deposited directly on the surface of one (1) or more of the panes of glass, typically applied during manufacturing. Also referred to as "Low-E."

Material Change: A change that will affect the exterior architectural or environmental features of a building and may include any one or more of the following:

1. A reconstruction or alteration of a size, shape or façade of a building including any of its architectural elements or details;

2. Demolition of a building or portion of a building;
3. Commencement of excavation for construction purposes;
4. The introduction or change of signage on any building;
5. The erection, alteration, restoration, or removal of any building or structure including walls, fences, steps, pavement or appurtenances.

Mechanical or Access Structure: An enclosed, non-habitable structure above the roof of a building, other than a tank, tower, spire, dome cupola or bulkhead, occupying not more than one-third of the roof area. Mechanical or access structures used solely to enclose stairways or elevator machinery, ventilation or air conditioning apparatus shall not count as a story.

Meeting Rail: The horizontal portion of a double hung window where the upper and lower sash meet.

Mezzanine: An intermediate level between the floor and ceiling of a story. Its aggregate floor area is not more than one-third (0.33) of the area of the room or space in which it is located.

Monumental Building: An institutional building such as a place of worship, governmental building, school or institution of higher learning with the primary use as education, theater or museum, having special or unique form because of the nature of its use.

Mullion: The bar or divider that separates individual window frames within a series of paired (two) or grouped (three) or more) window openings.

Muntin: The molding or bar that separates the individual panes of a multi-paned window sash.

National Register Historic Districts without a Local Historic Overlay: The National Register was established by the National Historic Preservation Act of 1966 and is maintained by the U.S. Department of the Interior, National Park Service. National Register Historic Districts that do not have a local historic overlay district include Pine Gardens, Gordonston, Bonaventure, Eastside/Meadows/Collinsville, Central of Georgia, Laurel Grove North, Laurel Grove South, Kensington Park-Groveland, and Fairway Oaks-Greenview.

(Ord. of 5-25-2023(10), § 1)

Effective on: 5/25/2023

Non-contributing Resource: A noncontributing resource does not add to the historic associations, historic architectural qualities, or archaeological values for which a property or area is significant because: it was not present during the period of significance, or does not relate to the documented significance of the property or area; due to alterations, disturbances, additions, or other changes, it no longer possesses historic integrity or is no longer capable of yielding important information about the period of significance; or it does not independently meet the National Register criteria for a contributing building.

Oglethorpe Plan Area: The original ward pattern of streets and lanes between Bay Street to the north, Gaston Street to the south, Martin Luther King, Jr., Boulevard to the west, and East Broad Street to the east.

Oglethorpe Plan Ward: A component of Oglethorpe's Plan for Savannah consisting of four tithing blocks (each containing ten tithing lots) and four trust blocks around a central square, with blocks divided by a series of streets and lanes. See Street Types for illustration.

Oriel: A projection from the main wall of a building in the form of a bay window that starts above the ground level; may be supported by corbels, brackets, or an engaged column.

Penthouse: See Mechanical or Access Structure and/or Story.

Pergola: An arbor with a latticework roof.

Portico: A columned porch or stoop, especially at the main entrance to a building.

Primary Entrance: A pedestrian entrance to a use that has an individual street address. Service doors, emergency exits, and similar ancillary ingress/egress doors are not primary entrances.

Primary Façade: In the context of an existing building and new construction, the façade on which the primary pedestrian entrance is located. For new construction, the orientation of the façade must be consistent with the primary façades of the majority of contributing structures within the visually related historic context. For buildings on corner lots, the building may have two primary façades. In areas which feature both residential and commercial uses, the primary façade shall be consistent with the primary façades of similar uses.

(Ord. of 10-10-2019(37), § 1)

Effective on: 10/10/2019

Raised Basement: The lowest story of a building raised an entire story above ground level and does not contain the primary entrance.

Retail structure: A building housing a use engaged in retail trade and/or services.

Roofline: The exterior form created where the building meets the sky, generally at the roof.

Roofline Variation: A significant change in the upper outline of buildings indicated by dormers, towers, bays, or roof shape. A change in the parapet height does not constitute a roofline variation.

Rooftop Garden: See Green Roof.

Savannah National Historic Landmark District (NHLD): The Savannah NHLD is comprised of General Oglethorpe's plan of wards, squares and garden lots. The boundaries are the centerlines of the Savannah River to the north, Martin Luther King, Jr. Boulevard to the west, Gwinnett Street to the south, and East Broad Street on the east, including the area in the northeast quadrant known as Trustees Garden.

Scale: The relationship of the size of units of construction and architectural detail to the size of a human, and the relationship of building mass to adjacent buildings and open spaces. Scale refers both to the overall building form and individual components of the building.

Secondary Façades: Façades that do not front the primary street.

Service Street: The north-south street bounding the east and west edges of a ward, usually a one-way street. See Street Types.

Shade Structures: Like awnings, shade structures are permanent, free standing structures intended to provide shade or shelter and are attached to the ground or horizontal surface of a building.

Shutter: A hinged panel that covers a window or door opening in addition to the standard window or door; may be solid panels, louvers, or cutouts or slats for ventilation; located on the exterior or interior; and sized to fit the opening when closed.

Sill: The horizontal section that forms the base of a storefront. Also, the projecting horizontal base of a window or door.

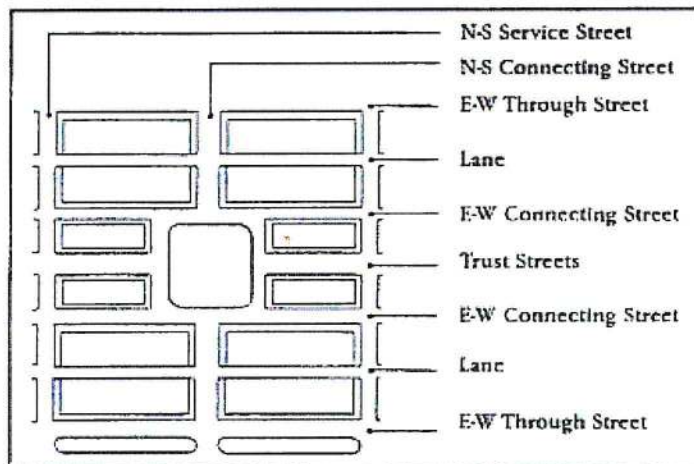
Square: Common public open space in the center of a ward, typically one acre in size.

Steeple: A tall structure usually having a small spire at the top and surmounting a church tower.

Storefront: The ground floor area of a retail building featuring large glass windows.



Story: That portion of a building, other than the basement, included between the surface of any floor and the surface of the next floor above it, or if there is no floor above it, then the space between the floor and the ceiling above the floor of such story. Provided, however, a basement that is entirely underground; a crawl space or partial basement that is four (4) feet or less above grade; and rooftop structures such as church spires, cupolas, chimneys, tanks and supports, penthouses used solely to enclose stairways or elevator machinery, ventilation or air conditioning apparatus shall not count as a story. An enclosed roofed structure above the roof of a building, containing habitable space for occupancy, shall be construed as a story.



Street Types: See illustration above.

Stucco: Fine plaster used for coating wall surfaces or molding into architectural decorations. Exterior plaster applied as a two (2) or three (3) part coating directly onto masonry. Historic stucco consisted primarily of hydrated or slaked lime, water and sand with straw or animal hair as a binder. Exterior Insulation Finishing System, or EIFS, is not considered stucco for the purposes of this Ordinance.

(Ord. of 11-22-2022(11), § 1)

Effective on: 11/22/2022

True Stucco: Exterior plaster applied as a two- (2) or three- (3) part coating. A traditional three-coat stucco system consists of a lath base (made of wood or galvanized/ stainless steel metal mesh), a scratch coat, a brown coat, and a finish coat. The first layer, or scratch coat, has a rough, "scratchy" surface so the next layer better adheres to it. The middle layer, or brown coat, uses a long trowel or "darby" to create a smooth finish. The top coat, or finish coat, is the layer that is colored and/or textured to achieve the final desired appearance. A two-coat stucco system is used when stucco is applied directly to masonry. Therefore, it only consists of a brown coat and a finish coat. Exterior insulation and finish systems (EIFS), multiple layers of wallboard, weatherproofing membranes, and lath are not considered stucco for the purposes of this Ordinance.

(Ord. of 11-22-2022(11), § 1, Ord. of 9-12-2024(21), § 1)

Effective on: 9/12/2024



Temporary: For the purposes of requiring a Certificate of Appropriateness, any object, structure, sign, or fence erected for fewer than 60 days within a 12-month period, or timeframe otherwise agreed upon by the Preservation Officer. The object, structure, sign, or fence physically attached to a building, structure, or the ground for greater than 60 days within a 12-month period or the agreed upon timeframe shall be considered permanent and therefore subject to the provisions of this ordinance.

Tithing Block: A component of Oglethorpe's Plan for Savannah. Tithing blocks are located on the north and south sides of a square and usually consist of five (5) 60-foot by 90-foot lots.

Through Street: See Street Types.

Trellis: A screening device that has a foundation or that is mounted to a wall, fence, building or structure.

Trust Block: A component of Oglethorpe's Plan for Savannah. Trust blocks are located on the east and west sides of a square. There are four (4) trust blocks in each ward.

Trust Street: A component of Oglethorpe's Plan for Savannah. Trust streets are the streets that separate the trust blocks. See Street Types.

Visual Compatibility: The positive relationship of any alteration(s) or new construction to their context based on the application of adopted standards, including visual compatibility criteria as specified by this Ordinance, and accepted guidelines, such as those adopted by the Board or those published by the Secretary of the Interior, that establish the visual and historic character of the surrounding area. This term shall apply only to local historic districts and historic properties.

Visually Related: The relationship between buildings, structures, squares and places within view of the subject property. Greater weight is placed upon adjacent historic buildings and structures.

Ward: A component of Oglethorpe's Plan for Savannah consisting of four (4) tithing blocks (each containing 10 tithing lots) and four (4) trust blocks around a central square, with blocks divided by a series of variously scaled streets and lanes.

EXHIBIT C



CODE OF ORDINANCES SAVANNAH, GEORGIA

DIVISION II

PART 8- PLANNING AND REGULATION OF DEVELOPMENT^[1]

GEORGIA, CHATHAM COUNTY

I certify that the foregoing is a true and exact copy of the original which appears on record in this office.

In witness whereof, I have this day 27th of May, 2020 affixed the city seal and my signature.

Mark Massey
Mark Massey, Clerk of Council, City of Savannah

Total Number of Pages: 28

Sec. 7.8 - Savannah Downtown
Historic Overlay District



CHAPTER 3. - ZONING (EFFECTIVE SEPTEMBER 1, 2019)

ARTICLE 7.0 OVERLAY DISTRICTS

Sec. 7.8 Savannah Downtown Historic Overlay District

7.8.1 Purpose

The purpose of the Savannah Downtown Historic Overlay District, referred to herein as “Savannah Downtown Historic District,” is to promote the educational, cultural, economic, and general welfare of Savannah pursuant to the provisions of the amendment to the Georgia Constitution Article XI, ratified November 5, 1968 (1968 GA Laws, page 1591) and continued as part of the Constitution of the State of Georgia (GA. L. 1986, p. 5077).

These provisions provide for the preservation and protection of historic buildings, structures, appurtenances and places that are of basic and vital importance for the development and maintenance of the community's vacation-travel industry, its tourism, its culture, and for the protection of property values because of their association with history; their unique architectural details; or their being a part of or related to a square, park, or area, the design or general arrangement of which should be preserved and/or developed according to a fixed plan based on economic, cultural, historical or architectural motives or purposes.

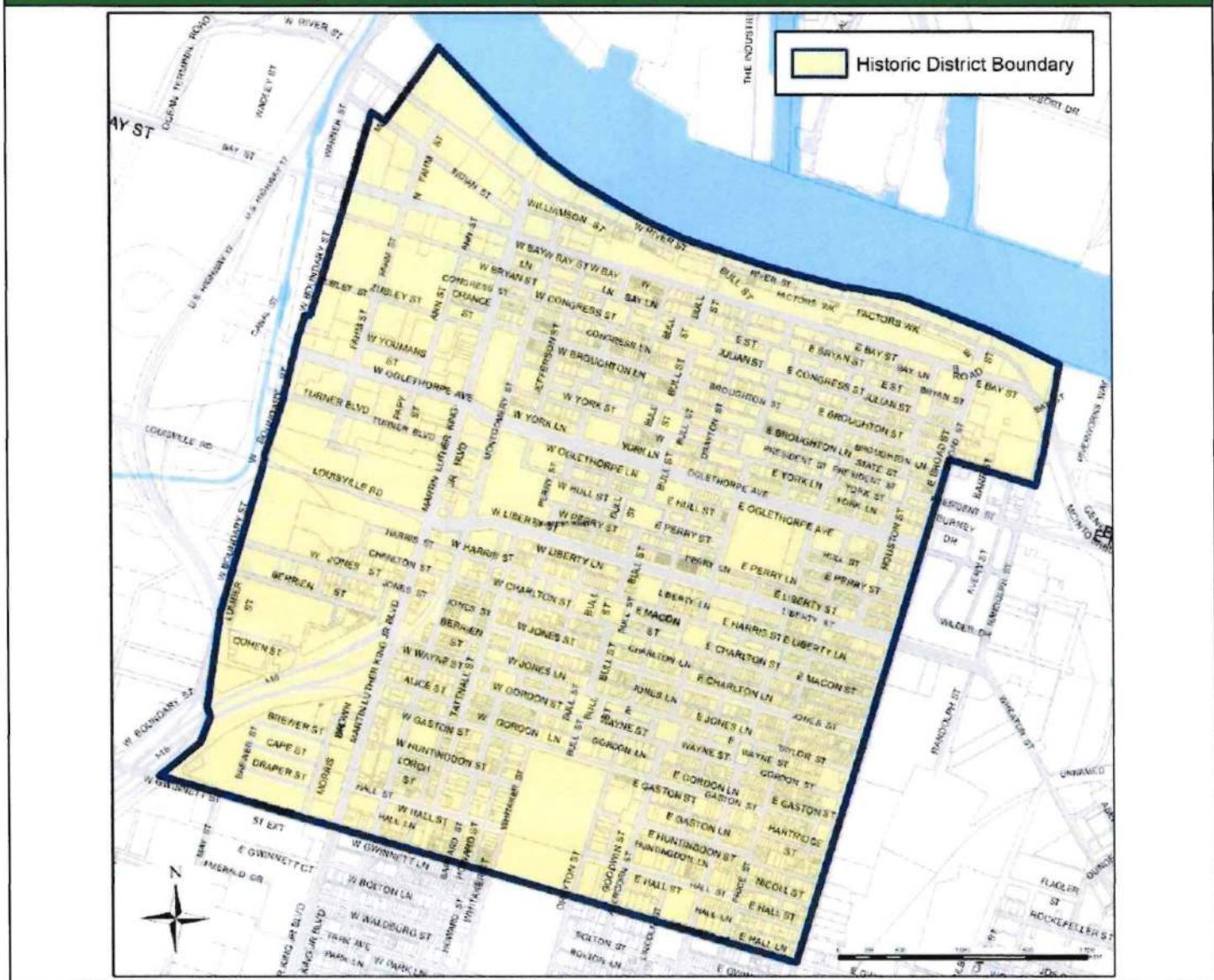
(Ord. of 10-10-2019(37), § 1)

Effective on: 10/10/2019

7.8.2 District Boundaries

The boundaries of the historic district shall be the area bounded on the north by the Savannah River; on the east by Randolph Street between the Savannah River and Broughton Street and by East Broad Street between Broughton and Gwinnett Streets; on the south by Gwinnett Street; and on the west by West Boundary Street to Indian Street, Indian Street to McGuire Street, extended to the River (Fig. 7.8-1).

Figure 7.8-1 Savannah Downtown Historic District Boundaries



(Ord. of 10-10-2019(37), § 1, Ord. of 10-10-2019(39), § 2)

Effective on: 10/10/2019

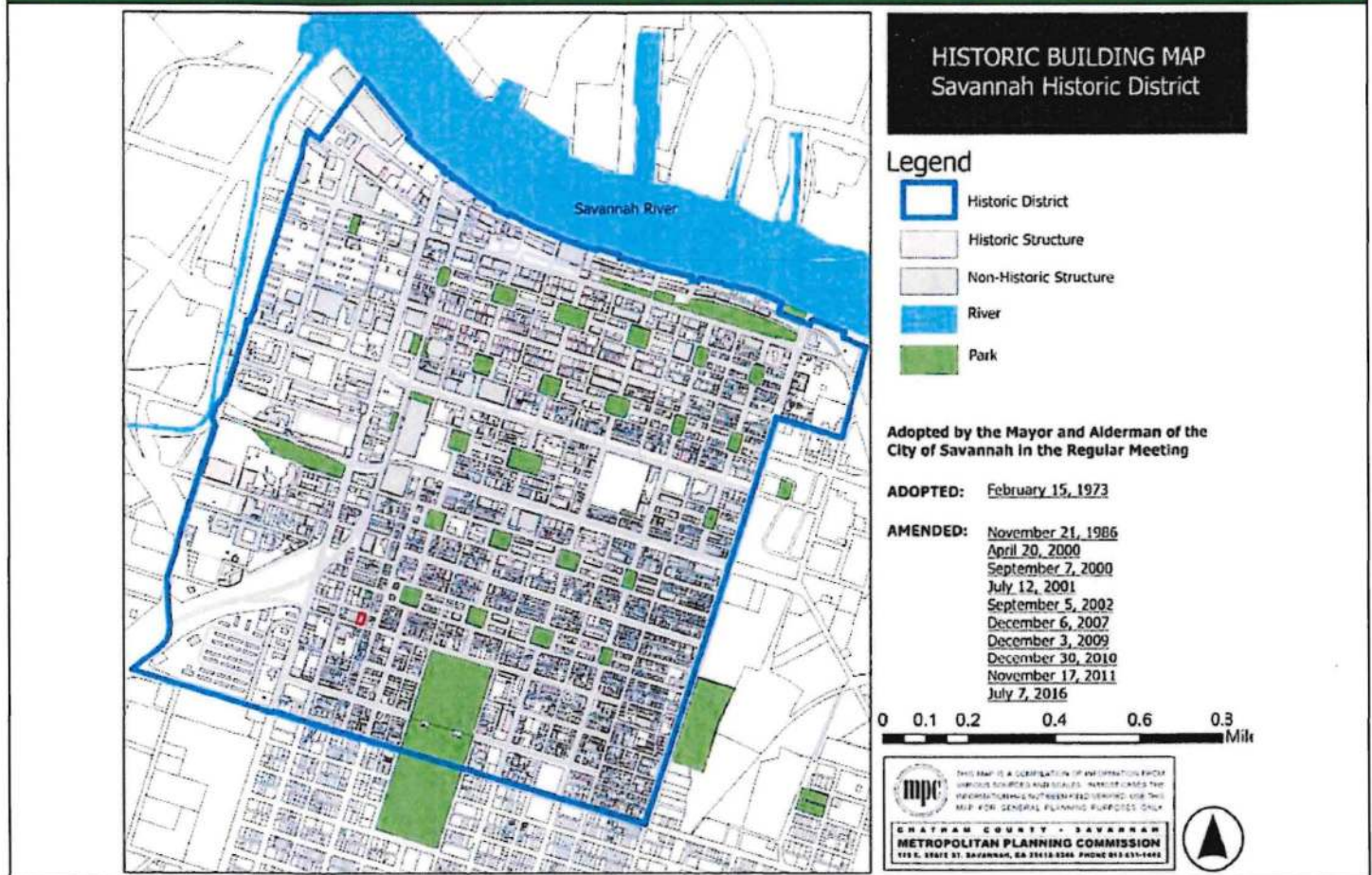
7.8.3 Relationship to Zoning Districts

For all properties within the boundaries of the Savannah Downtown Historic District, the regulations for both the base zoning district and this overlay district shall apply.

7.8.4 Classification of Resources

All buildings, structures sites and objects, collectively known as resources, within the Savannah Downtown Historic District shall be identified as contributing and non-contributing. Contributing resources shall be shown on the "Savannah Downtown Historic District Contributing Resources Map" (Fig. 7.8-1A) adopted by the Mayor and Aldermen.

Figure 7.8-1A Savannah Downtown Historic District Contributing Resources Map



Commentary: Contributing buildings, structures, sites and objects are identified on the contributing resources map for a local historic district. At the time of adoption of a historic district or a historic property, a Historic Preservation Plan is adopted that includes the contributing resources map.

(Ord. of 10-10-2019(37), § 1, Ord. of 3-9-2023(20), § 1)

Effective on: 3/9/2023

7.8.5 Period of Significance

The Period of Significance for the Savannah Downtown Historic District is 1733-1960.

(Ord. of 10-10-2019(37), § 1)

Effective on: 10/10/2019

7.8.6 Certificate of Appropriateness Required

Prior to the commencement of certain work, as identified in Sec. 3.19, Certificate of Appropriateness for the Savannah Downtown Historic District, an approved Certificate of Appropriateness is required.

7.8.7 Criteria for a Certificate of Appropriateness

The Historic Board of Review or the Planning Director shall review and take final action on a proposed Certificate of Appropriateness by applying the applicable standards and criteria below. Depending on the specific nature of the proposed material change, one or more of the standards and criteria may apply. The application for a Certificate of Appropriateness will indicate which standards and criteria apply based on the work proposed.

- a. Secretary of the Interior's Standards and Guidelines for Rehabilitation (Sec. 7.8.8)
- b. Visual Compatibility Criteria (Sec. 7.8.9);
- c. Savannah Downtown Historic District Design Standards (Sec. 7.8.10);
- d. Relocation Standards (Sec. 3.19.9);
- e. Demolition Standards (Sec. 3.19.9);
- f. Sign Standards (Sec. 9.9); and
- g. Subdivision and Recombination Standard (7.8.12).

(Ord. of 12-19-2023(6), § 1)

Effective on: 12/19/2023

7.8.8 Secretary of the Interior's Standards and Guidelines for Rehabilitation

Material changes to contributing resources and resources that are eligible for listing as contributing shall be evaluated by use of the current edition of the Secretary of the Interior's Standards and Guidelines for Rehabilitation as published by the U.S. Department of the Interior. In considering proposals for alterations to contributing resources, the documented original design of the resource may be considered.

7.8.9 Visual Compatibility Criteria

To maintain the special character of the Savannah Downtown Historic District as identified in the architectural survey and visual analysis, new construction and any material change in appearance shall be consistent with the standards, criteria and guidelines developed for the district. The applicable criteria below shall be used to assess new construction and material changes. These criteria shall not be the basis for appeal to any board, commission or administrator described in this Ordinance, or to the Mayor and Aldermen.

a. Height

New construction shall be permitted to build to the number of stories as shown on the "Savannah Downtown Historic District Height Map," referred to herein as "Height Map," (Fig. 7.8-4; see Sec. 7.8.9.b. Height) and the overall height of a building and the height of individual components of a building or structure shall be visually compatible to the contributing buildings and structures to which it is visually related.

b. Proportion of front façade

The relationship of the width of a building or structure to the height of its front facade shall be visually compatible to the contributing buildings and structures to which it is visually related.

c. Proportion of openings

The relationship of the width of the windows to height of windows within a building or structure shall be visually compatible to the contributing buildings and structures to which it is visually related.

d. Rhythm of solids to voids in front facades

The relationship of solids to voids in the facades visible from the public right-of-way shall be visually compatible with the contributing buildings and structures to which it is visually related.

e. Rhythm of structures on streets

The relationship of a building or structure to the open space between it and adjacent buildings or structures shall be visually compatible with the open spaces between contributing buildings and structures to which it is visually related.

f. Rhythm of entrance and/or porch projection

The relationship of entrances, porch projections, and walkways to buildings or structures shall be visually compatible with the contributing buildings and structures to which they are visually related.

g. Relationship of materials, texture and color

The relationship of materials, texture and color of the facade of a building or structure shall be visually compatible with the predominant materials, textures, and colors used on contributing buildings and structures to which the structure is visually related.

h. Roof shapes

The roof shape of a building or structure shall be visually compatible with the contributing buildings and structures to which it is visually related.

i. Walls of continuity

Brick walls, wrought iron fences, landscape masses, building facades, or combinations of these shall be visually compatible with the contributing buildings, structures and objects to which they are visually related and shall form continuous walls of enclosure along the street.

j. Scale of a building

The mass of a building or structure and size of windows, door openings, porches column spacing, stairs, balconies and additions shall be visually compatible with the contributing buildings and structures to which the structure is visually related.

k. Signs

Signs, where permitted, shall be visually compatible with contributing buildings and structures to which they are visually related.

l. Directional expression of front elevation

A building or structure shall be visually compatible with the buildings and structures to which it is visually related in its directional character, including vertical character, horizontal character, or non-directional character.

Commentary: *Structural shape, placement of openings, and architectural details may give a predominantly vertical, horizontal, or a non-directional character to the building's front façade. For example, a skyscraper would have a vertical character and a one-story ranch house would have a horizontal character.*

7.8.10 Savannah Downtown Historic District Design Standards

The intent of these standards is to ensure appropriate new construction, additions, and alterations within the Savannah Downtown Historic District. They are not intended to promote copies of the architectural designs of the past, but to encourage contemporary designs that protect and complement existing contributing resources. They are further intended to protect the historic integrity of the contributing resource.

The following design standards shall apply to new construction, additions, alterations to contributing and non-contributing buildings and structures, unless otherwise specified. Though certain building materials are prescribed herein, the Board may approve alternative materials that are not listed as prohibited upon a showing by the applicant that the material or product is visually compatible with historic building materials and has performed satisfactorily in the local climate.



For the purposes of evaluating the visual compatibility and design standards of exterior fenestration, where voids (windows, doors, and storefronts) in the exterior façade are substantially blocked by interior walls or built-in furniture, these may be considered part of the exterior wall if they are built within three feet of the exterior wall. For example, if an interior wall is built abutting the storefront, that interior wall is impacting the exterior design of the fenestration and may be subject to review by the Historic Board of Review.

a. Streets and Lanes

- i. Development shall preserve or reconstruct the historic ward pattern of streets and lanes within the Oglethorpe Plan Area. The Oglethorpe Plan Area is that portion of the Savannah National Historic Landmark District comprised of the city plan, established by James Oglethorpe in 1733 and continued until 1851, that is unique to Savannah for its system of wards containing a series of urban blocks divided by streets and lanes with a central public square. For the purpose of this section, a square is a common public open space in the center of a ward, typically one (1) acre in size.
- ii. The Oglethorpe Plan Area is bounded by the centerline of the following streets: Gaston Street on the south, Bay Street on the north, Martin Luther King, Jr., Boulevard on the west, and East Broad Street on the east as shown in Figure 7.8-3.
- iii. Within the Oglethorpe Plan Area, streets are classified as one of the following (Figure 7.8-2):

1. Service Street

A north-south street bounding the eastern and western perimeter of a ward, usually a one-way street.

2. Connecting Street

East-west streets and north-south streets that are internal to the ward, portions of which surrounds and forms the square.

3. Through Street

An east-west street bounding the northern and southern perimeter of a ward.

4. Trust Street

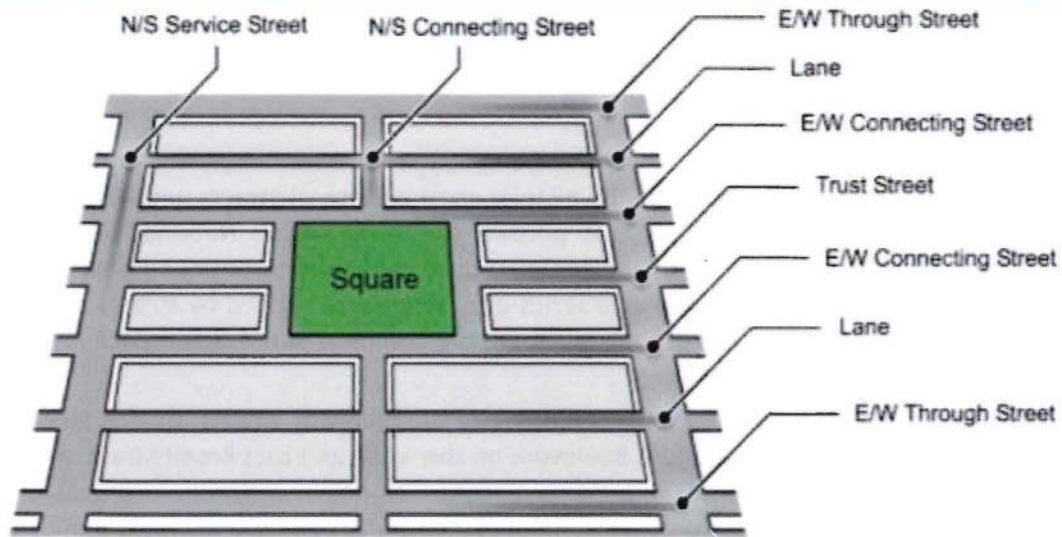
The east-west street between trust blocks.

5. Lane

The service corridor that divides a tithing block.



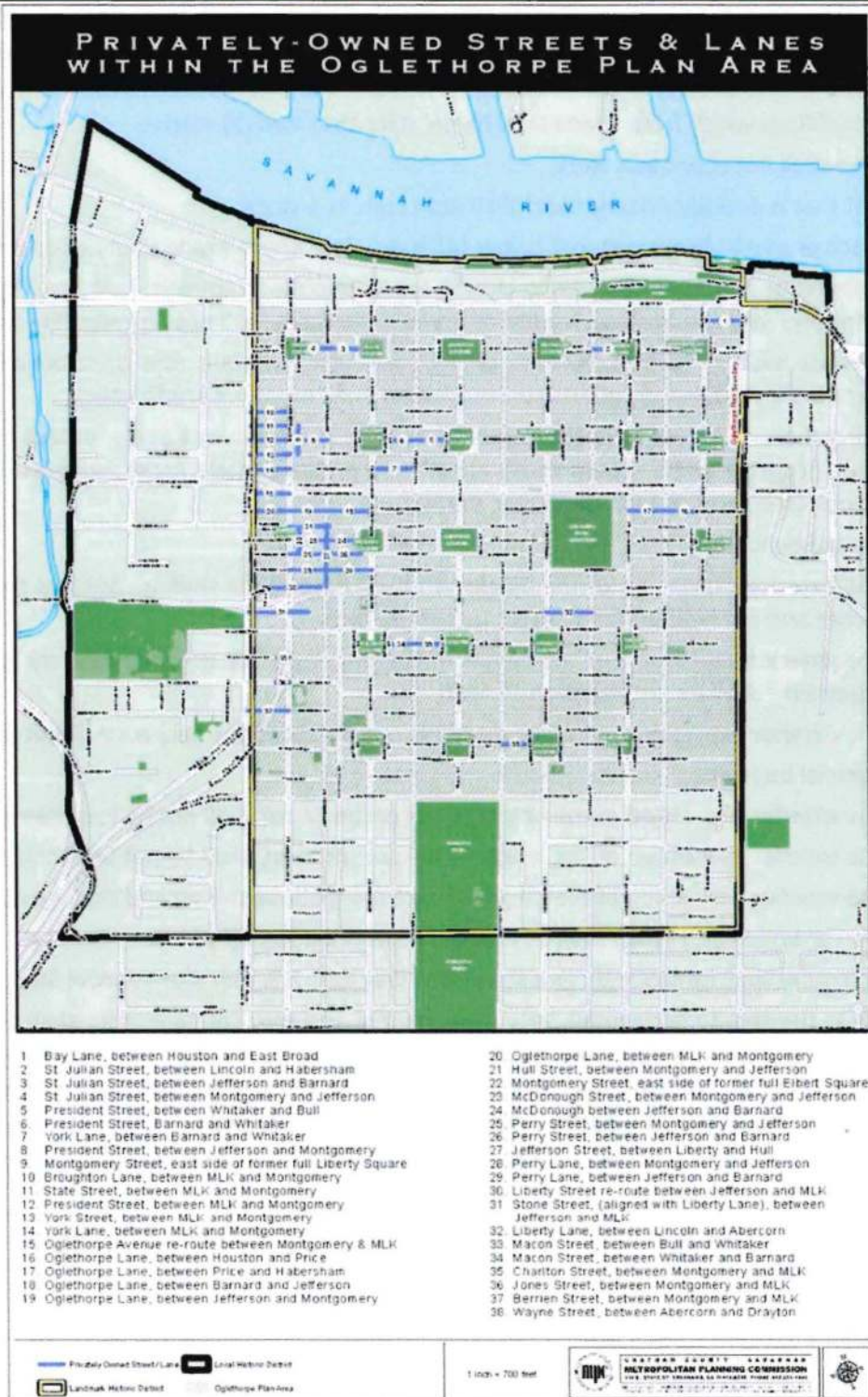
Figure 7.8-2 Oglethorpe Plan Area Street Types



- iv. Streets and lanes shall not be bridged, except for pedestrian bridges on Factors Walk. Such bridges shall be for pedestrian use only. Factors Walk bridges shall not be covered by a roof, awning, or any other type of extension from a building.



Figure 7.8-3 Closed or Privately-owned Streets and Lanes in the Oglethorpe Plan Area



b. Height

The number of stories as shown on the Height Map (Fig. 7.8-4) shall be permitted. Variances from the Height Map shall not be permitted. Additionally, the following standards shall apply:

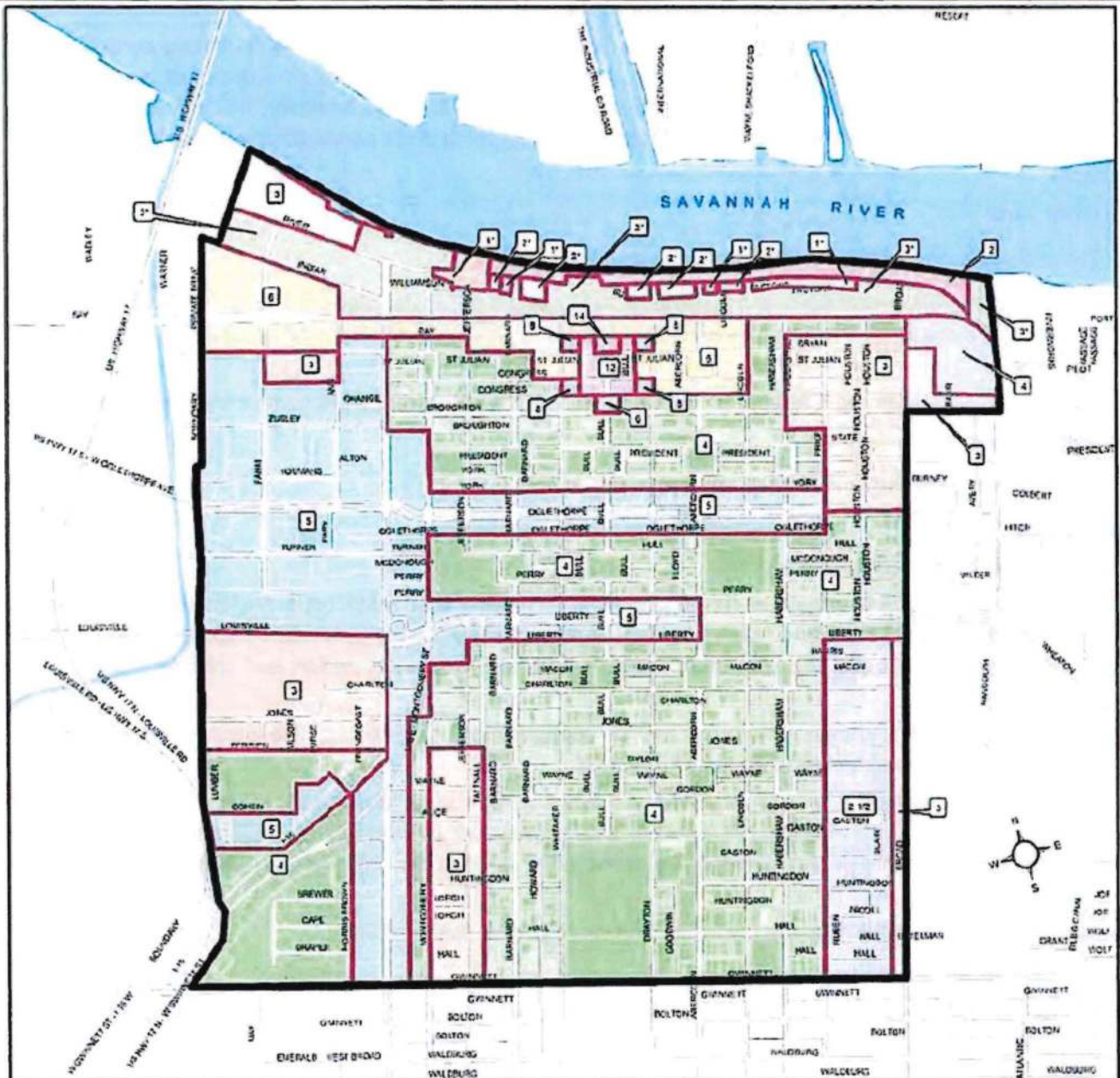
- i. Large-Scale Development shall also be subject to the provisions of Sec. 7.8.10.t., Large-Scale Development.

ii. Stories are further clarified as follows:

1. Buildings throughout the Savannah Downtown Historic District, which front a street, shall be at least two (2) stories, except in the Beach Institute Character Area (Sec. 7.8.10.c., Character Areas) or for accessory buildings which front a lane.
2. Accessory buildings which front a lane shall be no taller than two (2) stories.
3. A mezzanine shall not count as a story.
4. A basement that is entirely underground shall not count as a story.
5. A crawl space or partial basement that is four (4) feet or less above grade shall not count as a story.
6. Non-habitable rooftop structures such as church spires; cupolas; chimneys; tanks and supports; parapet walls not over four (4) feet high; and mechanical or access structures shall not be considered a story.
7. Habitable space such as restrooms, bars, dining areas, etc. within a roof or structures above a roof used other than to enclose stairways or elevator machinery shall be considered a story.
8. In calculating the dimensions of a story, the following provisions shall apply, except in the case where the floor-to-floor heights can be shown to be historically predominately lower, such as in the Beach Institute Character Area (see Sec. 7.8.11.b. Character Areas).
 - a. Residential buildings
 - i. The exterior expression of the height of raised basements shall be not less than six (6) feet, six (6) inches and not higher than nine (9) feet six (6) inches.
 - ii. The exterior expression of the height of the first story, or the second story in the case of a raised basement, shall be not less than 11 feet.
 - iii. The exterior expression of the height of each story above the second shall not be less than 10 feet.
 - b. Commercial buildings
 - i. The exterior expression of the height of the ground floor shall not be less than 14 feet, six (6) inches.
 - ii. The exterior expression of the height of the second story shall be not less than 12 feet.
 - iii. The exterior expression of the height of each story above the second shall be not less than 10 feet.
9. For commercial buildings, stories shall be configured as provided below:
 - a. The first story shall be designed as a storefront (See Sec. 7.8.10.h. Commercial Storefronts).
 - b. Subdivide the facade horizontally into base, middle and top. The first story shall be separated from the upper stories by an architectural feature such as a string course (i.e. projecting horizontal band) or change in material. Such features may be placed at the top of the second story when the first and second stories have the visual appearance of a unified exterior expression.
 - c. The height of the first story shall not be less than the exterior visual expression of the height of any single story above the first story.
 - d. The exterior visual expression of the top story of buildings over three (3) stories shall be distinctive from the stories below the top story.



Figure 7.8-4
Savannah Downtown Historic District Height Map



*Denotes the maximum number of stories above Bay Street as measured at City Hall.

c. Building Form

Building form is based on the height, mass and envelope of a building. The proposed building form for new construction shall comply with the following:

- i. A proposed building on an east-west connecting street shall utilize a contributing building form located within the existing block front or on an immediately adjacent titling or trust block.
- ii. A proposed building located on an east-west through street shall utilize a contributing building form fronting the same street within the same ward or in an adjacent ward.



- iii. A proposed building located on a trust block which fronts into a titling block shall utilize a contributing building form within such trust block. If, however, no contributing buildings exist on such trust block, a contributing building form from the titling block across the street shall be utilized.
- iv. A proposed building located on a trust block which fronts another trust block shall utilize a contributing building form from the same trust block. If, however, no contributing building exists on the trust block, a contributing building form from the trust block across the street shall be utilized. If, however, no contributing building exists on such trust block, a contributing building form from the titling block across the street shall be utilized.

d. Setbacks

i. Front yards

There shall be no front yard setbacks except as follows:

- 1. On titling lots where there is a historic setback along a particular block face, such setback shall be provided. For the purpose of this Section, a historic setback is the average of the contributing buildings along a block face.
- 2. On a trust lot fronting a square, proposed buildings may establish a front yard setback not to exceed 20 feet.

ii. Side and rear yards

Side and rear yard setbacks shall not be required.

e. Foundations

i. Alterations to contributing resources

- 1. Foundations shall be repaired with in-kind materials rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director and the new foundation shall be of the same materials and configuration as the original foundation.
- 2. If the original foundation material and/or configuration is unknown, the new foundation material and configuration shall be based on historic context.
- 3. The space between piers may be filled with heavy gauge wood lattice with at least one-half (0.5) inch thick lattice boards, horizontal boards, brick, or true stucco over concrete block. Infill material shall be recessed a minimum of three inches behind the front edge of the pier so that the piers are clearly visible and differentiated.

ii. New construction, alterations to non-contributing resources and additions

1. Configuration

Beneath a wood frame building, the foundation shall be recessed and not project forward of the building plane.

2. Materials

- a. Foundations piers shall be constructed of brick, stone, or true stucco over concrete block piers.
- b. The space between piers may be filled with wood lattice, horizontal boards, brick, or true stucco over concrete block. Infill material shall be recessed a minimum of three (3) inches behind the front edge of the pier so that the piers are clearly visible and differentiated.

f. Exterior Walls

i. Alterations to contributing resources

1. Materials

- a. Exterior walls shall be repaired with in-kind materials rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and



verified by the Planning Director, and the replacement materials and configuration shall be of the same materials and configuration as the original wall.

b. Prohibited

- i. Materials that cause damage, obscure, or change the appearance to the underlying historic fabric are prohibited.
- ii. Vinyl siding, aluminum siding, rolled asphalt, precast concrete panels, fiber cement wood simulated horizontal lap siding, fiber cement panels, EIFS, T-111, ceramic-based coatings and sealers on siding.

2. Finishes and Treatments

- a. Color changes to contributing resources shall be historically appropriate.
- b. Ceramic based coatings and sealers on wood siding shall not be permitted.
- c. Cleaning, when undertaken, shall be so as not to damage historic fabric. Sandblasting and disk sanding shall not be permitted.

ii. New construction, alterations to non-contributing resources and additions

1. Configuration

On lots less than 60 feet in width the front face shall be constructed so as to form a continuous plane parallel to the street. Bays and porches attached to such elevation may project streetward of the plane.

2. Materials

a. Permitted materials

- i. Residential exterior walls shall be finished in brick, wood, or fiber cement siding with a smooth finish or true stucco. Commercial exterior walls shall be finished in brick, true stucco, concrete formed or assembled as stone, precast concrete panels with finish to simulate stucco texture, polished stone and glazed brick or tile where similar historic examples exist along the same block front.
- ii. Wood or fiber cement siding shall be permitted on townhouses only in wards where wood-sided townhouses already exist or where more than 75% of the lot frontage in the ward contains wood-sided buildings. Where wood siding has been determined to be appropriate, smooth finish fiber cement siding may be used.

- b. Prohibited materials: Vinyl siding, aluminum siding, rolled asphalt, EIFS, one-part stucco, T-111, corrugated metal, unpainted exposed CMU blocks, fiber cement panels, ceramic-based coatings and sealers on siding.

3. Finishes and Treatments

Colors, stains, and finishes shall be visually compatible with contributing resources within the block. If none exist, the color shall be compatible with contributing resources within the ward.

g. Entrances and Doors

i. Alterations to contributing resources

- 1. Doors shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation of the door shall be photographically documented and verified by the Planning Director, and the new door shall be of the same material and configuration as the original.
- 2. If the original door material and/or configuration is unknown, or if a new door is proposed in an unoriginal opening, the new door material and configuration shall be based on historic context.

ii. New construction, alterations to non-contributing resources and additions

1. Location

a. Trust Lots

- i. A building on a trust lot facing a square shall locate its primary entrance to front the square.

- ii. A building on a trust lot not facing a square shall locate its primary entrance so that it fronts the same street as other contributing buildings on the same block.
- b. Tithing Blocks: A building on a tithing block shall locate its primary entrance to front the east-west street.
- c. Broughton Street: A building on Broughton Street shall locate its entrances at no greater intervals than 50 feet; provided, however, that for a corner entrance the interval to the next entrance may be increased to 60 feet.
- d. North of Broughton Street: North of Broughton Street, a corner building located adjacent to a north-south service street shall have an entrance on the service street.
- e. East-West Connecting Street: A building along an east-west connecting street fronting a square shall entrances at intervals not to exceed 50 feet.
- f. Corner Entrance: An angled entrance shall only be permitted at intersections of streets or lanes.
- g. If none of the above conditions apply, the building entrance shall be consistent with contributing buildings within the context.

2. Configuration

Door frames shall be inset not less than three (3) inches from the exterior surface of the façade of a building, excluding facades with wood siding.

3. Materials

- a. Permitted: Glass, wood, clad wood or steel (without wood grain simulation). See Sec. 7.8.10.h Commercial Storefronts.
- b. Prohibited: Vinyl; sliding glass doors visible from a street; steel-pressed doors simulating wood grain, half-moon, semi-circular, diamond or similar light insets; boarded-up doors or entrances.

h. Windows, Shutters and Commercial Storefronts

i. Windows

1. Alterations to contributing resources

- a. Windows shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation of each window shall be photographically documented and verified by the Planning Director, and the new window shall be of the same materials and configuration as the original (including single-gazed and true-divided lights, when appropriate).
- b. If the original window material and/or configuration is unknown, or if a new window is proposed in an unoriginal opening, the new window material and configuration shall be based on historic context.
- c. The boarding of windows and/or window openings shall not be permitted (see Sec. 3.20, Proactive Preservation, contributing buildings for temporary boarding). Windows and frames shall be weather-tight and free from cracks. Openings shall contain windows, doors, or storefronts.

2. New construction, alterations to non-contributing resources and additions

a. Configuration

- i. All windows facing a street, exclusive of storefronts, basement and top story windows, shall be rectangular and shall have a vertical to horizontal ratio of no less than 5:3; provided, however, nothing in this section precludes an arched window being used. Accent windows may be round or other shapes.
- ii. Windows facing a street shall be double or triple hung, awning, casement or Palladian.
- iii. The boarding of windows and/or window openings shall not be permitted; however, exceptions may be made for emergency situations as provided in Sec. 3.19, Certificate of Appropriateness for the Savannah Downtown Historic District. Windows and frames shall be weather-tight and free from cracks. Openings shall contain windows, doors, or storefronts.



- iv. The centerline of the window and door openings all align vertically.
- v. Double glazed, simulated divided light, windows shall be permitted provided that the following are met:
 - i. The muntin is 7/8 inches or less,
 - i. The muntin profile shall simulate traditional putty glazing,
 - ii. The lower sash rail shall be wider than the meeting and top rails,
 - iii. There shall be a spacer bar in between double panes of glass, and
 - iv. Extrusions shall be covered with appropriate molding.
 - vi. Between-the-glass, snap-in or applied muntins shall not be permitted.
 - vii. Framing members shall be covered with appropriate trim; trim shall feature a header, surrounds, and pronounced sill where appropriate.
 - viii. Window sashes shall be inset a minimum of three (3) inches from the façade of a building, excluding exterior surfaces with wood siding.
 - ix. The distance between windows shall not be less than for adjacent contributing buildings, nor more than two (2) times the width of the windows on primary facades. The Board may waive strict compliance with this standard where historic precedent exists within the visually-related context and is visually compatible.
 - x. Paired or grouped windows shall be permitted, provided the individual sashes have a vertical to horizontal ratio of not less than 5:3.
 - xi. Bay windows shall extend to the ground unless they are oriel, beveled or are supported by brackets.

b. Materials

- i. Window casings and sashes shall be made of metal, wood or clad wood material.
- ii. Window glass shall be transparent with no dark tints or reflective effects (except for stained glass windows). This provision does not preclude the use of Low Emissivity glass.
- iii. Solid vinyl windows shall be prohibited.

ii. Shutters

- 1. Exterior shutters shall consist of a durable wood.
- 2. Shutters shall be hinged and operable and sized to fit the window opening.
- 3. The placement of the horizontal rail(s) shall correspond to the location of the meeting rail(s) of the window.

iii. Commercial Storefronts

1. Alterations to contributing resources

- a. Original storefronts shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director, and the new storefront shall be the of same materials and configuration as the original.
- b. If the original storefront material and/or configuration is unknown, the new storefront material and configuration shall be based on historic context.

2. New construction, alterations to non-contributing resources and additions

a. Configuration

- i. The first story of a commercial building (except buildings with offices on the ground floor) shall be designed as a storefront.



- ii. Storefront area glazing shall be not less than 55% of surface area. Such glazing shall be transparent; provided, however, opaque glass may be used in the storefront window transoms. Storefront glazing shall extend from the sill, or from an 18-24 inch base of contrasting design or material to the lintel.
- iii. Storefront glazing in subdivided sashes shall be inset a minimum of four (4) inches from the face of the building; provided, however, that continuously glazed storefronts may be flush with the face of the building.
- iv. Entrances fronting Broughton Street shall be recessed and centered within the storefront.

b. Materials

- i. Storefronts shall be constructed of wood, cast iron, Carrera glass, aluminum, steel or copper as part of a glazed storefront system.
- ii. Storefront bases shall consist of wood, bronze, masonry, glazed brick or tile.
- iii. Exterior burglar bars, fixed "riot shutters", roll-down shutters, or similar security devices shall not be permitted.

i. Porches, Stoops, Balconies, Porticos, Exterior Stairs and Decks

i. Alterations to contributing resources

- 1. Porches shall be repaired rather than replaced, provided however, if the degree of degradation does not allow for repair, the degradation shall be photographically documented and verified by the Planning Director, and the new porch materials and configuration shall be the same of the same materials and configuration as the original.
- 2. If the original porch material and/or configuration is unknown, the new porch material and configuration shall be based on historic context.
- 3. Front porches shall not be enclosed. Historic side and rear porches may be screened with fine wire mesh, lattice or shutters, provided the porch continues to read as a porch and character defining features (including but not limited to columns, balustrades, entablature, etc.) are retained and not obscured or damaged. Historic rear porches may also be enclosed with glazing.
- 4. Prohibited materials: Fiberglass (including Perma-Cast), vinyl and PVC.
- 5. Wrought iron brackets shall not be used with wood balcony railings.

ii. New construction, alterations to non-contributing resources and additions

Porches, stoops, balconies, porticos and exterior stairs within the public right-of-way may be permitted with the approval of the encroachment by the Mayor and Aldermen and provided that the following criteria are met:

1. Configuration

- a. Wood portico posts shall have a cap and base molding. The column capital shall extend outward of the porch architrave.
- b. Balusters shall be placed between the upper and lower rails, and the distances between balusters shall not exceed four inches on center. The height of the railing shall not exceed 36 inches for single- and two-family dwelling units.
- c. Stoop heights shall be visually comparable to other historic stoops to which they are visually related and shall not exceed nine (9) feet, six (6) inches.
- d. Infill between foundation piers shall be recessed so that the piers are distinguishable.
- e. Residential balconies shall not extend more than three (3) feet in depth from the face of a building and shall be supported by brackets of other types of architectural support.
- f. Decks shall be screened from view from the street and shall be stained or painted to blend with the colors of the main building.

g. New exterior basement stairs may be established in the D-CBD district with approval of the encroachment by the Mayor and Aldermen and provided the following criteria are met:

- i. A minimum of three (3) feet of unobstructed sidewalk shall be maintained between the edge of the exterior basement stairs and the tree lawn. A minimum of six (6) feet shall be maintained if no tree lawn exists. No portion of any tree lawn may be used for exterior basement stair space.
- ii. New exterior basement stairs shall be located only on a secondary façade.
- iii. An exterior basement stair shall not dominate the façade or interfere with the visual expression or architectural features of a building.

2. Materials

- a. On porches, porticos and stoops, if proposed, piers and base walls shall be the same material as the foundation wall facing the street.
- b. Porch elements shall be constructed of brick, painted or stained wood, wood composite, precast stone, marble, sandstone or slate.
- c. Supported front porticos shall be constructed of wood unless the proposed material matches other façade details on the same building, such as terracotta, marble or metal.
- d. Prohibited material: Vinyl.
- e. Wrought iron brackets shall not be used with wood balcony railings.

j. Awnings, Canopies and Shade Structures

Awnings, canopies and shade structures within the public right-of-way may be permitted with the approval of the encroachment by the Mayor and Aldermen and provided that the following criteria are met:

i. Configuration

- 1. Installations extending above the public right-of-way shall have a minimum vertical clearance of eight (8) feet above the sidewalk.
- 2. Awnings and canopies shall be structurally and architecturally integrated into the design of the façade.
- 3. Installations shall not obscure character-defining features.
- 4. Back-lit (internally lit) awnings shall be prohibited.
- 5. Awnings shall not connect two (2) façades.
- 6. Prefabricated shade structures not specifically custom designed for a particular site or building shall be located to the rear of the property, minimally visible, or screened from view. The maximum height shall be 11 feet and the maximum area shall be 100 square feet on any property, unless specifically required by state law for playground equipment. Colors shall be neutral.

ii. Materials

- 1. Installations shall be constructed of canvas, cloth or equivalent, metal, or glass.
- 2. Supports shall consist of metal or wood. PVC shall not be permitted.

k. Roofs

i. Contributing Resources

1. Configuration

- a. Original roof configuration shall be maintained.
- b. Skylights, roof decks, pergolas and roof vents shall be permitted only on the roof plane opposite the street, or when screened from public view and shall not damage or obscure character-defining features.
- c. Dormers shall not damage or obscure character-defining features and shall reinforce the existing historic window pattern.

2. Materials



- a. Original roof material shall be repaired rather than replaced, provided however, if the degree of degradation does not allow repair, the degradation shall be photographically documented and verified by the Planning Director, and the new roof shall be of the same material and configuration as the original (except wood or asbestos).
- b. Metal roofs shall have a metal drip edge covering all edges.

ii. New construction, alterations to non-contributing resources and additions

1. Configuration

- a. Gable and hip roofs pitches shall be between 4:12 and 8:12. Gable and hip roofs in excess of 8:12 pitch shall be permitted only where a similar contributing building roof pitch exists within the same block front.
- b. Pitched roofs parallel to the street with less than 4:12 pitch shall have an overhang and be bracketed or have a similar projecting eave detail, or be screened from the street by a parapet wall.
- c. Shed roofs, and porch roofs, subordinate and attached to the primary building, shall be pitched between 2:12 and 6:12. Where historically appropriate, flat roofs may be utilized.
- d. Parapets shall have a stringcourse and a coping.
- e. Mansard roofs shall slope from all four sides to a flat or low hipped plane, shall have a molded cornice both above and below the lower roof slope, and shall be used only in conjunction with a habitable story.
- f. Skylights and roof vents may be permitted if integrated into roof design.
- g. Pergolas and roof decks shall not be permitted on the street façade.
- h. Eaves shall extend no less than 12 inches beyond the supporting walls.
- i. Gable end rakes shall overhang at least eight (8) inches.
- j. Eaves and rakes on accessory buildings and dormers shall overhang at least eight (8) inches.
- k. Soffits shall be placed perpendicular to the building wall, not sloping in plane with the roof (except for gable end rakes).
- l. Applied mansard roofs shall not be permitted.

2. Materials

- a. Roof coverings shall be standing seam metal, v-crimp, slate or equivalent synthetic, tile, or architectural asphalt or similar shingles.
- b. Metal roofs shall have a metal drip edge covering all edges.
- c. Rooftop gardens or green roofs, as defined by City Code Part 8 (Planning and Regulation of Development), Article F (Green Roofs) shall be permitted.

I. Additions to Contributing Resources

Additions shall comply with the above standards and the following standards:

- i. Additions shall not be on the primary or front façade of the resource, and shall be located to the rear of the resource or the most inconspicuous façade.
- ii. Additions shall be subordinate in height and mass to the resource.
- iii. Additions shall not obscure or damage any character-defining features.
- iv. Additions to roofs shall not be visible from the front elevation.
- v. An addition shall be sited such that it is clearly an appendage and distinguishable from the contributing building.
- vi. Additions shall be reversible with minimal damage to the contributing building.

m. Accessory Structures

Accessory structures, including accessory dwellings, shall comply with the Visual Compatibility Criteria, the above design standards, the requirements set forth in Sec. 8.7, *Accessory Structures and Uses*, except as provided below:

Commentary: *The term accessory dwelling also includes carriage houses.*

i. Configuration

Accessory structures shall be located in the rear yard even if there is no lane access.

1. The height and mass of the primary building shall not be exceeded by any accessory building or structure on the same parcel.
2. Accessory buildings and structures shall not be more than two (2) stories tall.
3. Where contributing accessory dwellings are to be expanded in depth, such expansion shall not occur on the lane façade of the building.
4. New accessory dwellings and garages may have up to a five (5) foot lane setback to allow a turning radius into the garage.
5. Roofs shall be side gable, hip with parapet, flat or shed with parapet.
6. Driveway aprons shall not be erected on the public right-of-way.

ii. Doors and Openings

1. In contributing accessory dwellings or accessory structures, original entry dimensions shall not be modified.
2. Where garage doors front streets or are adjacent to sidewalks, they shall resemble carriage house doors.
3. Garage openings shall not exceed 12 feet in width.

n. Satellite Dishes

- i. Ground mounted satellite dishes shall not be located in a front yard.
- ii. Ground mounted satellite dishes in the side (street) yard shall be completely screened by a fence or wall or landscaping.
- iii. Building mounted satellite dishes shall not be located on a street fronting façade (except lanes).

o. Fuel Canopies

- i. The entire canopy, including columns and roof, shall be architecturally compatible with the design of the principal building.
- ii. The entire canopy, including columns and roof, shall be constructed of building materials consistent with the principal building, and should be complementary to the overall color scheme of the building façade from which it projects.
- iii. A canopy may be counted toward the building frontage requirements, if applicable to the district, only where the spacing of columns along the frontage is no greater than 20 feet and where the columns are placed at the edge of the canopy.

p. Mechanical Equipment and Refuse

Mechanical equipment and refuse shall comply with Sec. 9.5.3, *Screening of Service Areas*, except as provided below.

- i. Electrical vaults, meter boxes, communications devices, and similar equipment shall be located on the secondary and/or rear façades and shall be minimally visible from view.
- ii. Roof mounted equipment and HVAC units shall be screened from view from the public right-of-way.
- iii. Through-the-wall air conditioners may be installed in new construction when they are incorporated into the design and screened by a decorative grate.
- iv. Refuse storage areas shall be located within a building or to the side or rear of the building and screened from the public right-of-way.

- v. Alternative energy source devices may be permitted on new construction and non-contributing resources. Such devices may be permitted on contributing resources provided they are not visible from a street fronting elevation and do not damage or obscure any character-defining features.

q. Lighting

In addition to the requirements set forth in [Sec. 9.8, Lighting](#), the following standards apply:

i. Configuration

Light fixtures shall be compatible with the scale of the subject property and with the character of the district.

ii. Materials

Light fixtures shall be constructed of metal and/or glass.

iii. Source Type

White light source only.

r. Parking and Paving

In addition to the requirements set forth in [Sec. 9.3, Off-Street Parking and Loading](#), parking and paving shall comply with the following:

- i. Parking areas shall be located in the rear yard. Properties on Trust lots or with double street frontage are exempt from this provision.
- ii. Vehicular access shall be from lanes or north-south service streets. When a property does not front a lane or north-south service street, parking may be accessed from east-west connecting streets or trust streets.
- iii. Structured parking within the first story of a building shall be setback a minimum of 30 feet from property lines along all public rights-of-way (not including lanes). This standard does not apply to structured parking on the same lot as single family and two family residential dwellings that are either on a corner lot with lane access or on a parcel that does not have access to a lane.
- iv. Curb cuts shall not exceed 20 feet in width. Loading areas for commercial development are exempt from this provision and shall be the minimum required.
- v. Loose paving materials, such as crushed shell or gravel, may be permitted provided that it is no closer than 18 inches of the public right-of-way.
- vi. Vehicle and pedestrian drop-off areas shall not be accommodated within the footprint of the building on the primary façade, unless the Board determines that there are site-specific constraints which require it.

s. Fences, Trellises and Walls

Fences and walls shall comply with [Sec. 9.6, Fences and Walls](#) except as provided below.

i. Configuration

- 1. Fences, trellises or walls shall not exceed 11 feet in height; however, where adjoining walls exceed 11 feet, any new wall may be constructed to the height of the existing wall. Rooftop trellises may exceed 11 feet in height, provided they are visually compatible.
- 2. Fences, trellises and walls shall not extend beyond the front façade of a building except in the following cases:
 - a. A building set back on a trust lot with a front garden;
 - b. A building set back on an east-west street with a front garden.
- 3. Where permitted, fences or walls shall not exceed 48 inches within the front yard.
- 4. A minimum of five (5) feet must be provided between a fence and a building where they are parallel.

ii. Materials



1. Fences and walls facing a public street shall be constructed of the material and color of the primary building; provided however, iron or extruded aluminum fencing may be used with a masonry structure.
2. Wood fences shall be painted or stained wood.
3. Trellises shall be wood, metal or wire.
4. A masonry base shall be used with iron or extruded aluminum fencing.
5. Prohibited: Chain-link, vinyl, PVC, corrugated metal, barbed wire, razor wire.

t. Large-Scale Development Standards

Large-Scale Development shall comply with the following standards. New construction on monumental buildings shall be exempt from Large-Scale Development Standards.

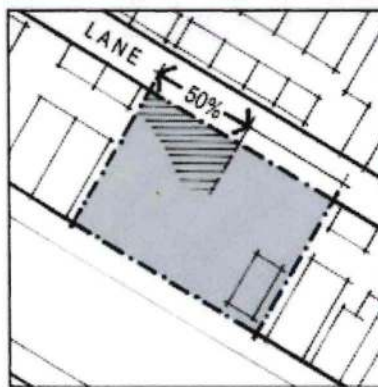
i. Visual Compatibility Criteria (Sec. 7.8.9).

ii. Design Standards (Sec. 7.8.10). Should there be a conflict, the Large-Scale Development Standards shall take precedence.

iii. Footprint

1. Building footprints shall not exceed 13,500 square feet within the National Historic Landmark District boundaries (see Fig. 7.8-3). Building footprints shall not exceed 40,500 square feet outside the National Historic Landmark District boundaries. Multiple buildings, as defined by Building Code, with building footprints equal to or less than maximum permitted may be constructed for shared use(s).
2. In D-N and D-R zoning districts, the building footprint shall occupy a minimum of 50% of the lot width along the lane (Fig. 7.8-5).

Figure 7.8-5



iv. Mass

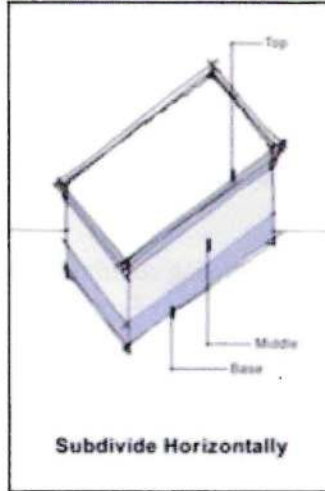
A minimum of two (2) of the following devices shall be incorporated into the design:

1. Subdivide Horizontally (for residential buildings only).

Subdivide the façade horizontally into base, middle, and top (Fig. 7.8-6). The first story shall be separated from the upper stories by an architectural feature such as a string course (i.e., a projecting horizontal band) or change in material. Such architectural feature may be placed at the top of the second story when the first and second stories have the visual appearance of a unified exterior expression.



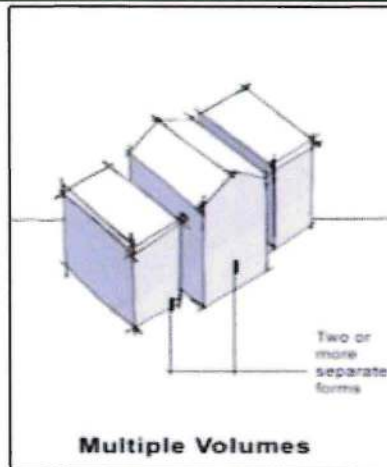
Figure 7.8-6



2. Multiple Volumes

Use multiple detached volumes made up of two (2) or more separate forms to break up the building into two (2) or more structures (Fig. 7.8-7).

Figure 7.8-7

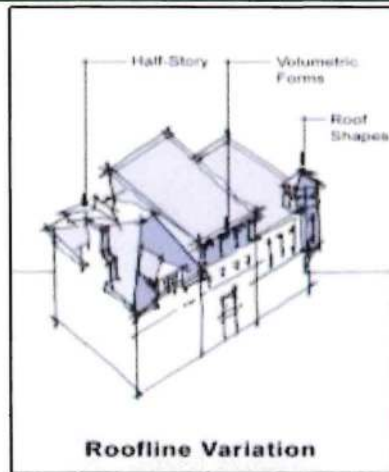


3. Roofline Variation

Frontage may be continuous, provided that the roofline shall be varied through the use of volumetric forms and roof shapes of varying heights. The roofline shall provide a minimum one-half story height variation within the street fronting façade (Fig. 7.8-8).



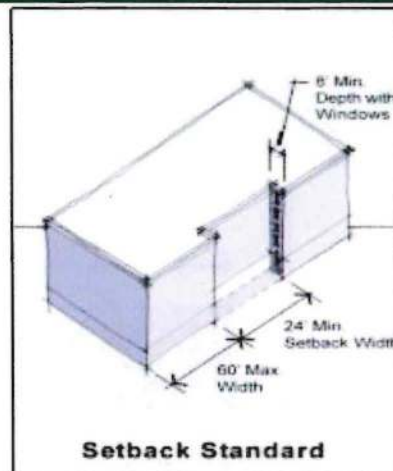
Figure 7.8-8



4. Setback Standard

Incorporate setbacks within the façade. Setbacks between street fronting walls shall be at least 24 feet wide and eight (8) feet deep and contain windows in the walls perpendicular to the street (Fig. 7.8-9). Setbacks shall extend to the ground or begin immediately above the ground floor.

Figure 7.8-9

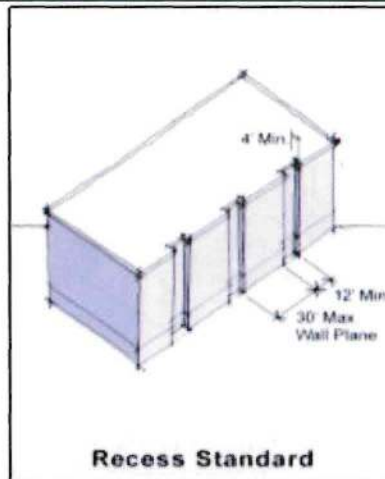


5. Recess Standard

Incorporate recesses within the wall plane. Building frontage is shall be limited to 30 feet with recesses of at least 12 feet in width and four (4) feet in depth (Fig. 7.8-10). Recesses shall extend to the ground or begin immediately above the ground floor.



Figure 7.8-10



v. Height

1. Large scale development shall be subject to the Height standards in Sec. 7.8.9.b. and the provisions of Table 7.8-1.

For the purposes of this Section, large scale development is any development whose combined ground floor footprint is equal to or greater than 9,000 square feet within a single parcel; or is four- (4) stories or greater than in D-N and D-R zoning districts; or, is five- (5) stories or greater in all other zoning districts within the Savannah Downtown Historic District. In the case of an addition to an existing building, the combined footprint and height of both the existing building and the addition located on the same parcel apply.

Table 7.8-1 Height Standards for Large Scale Development

	Historic Building	Roofline Variation	Lane
All D-N and DR Zoning Districts	Maximum height shall not exceed one (1) story greater than a principal contributing building (excluding non-contributing additions and appendages; see Contributing Resources Map) on same or abutting lot, for a minimum distance of 30 feet, provided that the height does not exceed limit on the Height Map (Figure 7-8.4).	Maximum frontage of 60 linear feet of continuous height shall be permitted before a minimum one-half story variation is required. This variation shall be expressed in the roofline.	Maximum height shall not exceed two (2) stories within 20 feet of a lane.
All other Zoning Districts		Maximum frontage of 120 linear feet of continuous height shall be permitted before a minimum one-half story variation is required. This variation shall be expressed in the roofline.	Maximum height shall not exceed two (2) stories within 20 feet of a lane when across the lane from a D-N and/or a D-R zoning district.



2. Additional stories above the Height Map for non-contributing Large-Scale Development.

- a. The following properties are eligible for an additional story on the area of the building that is unaffected by the standards in Table 7.8-1.
 - i. D-N and D-R Zoning Districts: A maximum of one (1) story above the Historic District Height Map may be permitted for properties located on Oglethorpe Avenue, Liberty Street, Trust Lots, and outside the National Historic Landmark District boundaries.
 - ii. All other Zoning Districts: A maximum of one (1) story above the Historic District Height Map may be permitted.
- b. Access above the bonus story shall be the minimum necessary for mechanical maintenance and repairs only. Only one point of access (excluding hatch access) shall be permitted above the bonus story.
- c. One or more of the criteria below must be met to qualify for an additional story:
 - i. An historic street or lane, as identified on Figure 7-8.2, is restored and dedicated to the City of Savannah as a public right-of-way;
 - ii. Affordable housing, as defined and quantified by the City of Savannah, is provided within the development and so certified by the City Manager;
 - iii. Multiple ground floor active uses (as defined) permitted in the base zoning district span the length of the façade on all street fronting elevations (not including lanes) and maintain individual primary exterior entrances. For rehabilitations, the active ground floor uses must replace previously inactive uses to qualify. Lobbies shall not occupy more than 30% of 60 linear feet (whichever is greater) on any primary façade. For buildings facing two or more streets, lobbies shall not occupy more than 50% of 90 linear feet (whichever is greater) on the secondary facades provided that the total linear feet of the lobby area on the street-facing exterior does not exceed 120 linear feet. At least 50% (linear measurement) of active use space shall be designed so that their primary entrance is only accessed from the exterior. Additionally, exterior building walls incorporate 100% modular masonry materials on all sides with the use of granite, marble, or other natural quarried stone over a minimum of 30 percent of all street fronting facades; or
 - iv. Achieve LEED Gold Certification, or verified equivalent, on the building. Substantial completion of certification requirements, and confirmation from the awarding agency, shall be required before a Certificate of Occupancy is issued. Additionally, exterior building walls incorporate 100% modular masonry materials on all sides with the use of granite, marble, or other natural quarried stone over a minimum of 30% of all street fronting facades.

vi. Exterior Walls

1. Configuration

- a. The frontage of buildings shall be divided into architecturally distinct sections no more than 60 feet in width with each section taller than it is wide.
- b. Exterior building walls shall use window groupings (including curtain walls), columns, and/or pilasters to create multiple bays not less than 15 feet nor more than 20 feet in width. The Board may vary this spacing requirement if historic precedent exists within the visually-related context and it is visually compatible.

2. Materials

- a. Required

Building walls on street fronting facades shall incorporate modular masonry materials in the form of brick, cast stone, stone, concrete formed or assembled as stone to achieve a human scale over a minimum of 75% of surface area (excluding windows, doors, and curtain walls). The remainder of wall surface may incorporate other materials (Sec. 7.8.10.f. Exterior Walls).

b. Prohibited

EIFS (Exterior Insulation Finishing System) shall be prohibited on wall surfaces and exterior details including, but not limited to, cornices, sills, lintels, window hoods, string courses and brackets.

vii. Entrances

Entrances for large-scale development shall comply with Sec. 7.8.10.g., Entrances and Doors. When those conditions do not apply, the following standards shall be met:

1. A minimum of one (1) primary entrance shall be provided for every 60 feet of street frontage, excluding lanes. Intervals between entrances shall not be less than 15 feet nor exceed 90 feet. On Trust Blocks, a minimum of one (1) primary entrance shall be provided for every 100 feet of street frontage.
2. Buildings greater than four stories and less than 60 feet wide located on a corner titling lot abutting a north-south connecting street shall locate primary entrances on both the east-west and north-south streets unless a corner entrance is utilized. Buildings greater than 60 feet in width shall have an entrance located on an east-west street regardless of the location of any other entrances.

viii. Windows and Doors

1. Configuration

a. Facades fronting streets shall incorporate windows over the following minimum percentage of surface area:

- i. Ground level commercial uses: 55%;
- ii. Ground level residential uses: 25%;
- iii. Ground level all other uses: 35%; and
- iv. Upper levels all uses: 20%.

b. Window sashes and door frames shall be inset not less than four (4) inches from all façade surfaces.

2. Materials

- a. Permitted: Wood, clad wood and metal windows.
- b. Prohibited: Solid vinyl windows.

ix. Refuse Storage Areas.

The refuse storage area shall be located within the building.

u. Monumental Buildings

Monumental buildings shall comply with the following:

- i. Visual Compatibility Criteria (Sec. 7.8.9).
- ii. The following Design Standards from Sec. 7.8.10
 1. Streets and Lanes;
 2. Height;
 3. Setbacks;
 4. Mechanical Equipment and Refuse;
 5. Lighting;
 6. Parking and Paving; and

7. Fences, Trellises and Walls.

(Ord. of 10-10-2019(37), § 1, Ord. of 05-14-2020(39), § 1, Ord. of 11-22-2022(11), § 1, Ord. of 9-12-2024(19), § 1, Ord. of 9-12-2024(21), § 1, Ord. of 11-7-2024(17), § 1)

Effective on: 11/7/2024

7.8.11 Character Areas

A Character Area is a predefined area within the Savannah Downtown Historic District that has special character-defining features that are unique to that area.

a. Factors Walk

- i. A unique historic area within the Savannah National Historic Landmark District distinguished by its access to the Savannah River, parks and green space, proximity to commercial and shipping industry structures, historical structures, and sloping cobblestone rights-of-way, and pedestrian bridges.
- ii. The boundaries of the Factors Walk Character Area shall be the centerlines as follows: Savannah River on the north; Bay Street on the south; Montgomery Street on the west and the East Broad Street on the east.
- iii. Development within the Factors Walk Character Area shall comply with the following:
 1. New construction along Factors Walk shall front both Bay Street and River Street at their respective levels. Entrances to uses above River Street shall be from upper and lower Factors Walk or from private property; provided, however, entrances to end units may front onto the public ramps.
 2. A 10-foot pedestrian setback shall be provided along the river's edge and on the north side of River Street.
 3. New construction north of River Street shall be placed perpendicular to the river.
 4. New construction on the north side of River Street shall not exceed two (2) stories in height.
 5. Buildings shall be made of brick, ballast stone or wood. The Board may approve alternative materials provided that the material is visually compatible with contributing buildings within the character area and has performed satisfactorily in the local climate.
 6. New construction on the south side of River Street shall not exceed three (3) stories or 45 feet above Bay Street.

b. Beach Institute

- i. A unique area within the Savannah National Historic Landmark District, Beach Institute is distinguished by its plan, architecture and historic ethnic diversity containing the greatest concentration of remaining one-story cottages. Originally part of privately owned garden lots, the area developed as a series of small neighborhood villages in the mid-19th century.
- ii. The boundaries of the Beach Institute Character Area shall be the centerline of the following streets: Liberty Street on the north; Gwinnett Street on the south; East Broad Street on the east and; Price Street on the west.
- iii. One (1) story buildings shall be permitted. All other parts of this Ordinance shall apply.

(Ord. of 10-10-2019(37), § 1)

Effective on: 10/10/2019

7.8.12 Subdivision and Recombination Standards

- a. The subdivision or recombination of lots shall be consistent with the prevailing historic context and lot patterns within the visually related context including, but not limited to, lot size, lot shape, and lot configurations.



b. Contributing resources on the same parcel shall not be subdivided or recombined unless the proposed results in the same parcel configuration that existed when one of the contributing resources was constructed.

(Ord. of 12-19-2023(6), § 1)

Effective on: 12/19/2023

7.8.13 Signs

Signage within the Savannah Downtown Historic District shall comply with Sec. 9.9, Signs. Special sign districts have been established for Factors Walk, Broughton Street and City Market Character Areas (Sec. 9.9.17).

(Ord. of 10-10-2019(37), § 1, Ord. of 12-19-2023(6), § 1)

Effective on: 12/19/2023

7.8.14 Maintenance of Contributing Resources

Resources shall be maintained in accordance with any property maintenance ordinances, nuisance abatement ordinances, this Ordinance (including Sec. 3.20, Proactive Preservation), and all other applicable ordinances and policies.

(Ord. of 12-19-2023(6), § 1)

Effective on: 12/19/2023



Andrew Jones <opc.preservation@gmail.com>

Opposition to 402 E. Broughton Street and Request for Improvements

Mary Agens

Mon, Jun 1, 2026 at 12:51 PM

To: "historic@thempc.org" <historic@thempc.org>

Cc: "opc.preservation@gmail.com" <opc.preservation@gmail.com>

Dear HDBR,

I respectfully urge you not to approve this application in its current state. Please instruct the applicant to comply with Design Standards and make the proposal more visually compatible with the 18th and 19th century structures that surround it.

I live in this area in the 500 block of Saint Julian Street, we enjoy one of the largest full time residential areas left downtown which exemplifies the Mayor's mission to first be a great place to live, without locals sustaining the city we lose so much and it's the strong community of the Old Fort area that remains our local backbone. One of the things that I love about this area where I live is the strong preservation. I feel more building like this and the new Tempo Hotel, while attractive, do not do enough to protect the historic 18 & 19 century character. Help us keep our little section of downtown truly vibrant with local life by keeping what attracts us to purchase individual homes and live here...our historic neighborhood.

Mary Agens

512 East Saint Julian Street

Historic District Board of Review

Hearing on June 10, 2026

Re: Queensborough Bank Trust proposal for 402 East Broughton Street

From: THE BEEHIVE FOUNDATION

The Beehive Foundation will confine its thoughts to fenestration matters in this project, although we generally concur with the near universal complaint of our fellow citizens and others who have tendered opinions that the design makes no attempt to visually align or be compatible with the true contributing structures, those deemed historically important, in its immediate neighborhood, and they are some of the most distinguished examples of Savannah's building arts. In our eyes the visual compatibility rule in our Ordinance is an a priori mandate, not to be ignored.

The fenestration of this project's design is a host of competing window treatments and is, to say the least, eccentric. The jarring shifts and dichotomies from vertical applications to horizontal ones is a salient issue and a problem in this submission. It's as if the architect is waffling between a variety of stylistic configurations and can't decide on a coherent whole.

Please insist on a revisit of this design element. And please make these comments available to members of the Review Board and part of the permanent record. Thank you.

Gary Arthur

THE BEEHIVE FOUNDATION

208 West Harris Street

Savannah, Georgia 31401



Andrew Jones <opc.preservation@gmail.com>

Opposition to 402 E. Broughton Street and Request for Improvements

jabrown1@comcast.net
To: historic@thempc.org
Cc: opc.preservation@gmail.com

Mon, Jun 8, 2026 at 5:02 PM

Dear HDBR:

The application in its current form does not meet the standards of the Ordinance and should not be approved. The board should direct the applicant to revise the proposal to achieve Visual Compatibility with the eighteenth and nineteenth-century structures that define this block.

The integrity of the Landmark District depends on consistent enforcement of the Design Standards. A single non-compliant approval incrementally erodes the character the Ordinance exists to protect.

The fenestration as proposed presents several specific deficiencies. The window placement lacks the regularity and rhythm found in the surrounding historic fabric. The undulating treatment between the first and second floors reads as a single compositional gesture spanning both stories, which has no equivalent on this street and is inconsistent with the Ordinance. The ground floor must read as a distinct storefront, clearly differentiated from the upper floors above.

Additionally, the lack of clarity regarding which set of plans is currently under consideration raises a procedural concern. Inadequate public notification has limited the ability of affected residents and stakeholders to conduct a thorough compliance review. The board should confirm which plans are before it and ensure that proper notice has been given before proceeding.

Recent changes in applicable law now require that Part 1 and Part 2 be decided prior to any appeal to Superior Court. This appears to provide the board with both the legal standing and the obligation to revisit its previous decisions on this project and to require revisions that bring the proposal into compliance with current standards.

John A Brown
[208 East Gwinnett Street](#)

402 E Broughton Street - request for improvements

From: deane donnigan <>
To: historic@thempc.org
Cc: Anna Bliss, Andrew Jones, Rosalie Campbell
Date: Jun 9, 2026, 9:22 AM

Dear HDBR,

I apologize in advance for the late email but hopefully it will just make inclusion for the related upcoming meeting this week. Thank you very much for what each member and the board do to safeguard the history and the beauty that so many residents adore as well as all those that travel from around the world to experience. We are truly so fortunate to live and work in this beloved place that we call home.

I am a resident of the Warren ward which is one of our oldest wards and significant with regard to the 18th century architecture and history. As you are aware, the Mills Lane family made a significant investment to restore and save many of the structures here as well as those that were at risk of demolition from the Civic Center construction to form this neighborhood area. As the Beehive Foundation houses all the records from the Lane family restoration effort it would seem that any applicant wishing to build or improve the area would be well advised to research and reference this invaluable record in their planning.

The proposed bank will be very close to my home and others and while we and others are pleased for the property to have a new chapter it is important that the design and use is in keeping with the historic and neighborhood elements that so many have worked tirelessly and at significant costs to save and preserve. In particular, the roof top elements and or use are especially concerning as these are not in keeping with the architecture of the period and have the potential for problematic neighborhood issues in the future.

We would ask that you please consider and enforce Savannah's preservation ordinance and insure this proposal complies with it. We personally have submitted three significant renovation projects in the past for your consideration and with each we were asked to reconsider design elements and worked with your team to reach acceptable compromises. I think all would admit that our projects were successful ones and continue to be admired individually and collectively as an area of the historic district people near and afar continue to want to experience.

As we all can see and appreciate, it is not the new hotels, shopping areas or banks that people can stay in or see anywhere in the world. It's our unique colonial history that lives on today through these lovingly preserved structures and squares with the garden and neighborhood element

that surrounds them. It will continue to serve us well to pay respect to the firm foundation of the Oglethorpe Plan and all those since who have invested in the safeguarding of this legacy for generations to experience and enjoy.

Thank you again for your time and thorough consideration of this project and in relation to the significant historic and neighborhood elements of the area under review.

Respectfully,
(Leslie) Deane Donnigan

419 East St Julian (LDD 2017 Trust)
Prior owner of 138 Habersham St (138 Habersham LP)
425 East St Julian (425 East Julian LP)

Sent from my iPad



Andrew Jones <opc.preservation@gmail.com>

Fw: 402 E. Broughton Street- Request for Improvements

andrewjonesnyc@aol.com <andrewjonesnyc@aol.com>
To: "opc.preservation@gmail.com" <opc.preservation@gmail.com>

Wed, Jun 10, 2026 at 5:10 PM

----- Forwarded Message -----

From: Anne Fairfax <afairfax@fairfaxandsammons.com>
To: "historic@thempc.org" <historic@thempc.org>
Cc: Andrew Jones <andrewjonesnyc@aol.com>
Sent: Wednesday, June 10, 2026 at 11:02:41 AM EDT
Subject: 402 E. Broughton Street- Request for Improvements

Dear HDBR,

My name is Anne Fairfax, I am an architect. I've reviewed the applicant's drawings and have found them to be incompatible with the character of the neighborhood. It only takes one building to break the spell, the enchantment of the 18th and 19th century buildings that make the immediate surrounding neighborhood. This new building, as designed will forever stand as a sore thumb in the district. Please reconsider and ask the developer to hire an architect who is more sensitive to the context.

Sincerely,

Anne Fairfax, AIA, RIBA

Partner,

Fairfax, Sammons & Partners LLC

561-805-8591 (C) 646-270-1791

189 Bradley Place, Palm Beach, FL 33480

2 Sniffen Court, New York, NY 10016

fairfaxandsammons.com





PLEASE NOTE OUR NEW PALM BEACH ADDRESS



Andrew Jones <opc.preservation@gmail.com>

Opposition to 402 E. Broughton Street and Request for Improvements

Robert Gantt

Tue, Jun 2, 2026 at 9:25 AM

To: historic@thempc.org

Cc: opc.preservation@gmail.com

Dear HDBR,

I respectfully urge the HDBR to continue this matter with instructions to the applicant to comply with Design Standards and make the proposal more visually compatible with the 18th and 19th century structures that surround it. I live at 339 Whitaker St and the integrity of the downtown area is important to me. The look and feel of the downtown area are why we live where we live. This new bank building is too large and doesn't fit in with the existing structures. Please reconsider.

Robert M Gantt, MD
339 Whitaker ST Apt 6
Savannah, GA 31401

Opposition to 402 E. Broughton Street and Request for Improvements

From: George Grealy
To: historic@thempc.org
Cc: andrewjonesnyc@aol.com
Date: Jun 8, 2026, 12:52 PM

Dear HDBR,

In the June 10, 2026, HDBR hearing and in subsequent hearings, I urge you to direct the COA applicant to make the proposed bank more visually compatible with the 1791 Berrien House, the most significant historic asset in the immediate vicinity of the bank's proposal. In 1776, 250 years ago, at the age of 16, John Berrien was commissioned as an officer in the Continental Army. In this 250th anniversary of the nation's independence and John Berrien's service, please pay respect to his historic home and ensure that any new structure in its vicinity complements the Berrien House instead of detracting from it.

Major John Berrien's legacy of service to our country, to Georgia, and to Savannah is an inspiration 250 years later. He served under George Washington, including during the bitter winter of 1777 at Valley Forge, and distinguished himself at the Battle of Monmouth before building the 1791 Berrien House.

George Grealy
310 E 46th Street
New York, NY 10017

Opposition to 402 E. Broughton Street and Request for Improvements

From: John M. Sheftall

To: historic@thempac.org

Cc: Gustav Klimt

Date: Jun 9, 2026, 9:24 AM

Dear HDBR,

At the upcoming June 10, 2026, HDBR hearing and in subsequent hearings, I urge you to direct the COA applicant to make the proposed bank planned for 402 E. Broughton Street more visually compatible with the 1791 Berrien House, the most significant historic asset in the immediate vicinity of the bank's proposal. Based on the currently proposed plans I have seen, the architecture – including both scale and design – would, in my opinion, significantly detract from the Berrien House.

In 1776, 250 years ago, at the age of 16, John Berrien was commissioned as an officer in the Continental Army. In this 250th anniversary of the nation's independence and John Berrien's service, please pay respect to his historic home and ensure that any new structure in its vicinity complements the Berrien House instead of detracting from it.

The Berrien House is not only one of the oldest surviving residential structures in Savannah's original Historic District, but it has been in recent years beautifully and painstakingly restored by Andrew Jones, a descendant of the Berrien family, who has provided Savannah with a huge gift by saving and restoring this landmark structure. To allow a new development across the street to detract from the Berrien House is a slap in the face to those who are spending their time and treasure trying to preserve Savannah's most significant structures and retain the City's historic character.

As someone who has been heavily involved in supporting and participating in various groups involved with the preservation of Savannah and its history – including the Georgia Historical Society, the Georgia Society of the Cincinnati (of which John Berrien was a founding member), and Mickve Israel

(founded by my own Sheftall ancestors) – I have observed Savannah through many years make both good and bad decisions about sites in and near the Historic District. I urge HDBR to make a good decision in this case despite competing pressures.

Thank you for your consideration of my concerns.

John M. Sheftall

2039 13th St.

Columbus, GA 31906

John M. Sheftall

Attorney at Law | Hall Booth Smith, P.C.

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