

July 8, 2026

Metropolitan Planning Commission
ATTN: Caitlin Chamberlain
110 East State Street
Savannah, GA 31401

RE: 111 MLK Blvd Alterations

Dear Caitlin,

This petition is seeking approval by the Historic District Board of Review for the alterations at 111 Martin Luther King Jr. Blvd. The building is a non-contributing structure within Downtown Historic District. The proposed use of the building is an event venue. Below are the proposed exterior alterations for the project.

Detailed Description of Exterior Work

South Façade (at courtyard)

The existing façade is constructed of brick and does not currently have any openings. The proposal includes demolishing a portion of the brick to install (4) sets of aluminum clad wood double doors with transoms, (1) set of aluminum framed double doors with sidelights & transom and (1) aluminum clad wood window on the ground floor. The second floor is proposed to have (8) new aluminum-clad wood windows. All windows to be double hung and the lite pattern matches those of 119 MLK's north facade (across the courtyard). A new black aluminum conductor head and downspout to be replaced. The roof replacement requires new metal copings on all parapet walls. The existing brick will not be painted on this façade.

A new wood framed entrance portico is proposed at the lobby entrance of the event space, please see section drawing. The portico includes new composite column wraps, composite trim & standing seam metal roofing.

New aluminum framed fabric awnings are proposed over the four sets of double doors. See specifications for fabric material.

East Façade (at MLK Blvd)

The non-historic upper and lower floor windows are planned to be replaced. (1) window on the lower floor will be removed and a portion of stucco wall between the bottom of the window to the sidewalk will be removed and a new exit door will be installed. (1) existing conductor head and downspout to be demolished. Existing light fixtures are to remain. All ground floor windows to be aluminum storefront windows and all second-floor windows shall be aluminum clad wood windows. The existing wood cornice will be repaired in kind and painted. The existing stucco and brick are proposed to be painted, see drawings & specifications for colors.

West Façade (at Laurel Street)

The existing façade is constructed of brick and currently only has a hollow metal door. There are (4) openings where windows were previously located on the ground floor that have been infilled with brick previously.

The window openings on the second floor have been infilled with plywood, as the windows were previously removed. This renovation proposes demolishing the plywood at these openings and infilling them with brick to match the existing condition on the ground floor. Additionally, we are proposing to demolish the existing door and infilling with brick. A new hollow metal exit door is proposed with an exterior concrete ramp and associated handrails/guardrails, due to the elevation change at Laurel Street. (2) existing conductor heads and downspouts to be replaced. The brick will be painted on the Laurel Street façade.

Roof Alterations

The existing roof surface consists of metal panels that have been coated. The roofing must be removed due to water intrusion and hazardous materials. Following abatement, we plan to replace the entire roof surface with white TPO membrane. All existing mechanical equipment will be removed, and new mechanical equipment is proposed. Based on sightline studies we have conducted, we do not believe this new mechanical equipment will be visible from Martin Luther King Blvd. If the equipment is determined to be visible from the ROW during construction, we would provide details to staff for screening.

Please let me know if further information is needed for your review of the petition.

Sincerely,

A handwritten signature in blue ink, appearing to read "Scott Cook".

Scott Cook, AIA
Principal

Attachments:

1. Application
2. Checklist
3. Drawings + Photos
4. Specifications

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COOK

TIDAL
REAL ESTATE PARTNERS

[illegible]

PROJECT NUMBER: 2502-103

ISSUE DATE: 07/08/2026

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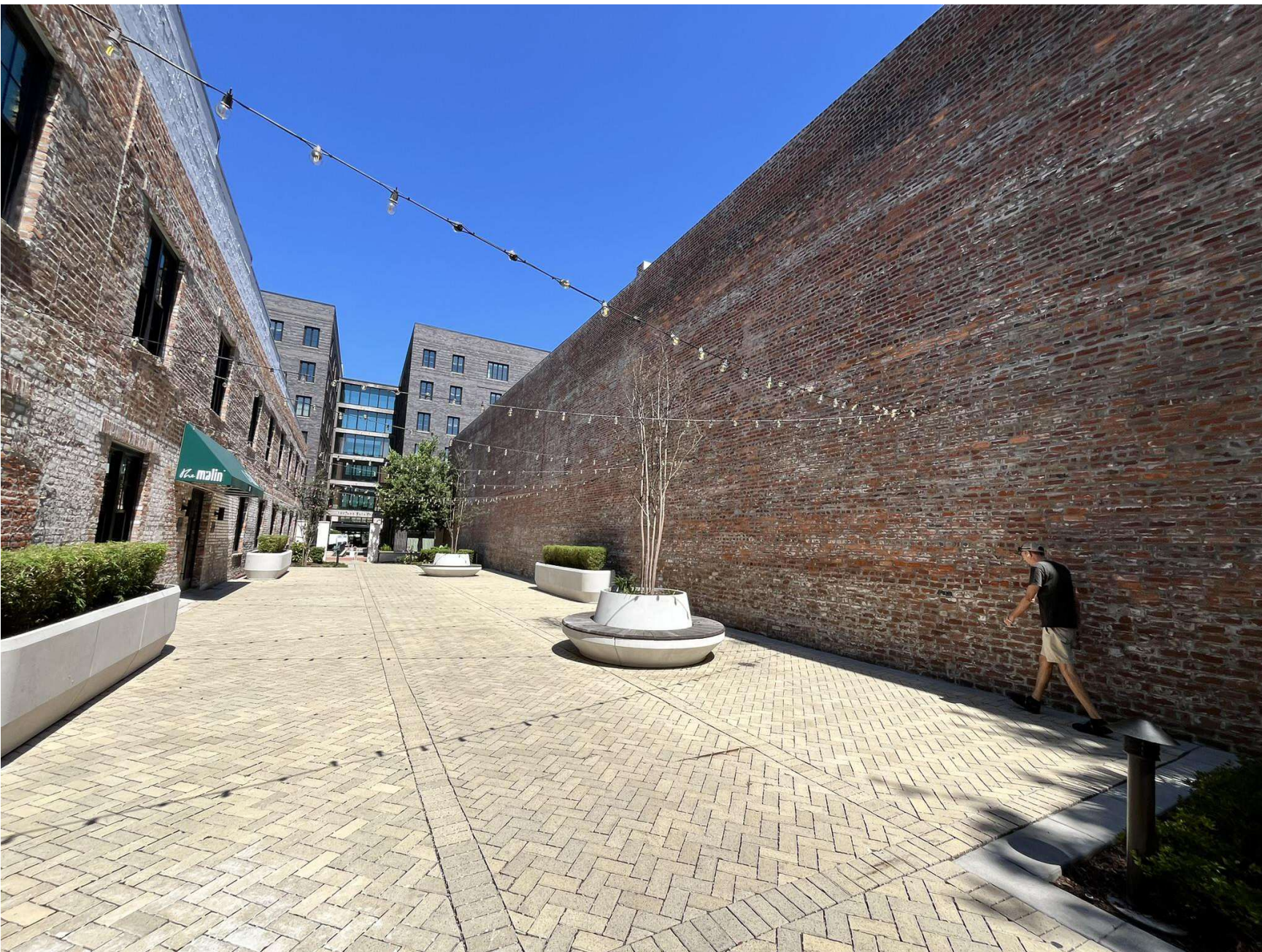
D



EAST MLK BLVD FACADE



SOUTH COURTYARD AND EAST MLK BLVD FACADES



SOUTH COURTYARD FACADE

C



SOUTH COURTYARD FACADE



WEST LAUREL ST FACADE



WEST LAUREL ST FACADE

B

A

COOK

618 E 60TH STREET
SAVANNAH, GA 31405
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111 MLK EVENT SPACE

#	DATE	DESCRIPTION

EXTERIOR PHOTOS

PROJECT NUMBER: 2502-103
ISSUE DATE: 07/08/2026

G-001

111 MLK EVENT SPACE

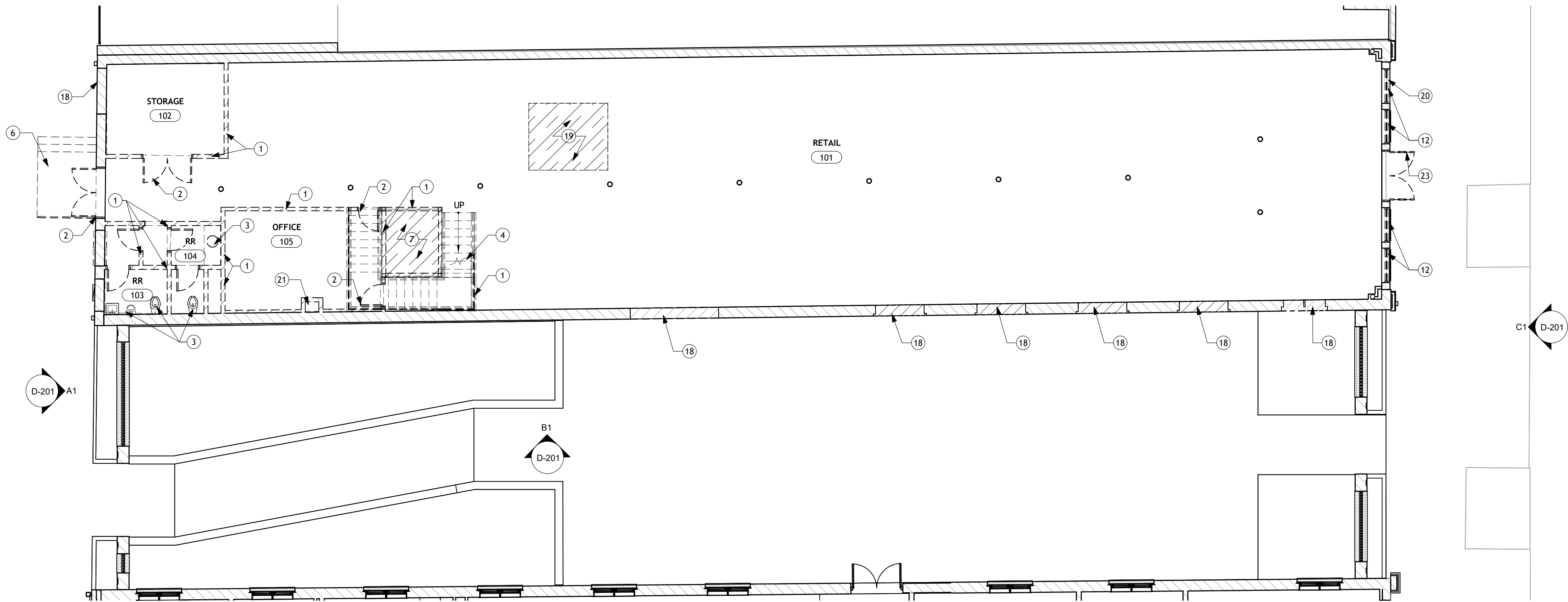
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GROUND FLOOR DEMOLITION PLAN

PROJECT NUMBER: 2502-103

ISSUE DATE: 07/08/2026

D-101



B1 GROUND FLOOR DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

1. NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
2. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
3. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
4. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
5. ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
6. DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
7. TERMINATE AND CAP ANY UTILITIES.
8. EXISTING INTERIOR DUCTWORK, INCLUDING, ELEC CONDUIT AND PIPES TO BE REMOVED.
9. SEE ENVIRONMENTAL REPORT BY TERRACON CONSULTANTS DATED 02/22/2021 FOR HAZARDOUS MATERIAL TO BE REMOVED.
10. ALL EXISTING FLOORING TO BE REMOVED. SEE ENVIRONMENTAL REPORT FOR HAZARDOUS MATERIAL.

DEMOLITION PLAN KEY NOTES

1	DEMOLISH EXISTING PARTITION.
2	DEMOLISH EXISTING DOOR & FRAME.
3	DEMOLISH ALL EXISTING PLUMBING FIXTURES. CAP ALL LINES.
4	DEMOLISH EXISTING WOOD STAIR.
5	DEMOLISH ALL EXISTING WOOD RAILING.
6	DEMOLISH CONCRETE STAIR & LANDING.
7	DEMOLISH ELEVATOR.
8	DEMOLISH WOOD COLUMNS AT ELEVATOR. PROVIDE SHORING AS REQUIRED.
9	DEMOLISH FLOOR SHEATHING & FRAMING FOR NEW SHAFT, SEE PROPOSED PLANS FOR EXTENT.
10	DEMOLISH INFILL BELOW SKYLIGHT TO HISTORIC EXTENTS.
11	DEMOLISH INFILL WITHIN WINDOW OPENINGS ON SECOND FLOOR.
12	DEMOLISH ALL WINDOWS ALONG EAST SIDE OF BUILDING. PREPARE FOR NEW WORK.
13	DEMOLISH PORTION OF EXISTING WOOD SHEATHING & FRAMING DUE TO WATER DAMAGE.
14	REMOVE ALL EXISTING ROOF MATERIAL DOWN TO BOARD SHEATHING. SEE ENVIRONMENTAL REPORT FOR HAZARDOUS MATERIAL REMOVAL REQUIREMENTS.
15	DEMOLISH SKYLIGHT & WOOD CURB, PREPARE FOR NEW WORK.
16	DEMOLISH ALL EXISTING MECHANICAL EQUIPMENT ON THE ROOF.
17	DEMOLISH ELEVATOR OVERUN.
18	PORTION OF MASONRY WALL TO BE REMOVED FOR NEW OPENING, SEE PROPOSED PLANS FOR EXTENT.
19	PORTION OF CONCRETE SLAB TO REMOVED, SEE PROPOSED PLANS FOR EXTENT.
20	DEMOLISH ALUMINUM STOREFRONT WINDOW & PORTION OF STUCCO WALL BELOW WINDOW DOWN TO SLAB
21	DEMOLISH BRICK CHIMNEY.
22	DEMOLISH ALL EXISTING CEILINGS & LIGHTING FIXTURES.
23	DEMOLISH ALUMINUM STOREFRONT DOUBLE DOORS.

WALL & PARTITION LEGEND

1. ALL EXTERIOR WALLS ARE EXISTING BRICK BEARING WALLS.
2. ALL NEW INTERIOR MASONRY WALLS TO BE TYPE "W2" (CMU BEARING WALLS).

	EXISTING CONSTRUCTION TO REMAIN
	NON-RATED PARTITION TO CEILING
	NON-RATED PARTITION TO DECK
	SMOKE PARTITION TO DECK
	1 HR. RATED PARTITION TO DECK
	2 HR. RATED PARTITION TO DECK

NOTE: SEE SHEET A-001 FOR WALL & PARTITION TYPES.

[illegible]

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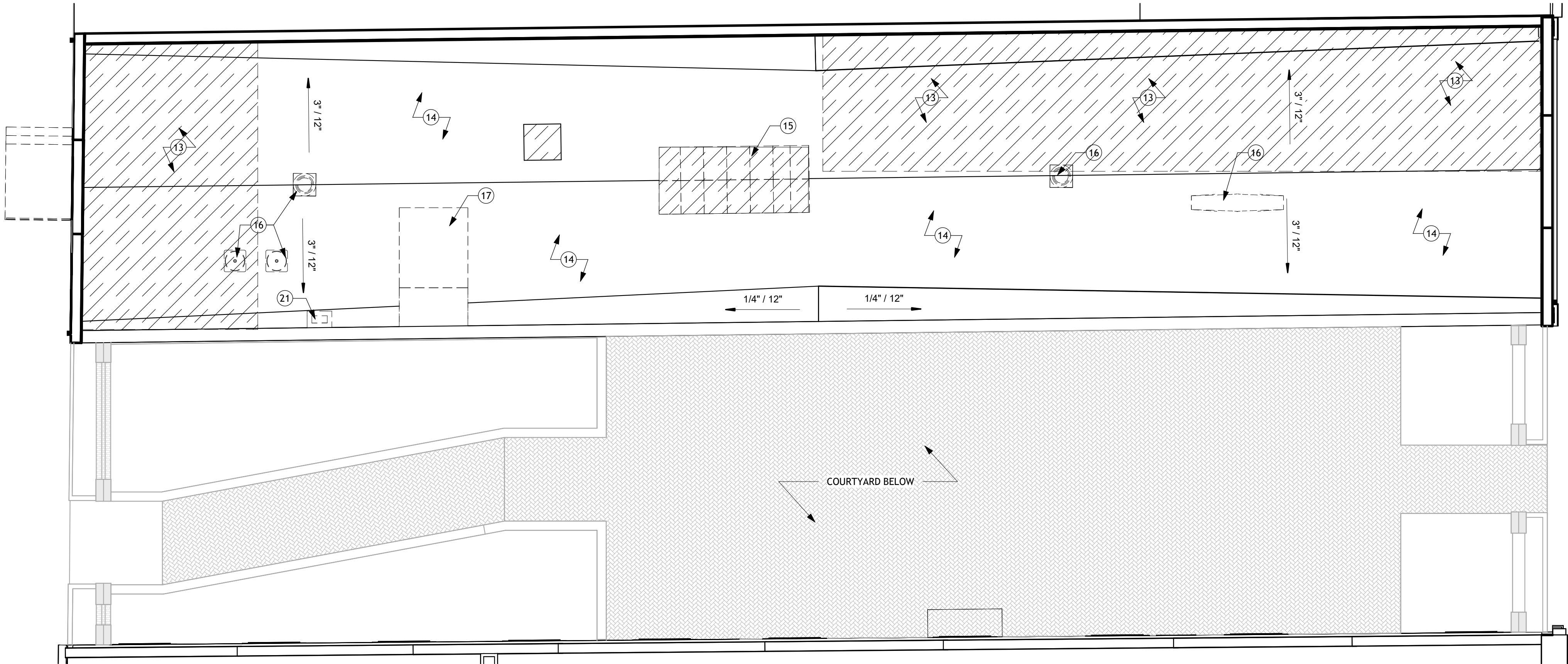
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B1 DEMOLITION ROOF PLAN
1/8" = 1'-0"



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| 23 | DEMOLISH ALUMINUM STOREFRONT DOUBLE DOORS. |

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111 MLK EVENT SPACE

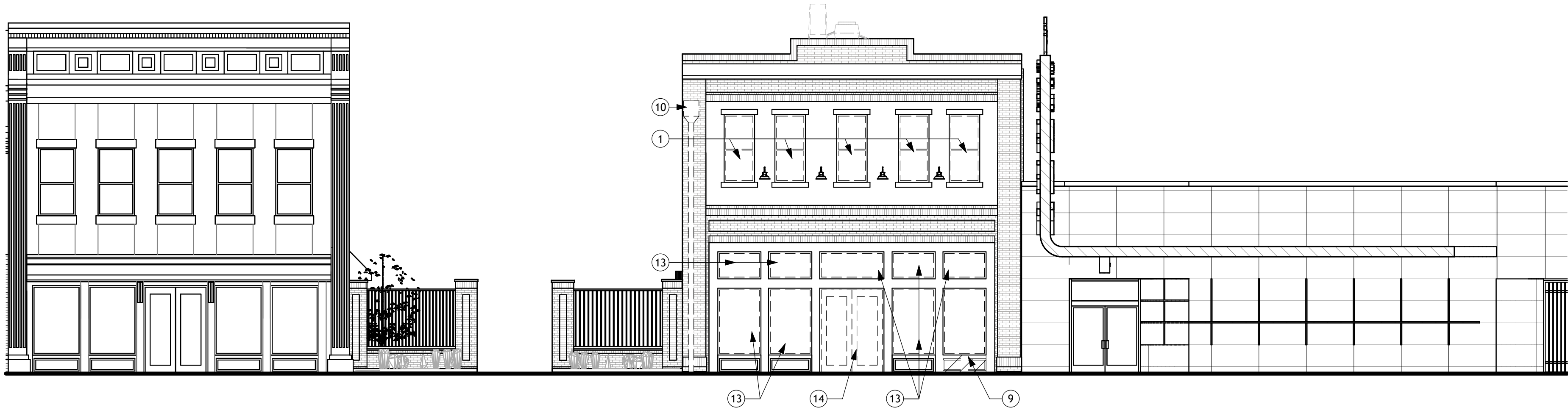
#	DATE	DESCRIPTION

ROOF DEMOLITION
PLAN

PROJECT NUMBER: 2502-103
ISSUE DATE: 07/08/2026

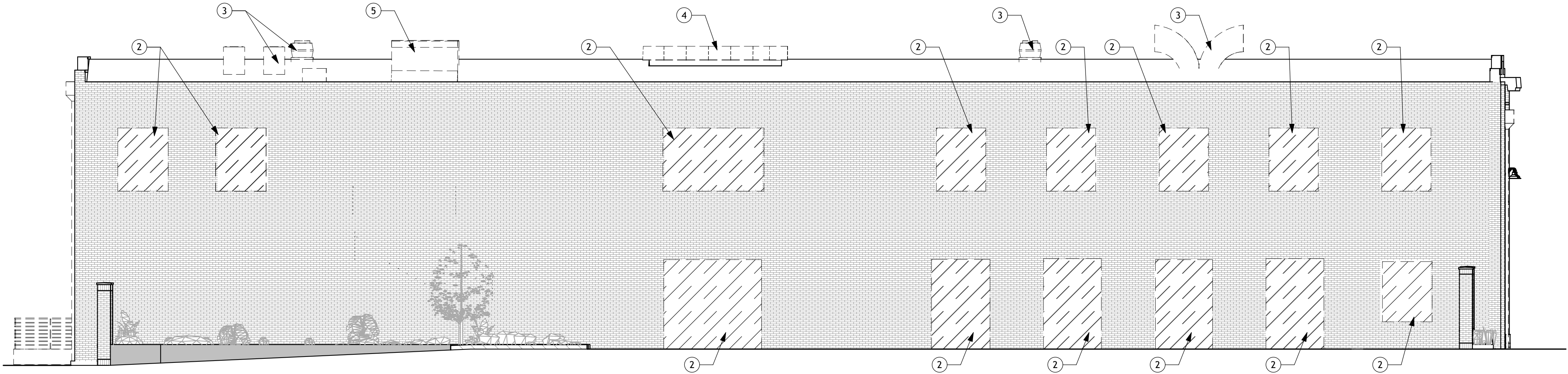
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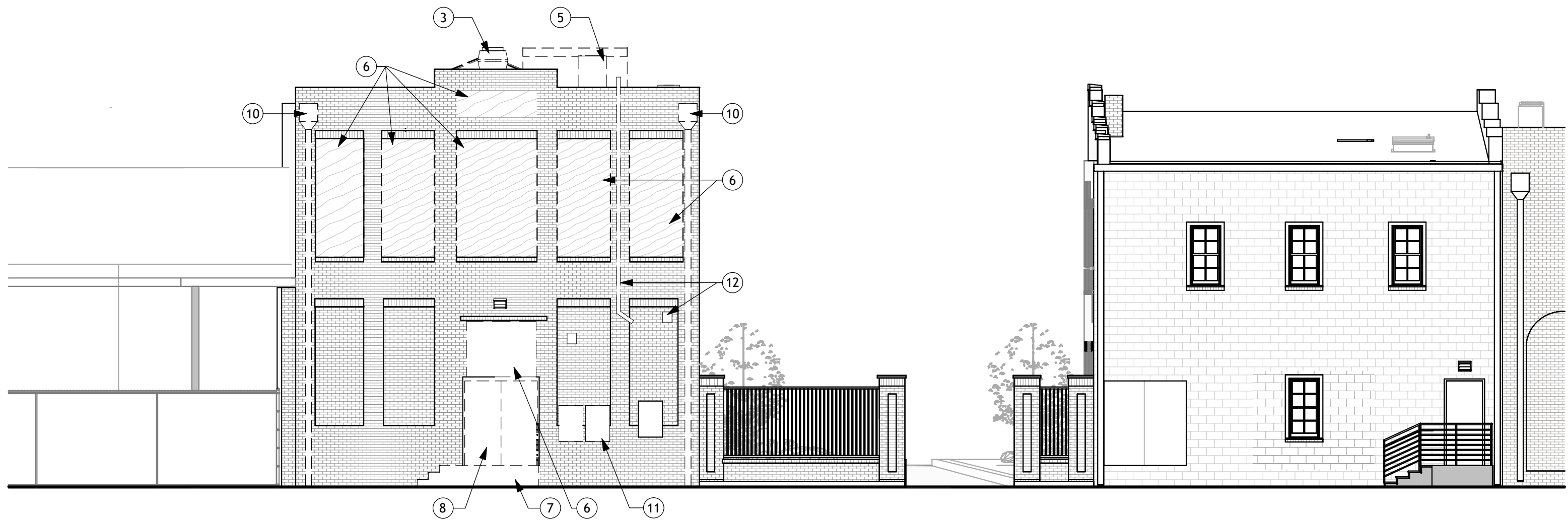
C1 EAST DEMOLITION ELEVATION
1/8" = 1'-0"

C



B1 DEMOLITION NORTH COURTYARD ELEVATION
1/8" = 1'-0"

B



A1 DEMOLITION WEST ELEVATION
1/8" = 1'-0"

A

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7. TERMINATE AND CAP ANY UTILITIES.
8. ALL EXISTING INTERIOR DUCTS, LIGHTING, ELEC CONDUIT AND PIPES TO BE REMOVED.
9. SEE ENVIRONMENTAL REPORT BY TERRACON CONSULTANTS DATED 02/22/2021 FOR HAZARDOUS MATERIAL TO BE REMOVED.
10. ALL EXISTING FLOORING TO BE REMOVED, SEE ENVIRONMENTAL REPORT FOR HAZARDOUS MATERIAL.

ELEVATION DEMOLITION NOTES

- | | |
|----|--|
| 1 | DEMOLISH ALL NON-HISTORIC WOOD WINDOWS ALONG MLK BLVD. |
| 2 | SAW CUT NEW OPENING & REMOVE BRICK. SEE PROPOSED PLANS & ELEVATIONS FOR EXTENT. |
| 3 | ALL MECHANICAL EQUIPMENT ON THE ROOF TO BE DEMOLISHED. |
| 4 | DEMOLISH GLASS & STEEL FRAMING OF SKYLIGHT. |
| 5 | DEMOLISH ELEVATOR OVERRUN. |
| 6 | DEMOLISH EXISTING INFILL WITHIN WINDOW OPENINGS. |
| 7 | DEMOLISH CONCRETE STAIR & STEEL RAILING. |
| 8 | DEMOLISH HOLLOW METAL DOOR. |
| 9 | DEMOLISH ALUMINUM STOREFRONT WINDOW & PORTION OF STUCCO DOWN TO FLOOR SLAB. PREPARE FOR NEW WORK. SEE PROPOSED PLAN & ELEVATION. |
| 10 | DEMOLISH CONDUCTOR HEAD & DOWNSPOUT. |
| 11 | REMOVE ANY ABANDONDED ELECTRICAL EQUIPMENT, SEE ELECTRICAL DWGS. |
| 12 | DEMOLISH ALL PIPING & VENTS. |
| 13 | DEMOLISH ALUMINUM STOREFRONT WINDOW. |
| 14 | DEMOLISH ALUMINUM STOREFRONT DOUBLE DOORS |

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#	DATE	DESCRIPTION

DEMOLITION
EXTERIOR
ELEVATIONS

PROJECT NUMBER: 2502-103
ISSUE DATE: 07/08/2026

D-201

D

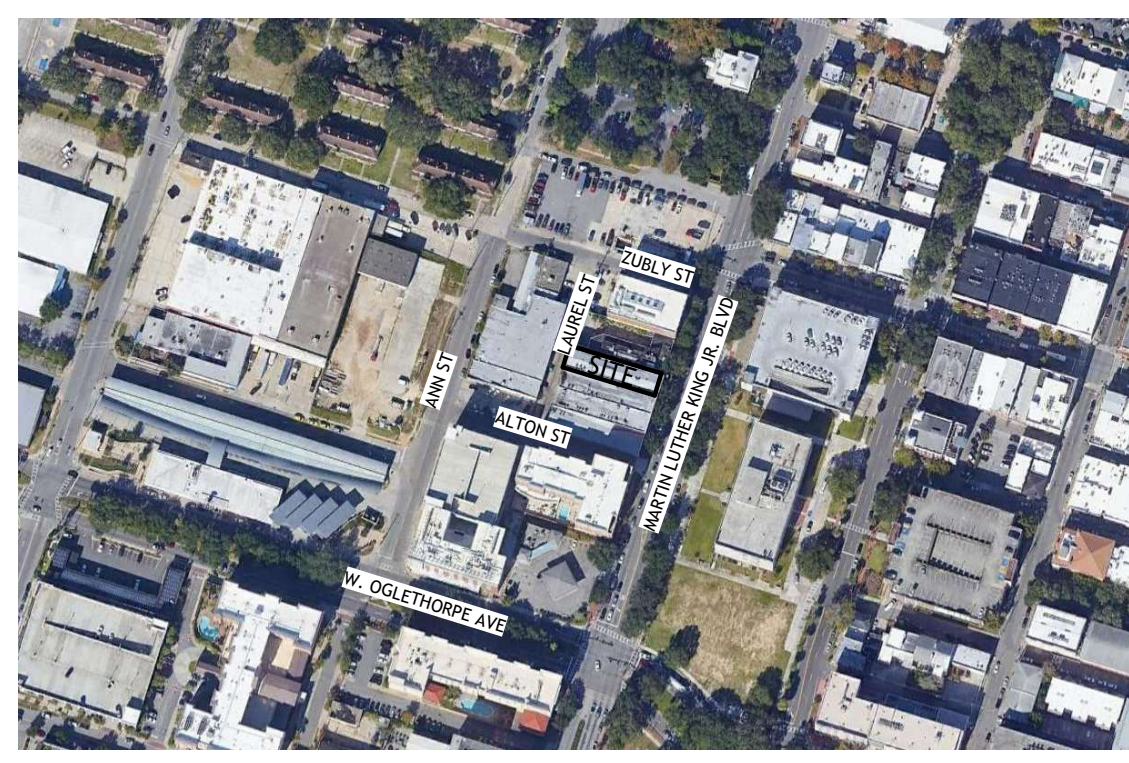
C

B

B1 ARCHITECTURAL SITE PLAN

1/16" = 1'-0"

VICINITY MAP



SITE INFORMATION

ADDRESS
111 MARTIN LUTHER KING JR. BLVD.
SAVANNAH, GA 31401

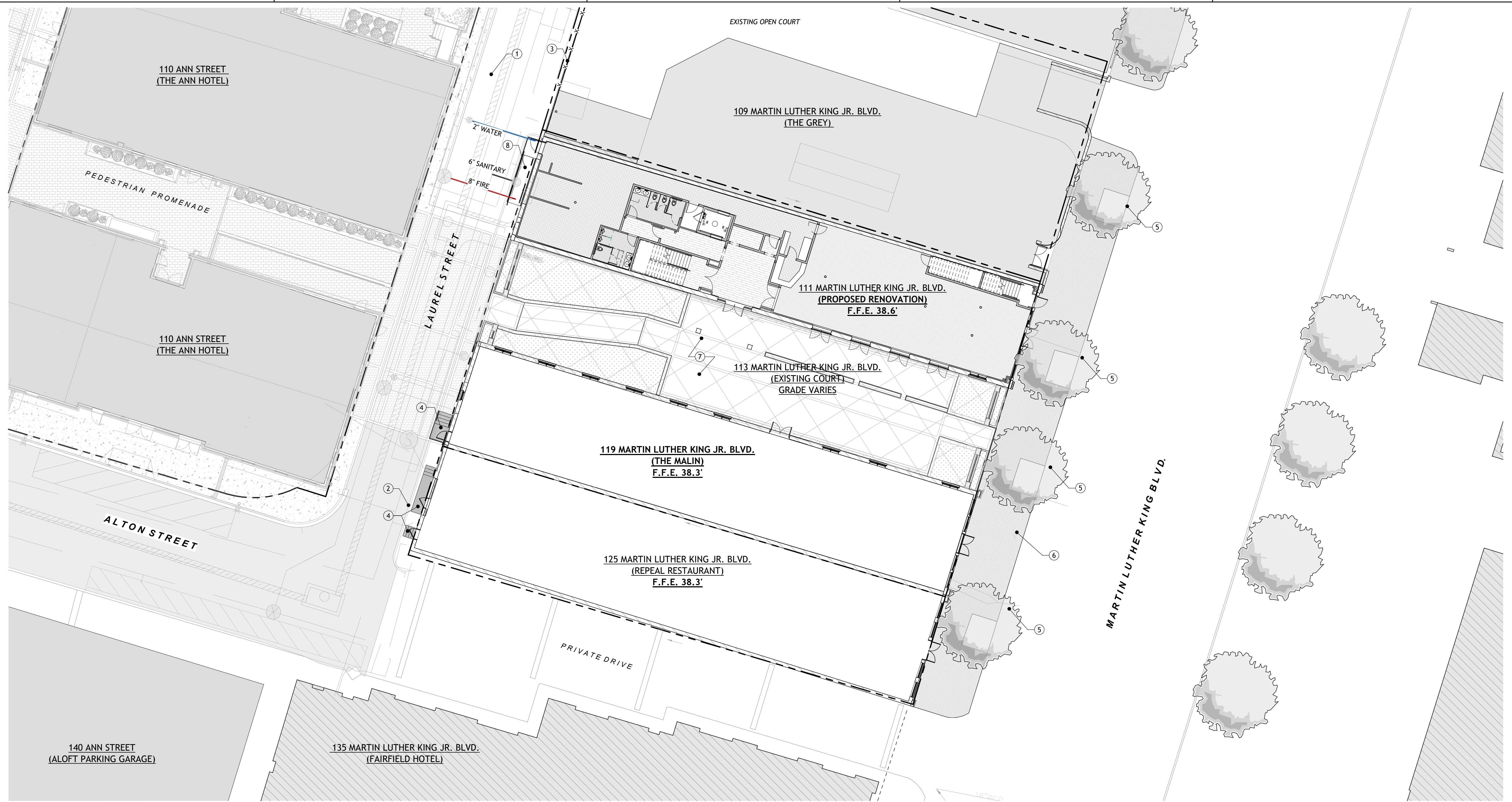
ZONING INFORMATION
NORTHERN PORTION OF LOT A OF MIDDLE OGLETHORPE WARD
PIN: 20016 22003
ZONING: D-CBD
0.371 ACRES (16,320 SF)
EXISTING USE: RETAIL
PROPOSED USE: ASSEMBLY/RESTAURANT
OFF-STREET PARKING REQUIREMENTS: NONE
UNITS: N/A
DENSITY: N/A
PARKING PROVIDED: NONE

FLOOD ZONE: X
F.F.E: 38.6'

SITE PERMIT # 19-11590-BC

SITE PLAN KEY NOTES

- 1 EXISTING STAMPED CONCRETE W/ PATTERN, SEE CIVIL.
- 2 EXISTING FLUSH CONCRETE CURB, SEE CIVIL.
- 3 EXISTING CHAIN LINK FENCING.
- 4 EXISTING CONCRETE STAIR.
- 5 EXISTING LIVE OAK STREET TREE.
- 6 EXISTING BRICK PAVING.
- 7 EXISTING OPEN AIR COURTYARD.
- 8 NEW CONCRETE RAMP IN R.O.W. ENCROACHMENT PETITION TO BE FILED W/ THE CITY OF SAVANNAH.



111 MLK EVENT SPACE

#	DATE	DESCRIPTION

SITE PLAN

PROJECT NUMBER: 2502-103
ISSUE DATE: 07/08/2026

111 MLK EVENT SPACE

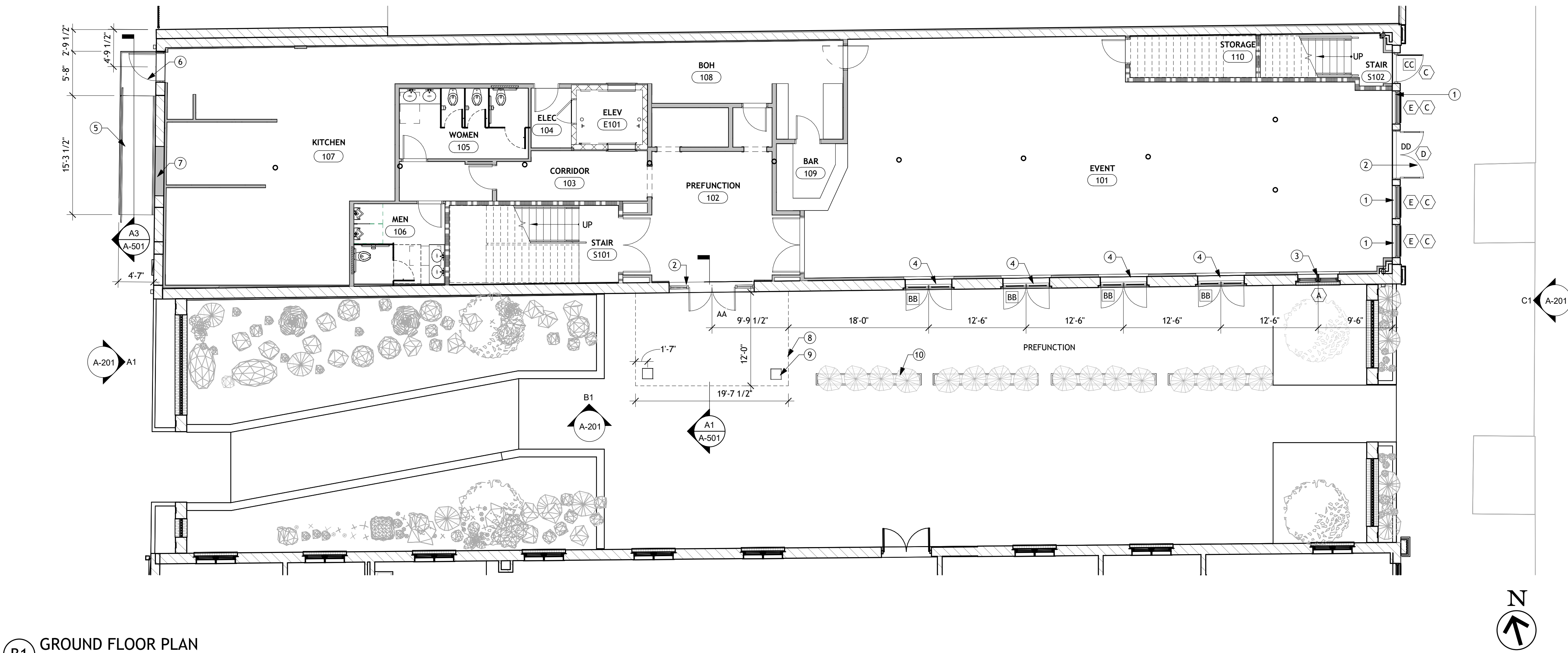
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GROUND FLOOR PLAN

PROJECT NUMBER: 2502-103

ISSUE DATE: 07/08/2026

A-101



B1 GROUND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. EXTERIOR DIMENSIONS AT MASONRY CONSTRUCTION ARE TO FACE OF MASONRY.
2. EXTERIOR DIMENSIONS AT STUCCO VENEER ARE TO FACE OF METAL STUD.
3. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD AND CENTERLINES OF COLUMNS, UNO.
4. LOCATE DOOR OPENINGS "4" FROM NEAREST PERPENDICULAR WALL.
5. FIRE AND SOUND RATED WALL PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, LIPING, DUCTWORK AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO STRUCTURE ABOVE.
6. WHERE PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST RATED PARTITION SHALL CONTINUE THROUGH. MAINTAIN PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.
7. SEE SHEET A-001 FOR CONSTRUCTION ASSEMBLIES AND PARTITION TYPES. ALL PARTITIONS TO BE TYPE A, UNLESS NOTED OTHERWISE.
8. SEE STRUCTURAL DRAWINGS FOR SLAB DEPRESSIONS AND CUTOUTS.
9. SEE BUILDING ELEVATION DRAWINGS FOR LOCATION OF EXTERIOR MASONRY CONTROL JOINTS.
10. ALL EXISTING COLUMNS SHALL REMAIN U.N.O. SEE D-101 & D-102. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR LOCATION OF COLUMNS.
11. VERIFY FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

FLOOR PLAN NUMBERED NOTES

1	NEW ALUMINUM STOREFRONT WINDOW, SEE SHEET A-602.
2	NEW ALUMINUM STOREFRONT DOOR, SEE SHEET A-602.
3	NEW ALUMINUM CLAD WOOD WINDOW, SEE SHEET A-602.
4	NEW ALUMINUM CLAD WOOD DOOR, SEE SHEET A-602.
5	NEW CONCRETE RAMP W/ PIPE STEEL RAILING, SEE DETAIL.
6	NEW PAINTED HOLLOW METAL DOOR & FRAME.
7	INFILLED OPENING AT PREVIOUS DOOR LOCATION. INFILL OPENING W/ BRICK TO MATCH EXISTING DETAIL OF MASONRY.
8	NEW ENTRY ROOF ABOVE.
9	NEW COMPOSITE COLUMN WRAP, SEE DETAILS.
10	NEW SITE PLANTER FURNISHINGS BY OWNER.
11	STANDING SEAM MTL. ROOFING OVER PLYWOOD W/ UNDERLAYMENT, SEE DETAIL.
12	ALUMINUM FRAMED FABRIC AWNING BELOW.
13	ALL EXISTING OPENINGS ON SECOND FLOOR FACING LAUREL ST TO BE INFILLED W/ BRICK.

WALL & PARTITION LEGEND

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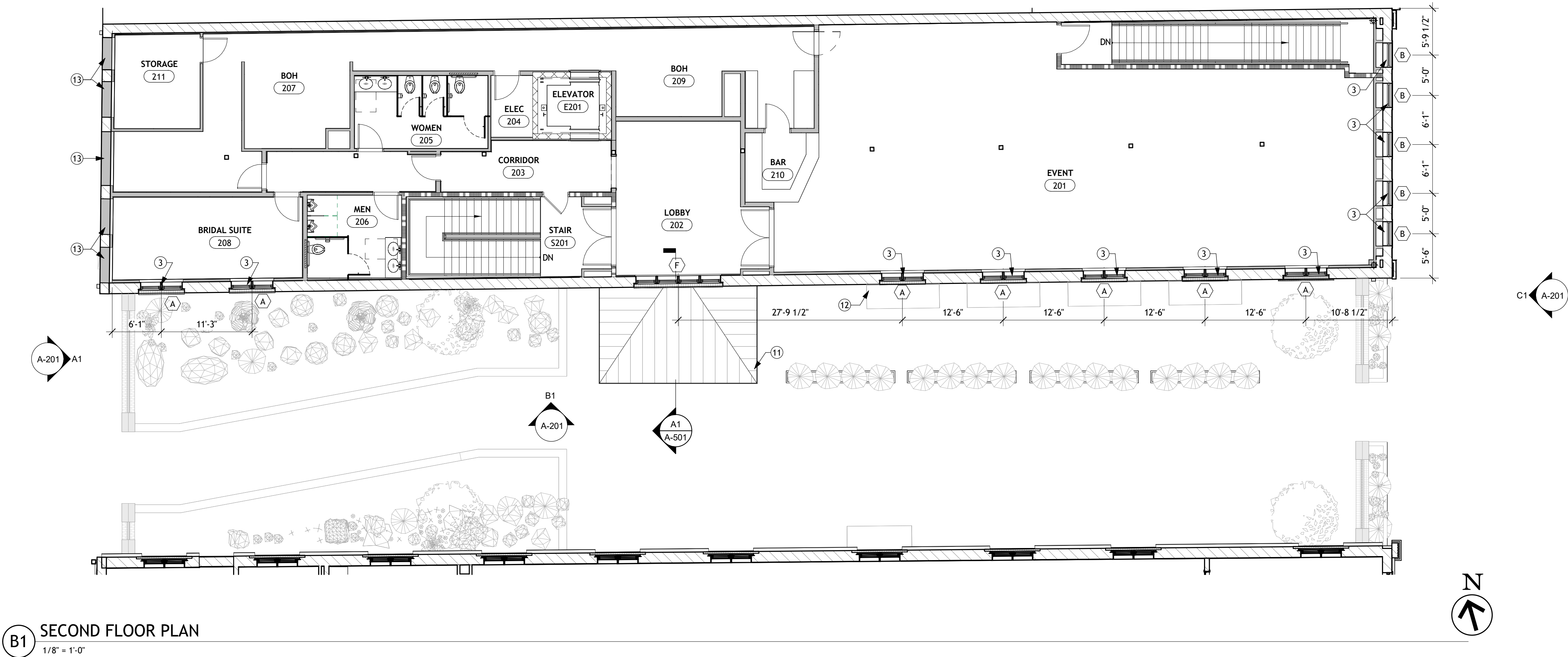
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SECOND FLOOR PLAN

PROJECT NUMBER: 2502-103

ISSUE DATE: 07/08/2026

A-102



B1 SECOND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. EXTERIOR DIMENSIONS AT MASONRY CONSTRUCTION ARE TO FACE OF MASONRY.
2. EXTERIOR DIMENSIONS AT STUCCO VENEER ARE TO FACE OF METAL STUD.
3. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD AND CENTERLINES OF COLUMNS, UNO.
4. LOCATE DOOR OPENINGS "4" FROM NEAREST PERPENDICULAR WALL.
5. FIRE AND SOUND RATED WALL PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, LIPING, DUCTWORK AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO STRUCTURE ABOVE.
6. WHERE PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST RATED PARTITION SHALL CONTINUE THROUGH. MAINTAIN PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.
7. SEE SHEET A-001 FOR CONSTRUCTION ASSEMBLIES AND PARTITION TYPES. ALL PARTITIONS TO BE TYPE A, UNLESS NOTED OTHERWISE.
8. SEE STRUCTURAL DRAWINGS FOR SLAB DEPRESSIONS AND CUTOUTS.
9. SEE BUILDING ELEVATION DRAWINGS FOR LOCATION OF EXTERIOR MASONRY CONTROL JOINTS.
10. ALL EXISTING COLUMNS SHALL REMAIN U.N.O. SEE D-101 & D-102. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR LOCATION OF COLUMNS.
11. VERIFY FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

FLOOR PLAN NUMBERED NOTES

1	NEW ALUMINUM STOREFRONT WINDOW, SEE SHEET A-602.
2	NEW ALUMINUM STOREFRONT DOOR, SEE SHEET A-602.
3	NEW ALUMINUM CLAD WOOD WINDOW, SEE SHEET A-602.
4	NEW ALUMINUM CLAD WOOD DOOR, SEE SHEET A-602.
5	NEW CONCRETE RAMP W/ PIPE STEEL RAILING, SEE DETAIL.
6	NEW PAINTED HOLLOW METAL DOOR & FRAME.
7	INFILLED OPENING AT PREVIOUS DOOR LOCATION. INFILL OPENING W/ BRICK TO MATCH EXISTING DEGREE OF MASONRY.
8	NEW ENTRY ROOF ABOVE.
9	NEW COMPOSITE COLUMN WRAP, SEE DETAILS.
10	NEW SITE PLANTER FURNISHINGS BY OWNER.
11	STANDING SEAM MTL. ROOFING OVER PLYWOOD W/ UNDERLAYMENT, SEE DETAIL.
12	ALUMINUM FRAMED FABRIC AWNING BELOW.
13	ALL EXISTING OPENINGS ON SECOND FLOOR FACING LAUREL ST TO BE INFILLED W/ BRICK.

WALL & PARTITION LEGEND

1. ALL EXTERIOR WALLS ARE EXISTING BRICK BEARING WALLS.
2. ALL NEW INTERIOR MASONRY WALLS TO BE TYPE "W2" (CMU BEARING WALLS).

	EXISTING CONSTRUCTION TO REMAIN
	NON-RATED PARTITION TO CEILING
	NON-RATED PARTITION TO DECK
	SMOKE PARTITION TO DECK
	1 HR. RATED PARTITION TO DECK
	2 HR. RATED PARTITION TO DECK

NOTE: SEE SHEET A-001 FOR WALL & PARTITION TYPES.

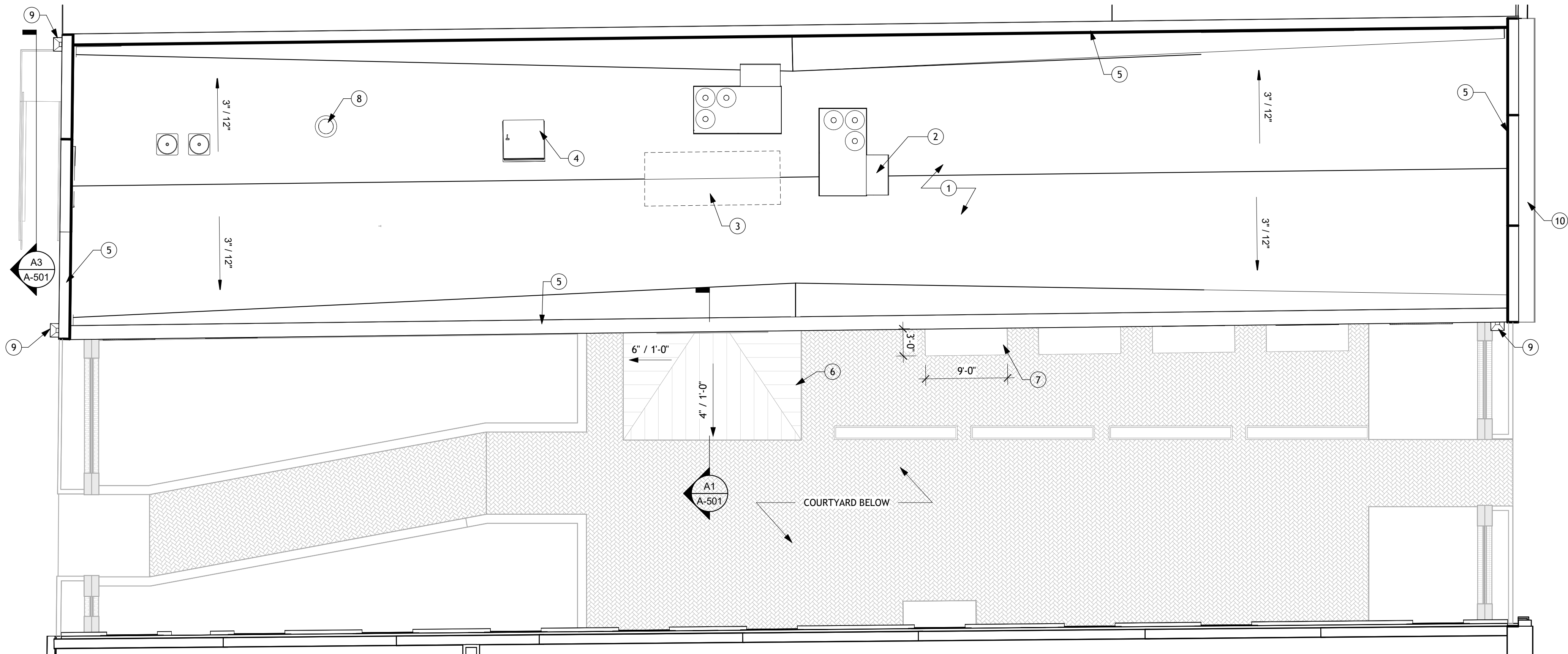
111 MLK EVENT SPACE

#	DATE	DESCRIPTION

ROOF PLAN

PROJECT NUMBER: 2502-103
ISSUE DATE: 07/08/2026

A-151



A1 ROOF PLAN
1/8" = 1'-0"

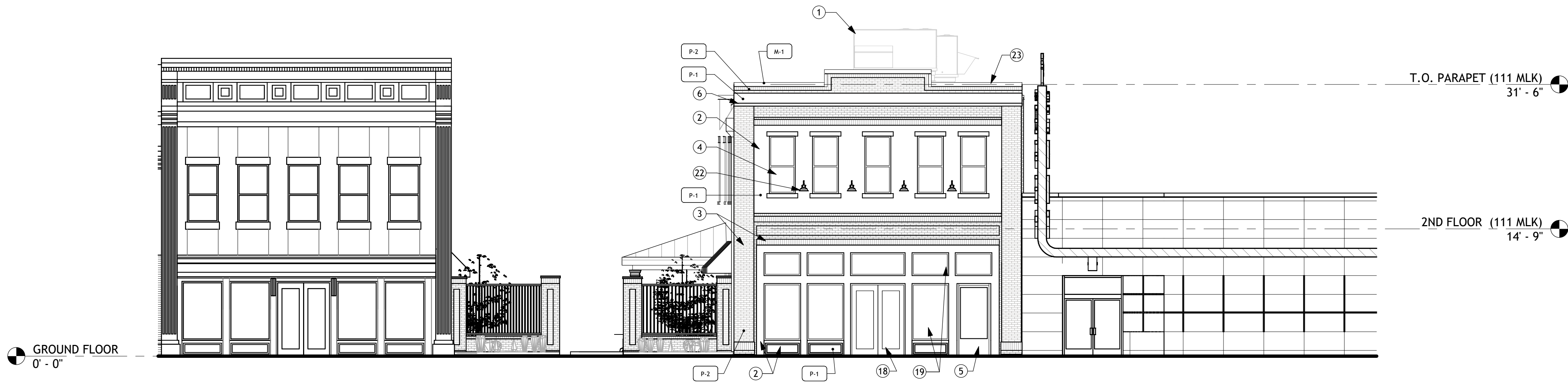
ROOF PLAN GENERAL NOTES

- ALL EXISTING ROOFING TO BE REPLACED WITH 60 MIL TPO ROOFING MEMBRANE OVER NEW POLYISO INSULATION. SEE DETAILS. CONDITION OF ROOF FRAMING IS UNKNOWN, GC TO NOTIFY ARCHITECT OF ANY DAMAGED FRAMING PRIOR TO RE-ROOFING.
- LOCATIONS AND SIZES OF MECHANICAL EQUIPMENT ARE APPROXIMATE. SEE STRUCTURAL AND MECHANICAL DRAWINGS FOR ACTUAL LOCATIONS.
- SEE PLUMBING DRAWINGS FOR VENTS THROUGH ROOF LOCATIONS.
- SEE STRUCTURAL DRAWINGS FOR FASTENING REQUIREMENTS.
- SLOPE ALL LOW SLOPED ROOFS TO ROOF DRAINS WITH MINIMUM SLOPE OF 1/4" PER FOOT. INSTALL ROOF DRAINS IN SQUARE RECESSED SUMP 18" SQUARE.
- PROVIDE CRICKETS AT ALL CURBS AND EQUIPMENT RAILS SET PERPENDICULAR TO ROOF SLOPE WHICH ARE GREATER THAN 24" WIDE.
- SLOPE ALL COPINGS BACK TO ROOF U.N.O.
- COPING CORNERS TO BE PREFABRICATED PIECES WITH EQUAL RETURNS A MINIMUM OF 18" IN LENGTH. TOP HORIZONTAL JOINTS TO BE STANDING SEAM, VERTICAL JOINTS TO BE FLAT JOINTS.
- WOOD BLOCKING SHOWN IN ROOF DETAILING SHALL BE PRESERVATIVE TREATED. USE SUITABLE FASTENERS WITH THE PRESERVATIVE TREATED WOOD.
- EXTEND ALL PENETRATIONS, CURBS, AND COMPONENTS A MINIMUM OF 8" ABOVE THE ROOF SURFACE. PROVIDE 12" CLEAR DISTANCE BETWEEN PENETRATIONS AND TO ANY VERTICAL SURFACE.
- IF NOT DETAILED, APPLY MOST STRINGENT CONDITION OF NRCA AND SMACNA (CURRENT EDITIONS) STANDARDS FOR ROOF DETAIL CONDITIONS.

ROOF PLAN NUMBERED NOTES

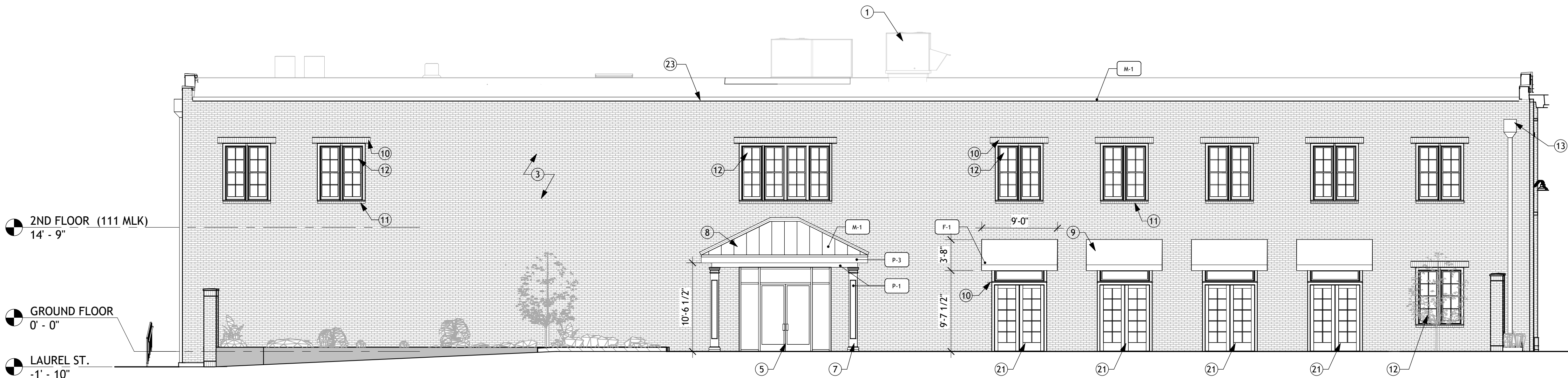
1	NEW FULLY ADHERED 60 MIL TPO ROOFING OVER POYISO INSULATION OVER EXISTING SUBSTRATE.
2	RTU ON CURB, SEE MECHANICAL DRAWINGS.
3	INFILL ROOF ASSEMBLY WHERE SKYLIGHT WAS REMOVED.
4	NEW ROOF HATCH.
5	ALUMINUM COPING OVER PT WOOD NAILER.
6	STANDING SEAM MTL. ROOFING OVER PLYWOOD W/ UNDERLAYMENT, SEE DETAIL.
7	FABRIC AWNING W/ ALUM. FRAME BELOW.
8	EXHAUST, SEE MECHANICAL DRAWINGS.
9	NEW ALUM. CONDUCTOR HEAD & DOWNSPOUT.
10	WOOD CORNICE TO BE REPAIRED IN KIND & PAINTED.

D



C1 EAST ELEVATION (AT MLK BOULEVARD)
1/8" = 1'-0"

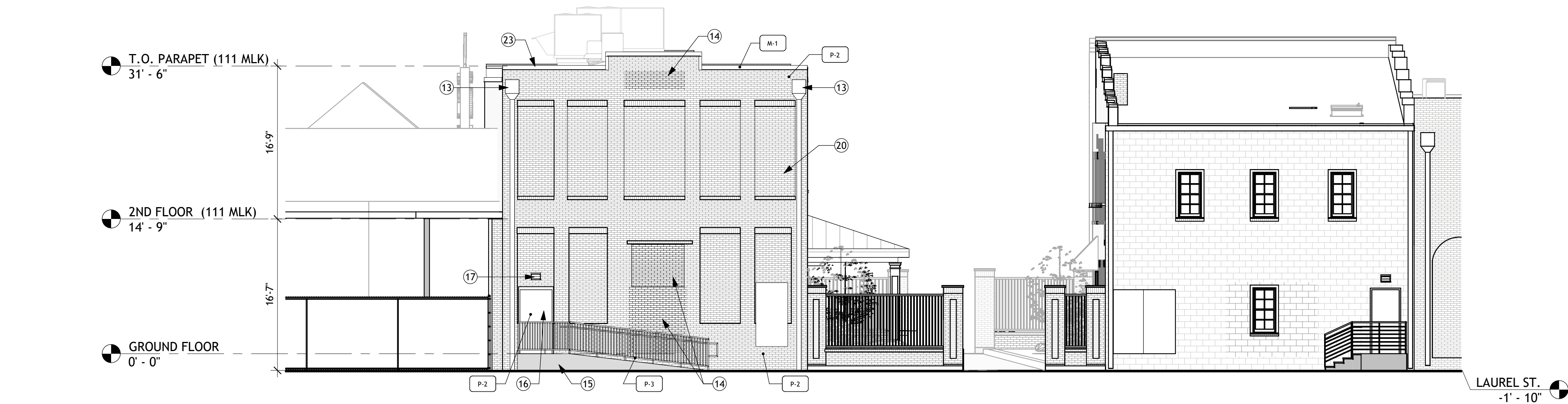
C



B

B1 NORTH COURTYARD ELEVATION
1/8" = 1'-0"

A



A1 WEST ELEVATION (AT LAUREL STREET)
1/8" = 1'-0"

ELEVATION KEY NOTES

- 1 ALL MECHANICAL EQUIPMENT WILL NOT BE VISIBLE FROM MLK BLVD. R.O.W.
- 2 EXISTING STUCCO VENEER TO BE PAINTED.
- 3 EXISTING BRICK TO REMAIN.
- 4 NEW ALUM. CLAD WOOD WINDOWS WITHIN EXISTING OPENINGS ON THE SECOND FLOOR ALONG MLK BLVD, SEE SCHEDULE.
- 5 NEW ALUM. STOREFRONT DOOR, SEE SCHEDULE.
- 6 WOOD CORNICE TO BE REPAIRED IN KIND & PAINTED.
- 7 PAINTED 10" COMPOSITE COLUMN WRAP.
- 8 BLACK ALUMINUM STANDING SEAM MTL ROOFING.
- 9 NEW FABRIC AWNING W/ ALUMINUM FRAME.
- 10 BRICK SOLDIER INFILL WITHIN STEEL HEADER @ NEW WINDOW & DOOR LOCATIONS, TYP.
- 11 BRICK ROWLOCK SILL @ NEW WINDOW LOCATIONS, TYP.
- 12 NEW ALUM. CLAD WOOD WINDOW, SEE SCHEDULE.
- 13 NEW BLACK ALUM. CONDUCTOR HEAD & DOWNSPOUT.
- 14 INFILL OPENING W/ BRICK TO MATCH EXISTING.
- 15 NEW CAST IN PLACE CONCRETE RAMP W/ STEEL PIPE GUARD & HANDRAIL, SEE DETAIL.
- 16 NEW PAINTED HOLLOW METAL DOOR, SEE SCHEDULE.
- 17 NEW WALL PACK LIGHT FIXTURE.
- 18 NEW ALUM. STOREFRONT DOUBLE DOORS, SEE SCHEDULE.
- 19 ALL STOREFRONT WINDOWS ALONG MLK BLVD. TO BE REPLACED, SEE SCHEDULE.
- 20 INFILL ALL SECOND FLR. OPENINGS ALONG LAUREL STREET W/ BRICK TO MATCH EXISTING, INSET BRICK 1/2".
- 21 NEW ALUM. CLAD WOOD DOOR W/ TRANSOM, SEE SCHEDULE.
- 22 EXISTING LIGHT FIXTURES TO REMAIN ALONG MLK BLVD.
- 23 NEW ALUM. COPING OVER WOOD NAILER, SEE DETAIL.

ELEVATION MATERIAL LEGEND

- | | | | |
|-----|---|-----|---|
| P-1 | EXTERIOR PAINT
PRODUCT: SHERWIN WILLIAMS
COLOR: WOOL SKEIN SW6148 | M-1 | METAL ROOFING, FLASHINGS
PRODUCT: PAC-CLAD
COLOR: BLACK |
| P-2 | EXTERIOR PAINT
PRODUCT: SHERWIN WILLIAMS
COLOR: PANDA WHITE SW6147 | | |
| P-3 | EXTERIOR PAINT
PRODUCT: BENJAMIN MOORE
COLOR: 2132-10 BLACK | | |
| F-1 | FABRIC-1
PRODUCT: SUNBRELLA FABRIC
COLOR: TRIUMPH LAGOON 62027-0004 | | |

COOK

618 E 60TH STREET
SAVANNAH, GA 31405
PH. 912-988-8732
COOK-ARCH.COM

TIDAL
REAL ESTATE PARTNERS

111 MLK EVENT SPACE

#	DATE	DESCRIPTION

EXTERIOR
ELEVATIONS

PROJECT NUMBER: 2502-103
ISSUE DATE: 07/08/2026

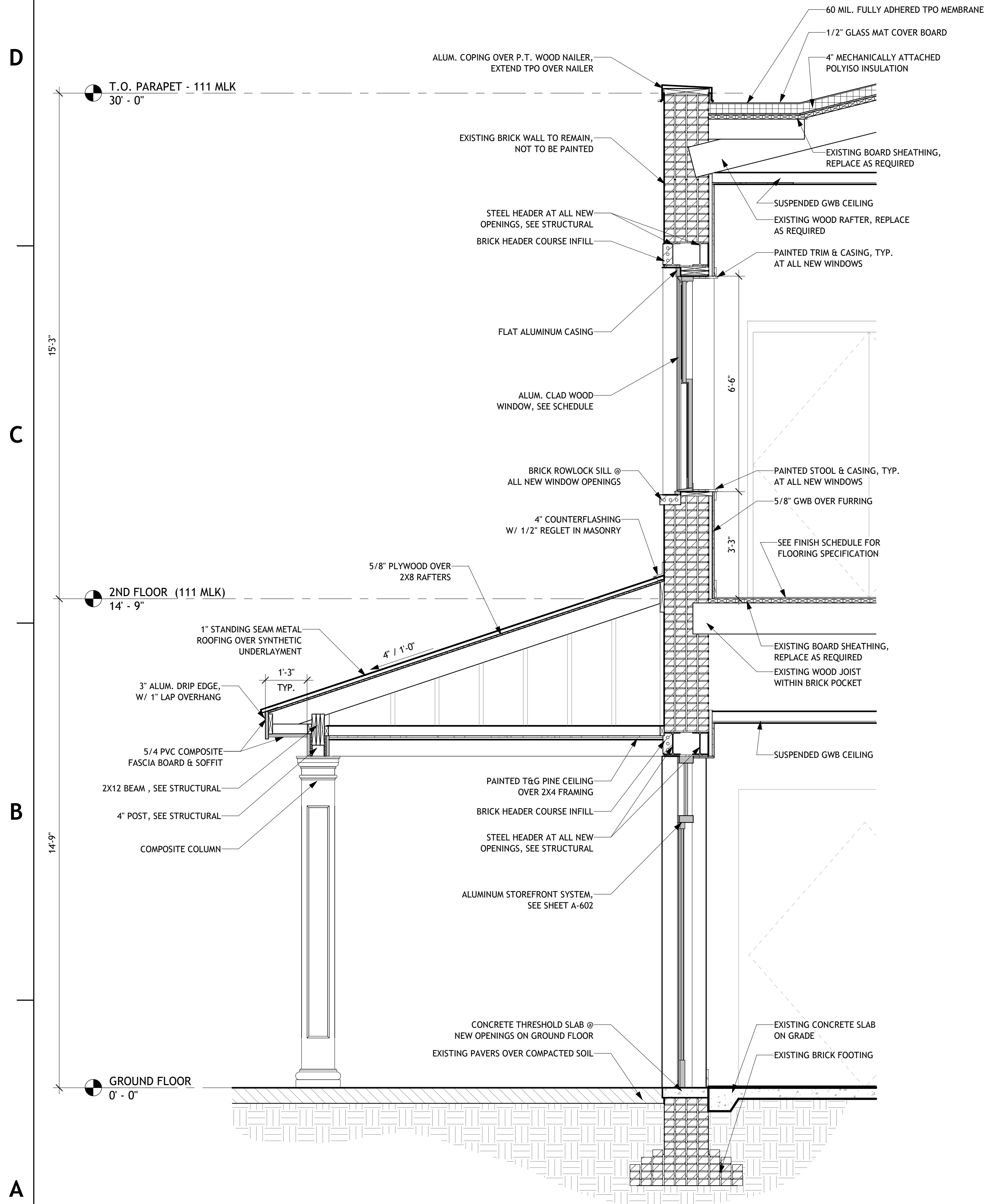
A-201

111 MLK EVENT SPACE

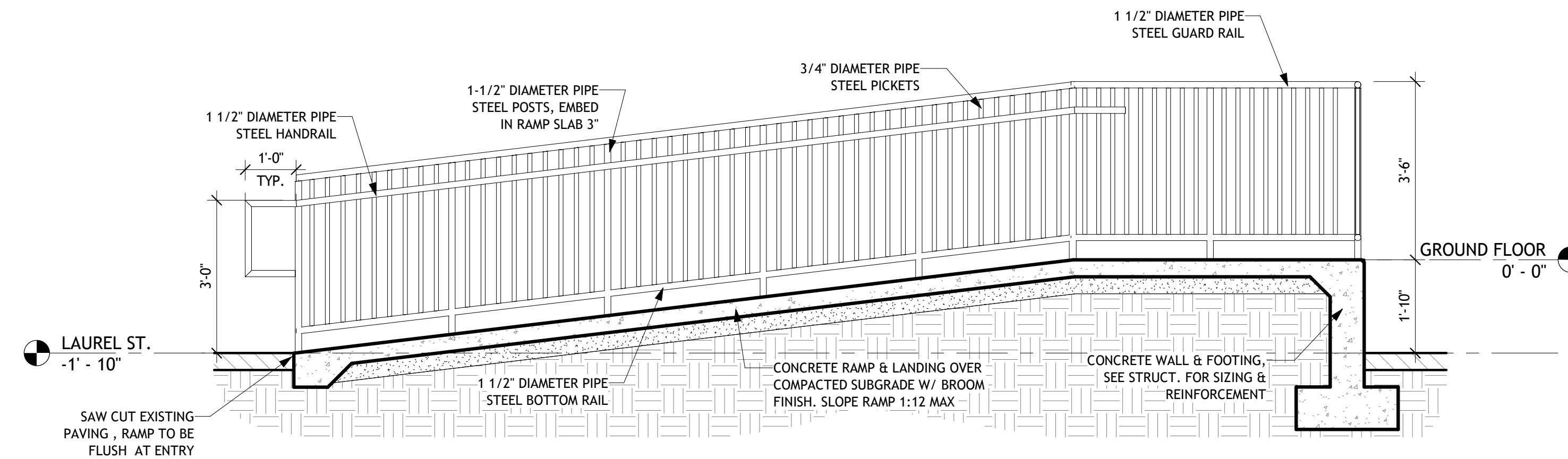
#	DATE	DESCRIPTION

SECTION DETAILS

PROJECT NUMBER: 2502-103
ISSUE DATE: 07/08/2026



A1 SOUTH WALL SECTION (AT COURTYARD)
1/2" = 1'-0"



A3 SECTION @ RAMP
1/2" = 1'-0"

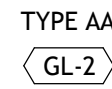
618 E 60TH STREET
SAVANNAH, GA 31405
PH. 912-988-8732
COOK-ARCH.COM

TIDAL
REAL ESTATE PARTNERS

REAL ESTATE PARTNERS

TYPE	DESCRIPTION	MATERIAL	NOTES
AA	EXTERIOR STOREFRONT SYSTEM	ALUMINUM - BLACK ANODIZED	
BB	EXTERIOR ALUM. CLAD WOOD DOOR	ALUMINUM CLAD WOOD	BLACK FINISH
CC	EXTERIOR STOREFRONT SYSTEM	ALUMINUM - BLACK ANODIZED	
DD	EXTERIOR STOREFRONT SYSTEM	ALUMINUM - BLACK ANODIZED	

1. ALL STOREFRONT GLAZING TO BE INSET FROM FACE OF FACADE VENEER 4" MINIMUM ALONG MLK BLVD. PER SAVANNAH HISTORIC REVIEW BOARD ORDINANCE.
2. ALUMINUM CLAD WOOD DOORS SHALL BE WINDSOR PINNACLE SELECT W/ 3" FLAT CASING.
3. ALL ALUMINUM FRAMED STOREFRONT SYSTEMS SHALL BE YKK YES 45 TU W/ YKK 50T ENTRANCES.

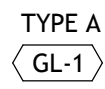

$$1/4'' = 1'-0''$$
TYPE

NOTES:

1. ALL EXTERIOR WINDOW GLAZING TO BE TYPE GL-1 U.N.O.
2. ALL EXTERIOR STOREFRONT GLAZING TO BE TYPE GL-2 U.N.O.
3. ALL EXTERIOR DOOR GLAZING TO BE TYPE GL-2 U.N.O.
4. ALL EXTERIOR WINDOWS SHALL MEET THE ALLOWABLE STRESS DESIGN (ALLOWABLE DESIGN PRESSURE), WHICH IS AN ADJUSTED DESIGN WIND PRESSURE BY THE VALUE OF 0.6.

MARK	ROUGH OPENING		FINISH	GLAZING	NOTES
	WIDTH	HEIGHT		TYPE	
A	2' - 6"	6' - 6"	ALUM CLAD WD	GL-1	DOUBLE HUNG, BLACK ALUM FINISH
B	3' - 0"	6' - 8"	ALUM CLAD WD	GL-1	DOUBLE HUNG, BLACK ALUM FINISH
C	4' - 3"	2' - 8"	ALUMINUM STOREFRONT	GL-1	FIXED, BLACK ALUM FINISH
D	6' - 4"	2' - 8"	ALUMINUM STOREFRONT	GL-1	FIXED, BLACK ALUM FINISH
E	4' - 3"	6' - 7"	ALUMINUM STOREFRONT	GL-1	FIXED, BLACK ALUM FINISH
F	2' - 6"	6' - 6"	ALUM CLAD WD	GL-1	DOUBLE HUNG, BLACK ALUM FINISH
H	6' - 0"	1' - 6"			

1. ALL ALUMINUM CLAD WOOD WINDOWS TO BE DOUBLE HUNG. ALL ALUMINUM FRAMED STOREFRONT WINDOWS TO BE FIXED.
2. ALL MUNTINS TO BE 7/8" MAXIMUM.
3. SEE WALL SECTIONS FOR HEAD/SILL HEIGHTS.
4. ALL OPERABLE SASHES TO BE INSET FROM FACE OF FACADE VENEER 3" MINIMUM PER SAVANNAH HISTORIC REVIEW BOARD ORDINANCE. STOREFRONT GLAZING ALONG MLK BLVD TO BE INSET 4" MINIMUM.
5. ALUMINUM CLAD WOOD WINDOWS SHALL BE WINDSOR PINNACLE SELECT.
6. ALL ALUMINUM FRAMED STOREFRONT WINDOWS SHALL BE YKK YES 45 TU.


$$1/4" = 1'-0"$$



www.ykkap.com

ALUM. STOREFRONT SYSTEM

Oakmont Bakery - Oakmont, PA

YES 45 TU

Thermally Broken, Center Set Storefront System with Insulating Glass

The **YES 45 TU** is a thermally broken, center set storefront system for insulating glass. The system is thermally broken by means of a poured and de-bridged pocket to greatly improve adhesion and resolves the problem of adhesion and resulting dry shrinkage associated with typical thermally poured systems.

- ThermaBond Plus® pour and de-bridged break for better thermal performance
- XT filler options to achieve even better thermal performance
- High Performance Sill Flashing
 - ◆ No blind seals
 - ◆ Tall back leg for enhanced water resistance
 - ◆ Patented 3-point attachment of end dam
- Expansion mullions along with 90° inside & outside or 135° outside corners
- Integrates with our YKK AP Entrances and Sun Control Systems

Configuration:

Glazing	Glass Setting	Installation
Outside or Inside	Center Set	Screw Spline, Shear Block, or Can

Thermal Values:

U-Factor:	Values as low as 0.32*
CRF:	Minimum 57 frame and 62 glass

*Based on AAMA 507. Lower values may be achieved through further simulation.

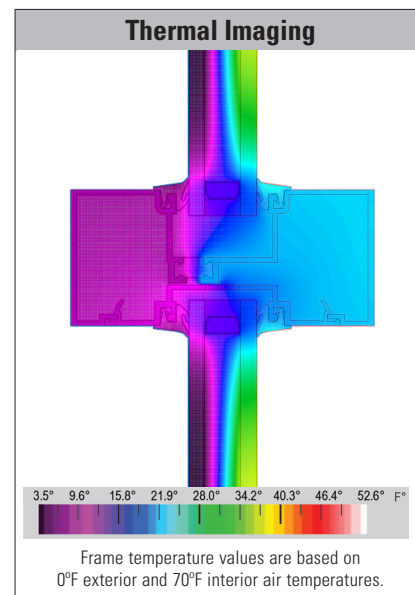


YES 45 TU SPECS		
Base Depth	4-1/2"	
Sightline	2"	
Config	Outside & Inside Glazed / Center Set	
Tested Glass	1" IGU with Low-E (C.O.G. U-Factor: 0.29)	
Test	Results	Standards
Air Infiltration	0.06 CFM/FT ² (1.10 m ³ /h·m ²) @ 6.24 PSF (299 Pa)	ASTM E 283
Water Infiltration	Screw Spline: Static: 12 PSF (575 Pa)	ASTM E 331 AAMA 501
	Can: Please see our installation instructions and test reports.	
Acoustical (1" IGU)	Standard STC: 32 Standard OITC: 26	ASTM E 90 ASTM E 1425
	Laminated STC: 36 Laminated OITC: 30	
Seismic	Screw Spline: Tested with 6" Displacement	AAMA 501.4 AAMA 501.6

Thermal Performance (Screw Spline)									
Mullion Depth (1" IGU)	U-Factor - BTU/hr·ft ² ·°F						CRF		
2" x 4-1/2"	0.43	0.42	0.40	0.39	0.37	0.35	57	62	
2" x 4-1/2" (XT Filler)	0.40	0.38	0.36	0.35	0.33	0.32	Not Tested		
Center of Glass	0.30	0.28	0.26	0.24	0.22	0.20	Frame	Glass	
AAMA 507 & NFRC 100							AAMA 1503		

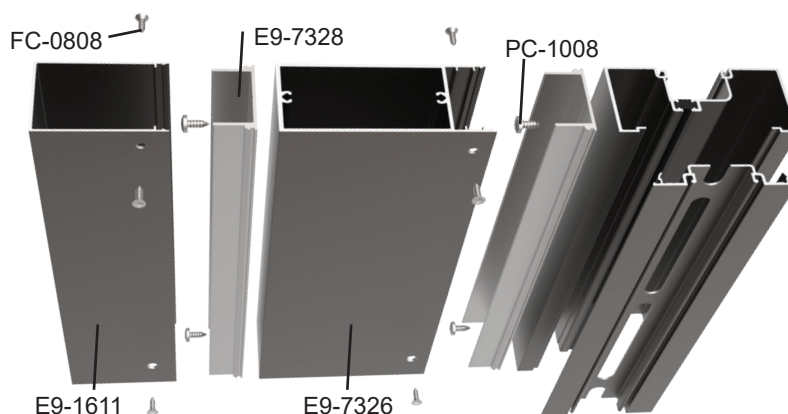
Finish Options	
Type	Standard
Factory Anodized	AAMA 612
Organic Paints	AAMA 2604 AAMA 2605

Various System Options
10" High Sill Covers, XT Fillers, Extended Face Covers, Expansion Mullions, 90° Inside and Outside Corners, 135° Outside Corner



Extended Face Covers

Depending on your project specs, an option to add extended face covers may be available. E9-1611 is a 3" extended cover and E9-7326 is a 5" cover. You can also compound them while using two cover bases to get a combined 8" total cover. Contact your local rep or engineering center for more information and other sizes.



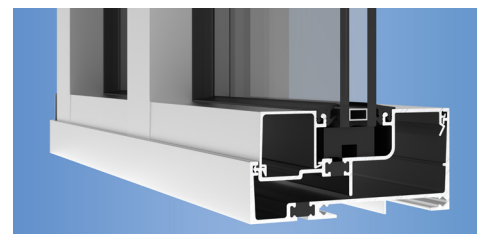
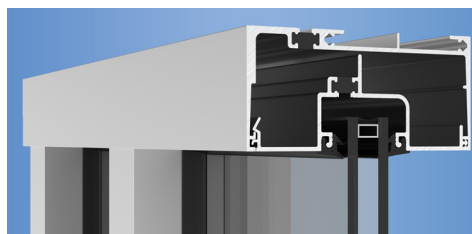
XT Filler Options

Need a push in thermal performance, but no budget for an entire thermal system upgrade to the YES 45 XT? Upgrade the fillers on the verticals, jambs and heads to XT fillers, which have a pour and de-bridged setup can help you reach energy goals.



Can Configuration

In this configuration, the framing is contained within a continuous head and sill receptor, simplifying installation while using fewer parts. Both outside and inside glazing options are available.



Additional information including CAD details, CSI specs, test reports and installation instructions are found on the Product Guide by clicking this link or visiting www.ykkap.com/commercial/productguide

25T/35T/50T

Narrow, Medium and Wide Stile, Thermally Broken Entrance Systems

Our thermally broken entrance systems offer an abundance of design options. MegaTherm® 6/6 nylon polyamide glass fiber reinforced bars are inside the doors for improved thermal performance over our standard doors. They fit seamlessly within our storefront suite of products, making them a versatile option for clients interested in LEED® certification. Custom entrances are available with options glazing, midrails, and will accommodate most non-standard hardware.

LEED is a registered trademark of the U.S. Green Building Council

- 2-1/2" Narrow, 3-1/2" Medium & 5" Wide Stiles
- Single and Paired door options
- 2" door leaf thickness
- Thermally broken with our MegaTherm® 6/6 nylon polyamide glass fiber reinforced bars
- 10" bottom rail and varied midrail sizes
- Corners are mechanically joined and welded
- Various glazing options available including: 1", 1-1/4", 1-5/16" and 1-3/8"

* Contact our YKK AP engineering center, as an evaluation is required for glass thicker than 1"

Door Leaf:

Glazing	Glass Setting	Installation
Inside/Outside	Center Set	Single or Pair

Thermal Values:

	25T	35T	50T
U-Factor:	Values as low as 0.43/0.45/0.48 **		
CRF:	Minimum 59 frame and 67 glass		

*Based on NFRC 100. Lower values may be achieved through further simulation.

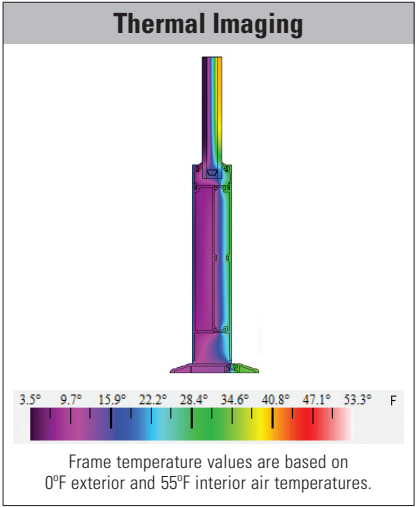


25T/35T/50T SPECS		
System Stiles	2-1/2" - Narrow, 3-1/2" - Medium, and 5" - Wide	
Door Config	Outside Glazed / Center Set	
Tested Glass	1" IGU with Low-E (C.O.G. U-Factor: 0.29)	
Test	Results	Standards
Air Infiltration	Single: 0.50 CFM/FT ² (1.10 m ³ /h·m ²) Pair: 1.00 CFM/FT ² (1.10 m ³ /h·m ²) @ 6.24 PSF (299 Pa)	ASTM E 283
Structural Uniform Load	25T Door Single: 35 PSF Pair: 35 PSF 35T Door Single: 50 PSF Pair: 40 PSF 50T Door Single: 50 PSF Pair: 40 PSF	ASTM E 330
Structural Performance	Standard: Singles: 3' x 7' Pairs: 6' x 7' Offset Pivot, Butt/ Continuous Hinge, MS Lock, Rim and CVR Exit Device	
	Custom: Singles: 4' x 8' Pairs: 8' x 8' Standard and Custom Hardware	

Thermal Performance								
Entrance	U-Factor - BTU/hr.ft².°F						CRF	
25T Narrow Stile	0.53	0.52	0.51	0.50	0.49	0.48	59	67
35T Medium Stile	0.55	0.54	0.53	0.52	0.51	0.50	59	68
50T Wide Stile	0.56	0.56	0.55	0.54	0.53	0.52	61	67
Center of Glass	0.30	0.28	0.26	0.24	0.22	0.20	Frame	Glass
NFRC 100							AAMA 1503	

Finish Options	
Type	Standard
Factory Anodized	AAMA 612
Organic Paints	AAMA 2604 AAMA 2605

Midrail Sizes
1-1/4", 3", 3-15/16", 4-31/32", 6-1/2", 8" and 10"
Glass Sizes
15/16", 1", 1-1/16", 1-1/8", 1-3/16", 1-1/4", 1-5/16 and 1-3/8"
Contact our YKK AP engineering center, as an evaluation is required for glass thicker than 1"

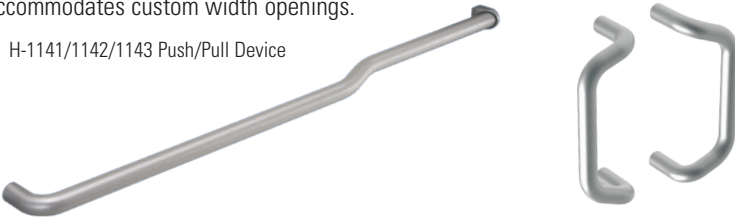


Standard Entrance Hardware

Smart Series Push/Pull Devices

The one inch diameter push/pull provides flexibility and occupant safety. The pull handle is open to permit access to the lock cylinder, but is slightly angled to provide a uniquely modern look. The push bar starts at the locking stile, but then has an ergonomic "S-Bend" toward the locking stile to bring the bar closer to the door where it is captured by an end cap. This innovative push bar also accommodates custom width openings.

H-1141/1142/1143 Push/Pull Device



H-1341/1541/1542 Pull Handles



Exit/Panic Devices

The modern and economical standard touch bar exit devices are ideally suited for all applications that require emergency egress. The devices are ANSI Grade 1, carry the UL label and are approved for Life Safety. Both the rim and concealed devices feature single point dogging and are available with electric actuation.

P-54453 Rim Panic Device



P-52497 CVR Panic Device

You can view all of our standard entrance hardware options by selecting the entrance hardware data sheets on our product guide at www.ykkap.com



Additional information including CAD details, CSI specs, test reports and installation instructions are found on the Product Guide by clicking this link or visiting www.ykkap.com/commercial/productguide



Pinnacle Swinging Patio Door

Features and Benefits

- Stainless steel multi-point locking hardware option for added security
- Integral structural astragal allows for doors up to 12 feet wide to be placed in a single frame, which decreases the potential for air and water infiltration
- "Easy Adjust" hinge system for effortless operation and correction after installation
- Wept sill system to eliminate water infiltration
- Dual-seal frame weatherstripping at panel face and edge improves air and thermal performance
- Taller sill provides excellent water performance and design pressure ratings
- Foam-backed glazing bead prevents paint and stain from bleeding
- Active stiles constructed of an LVL core material for added strength and stability
- Panel exterior matches Pinnacle product line with consistent depth from glass to face of the panel for a clean, complementary appearance
- Panels available in traditional French or contemporary narrow stile
- Low clearance (ADA-approved) sill options
- In-swing and out-swing options available
- Full, 1/2 and 3/4 lite available with flat or split panel option

Sizes

- Five standard heights: 6'8", 6'10", 8'0", 9'0" and 10'0" (9'0" and 10'0" doors available in French panels only)
- Custom sizes available

Glazing

- Windsor Glazing System provides 3/4" double pane insulated glass; Cardinal® LoE 366 glass standard; tinted, tempered, obscure and laminated glass available
- Interior stop glazed with silicone sealant
- Custom and special glass types available

Exterior Trim

- Clad doors available with WM 180 brickmould, Williamsburg or 3-1/2" flat casing; primed doors available with WM 180 brickmould, WM 180 brickmould with flange, Williamsburg, 3-1/2" flat, 4-1/2" backband, 5-1/2" flat or plantation casing
- All prime door trims are cellular PVC

Grilles

Windsor Divided Lite (WDL) = simulated divided lite

- 7/8" and 1-1/4" Perimeter Grille
- 3-4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Short Contemporary WDL
- 3-3/8" Simulated Mid Rail
- Standard and custom grille patterns available

Weatherstripping

- Rigid, weatherable PVC or urethane foam encased in polyethylene film
- In-swing and out-swing doors feature bottom heavy-duty, self-adjusting sweep

Finishes

- Interior – Available in Clear Select Pine, Douglas Fir or Natural Alder
 - Primed: white or black
 - Painted: white, black or gray
 - Stained: 9 color options(Note: primed doors available in Clear Select Pine, primed or painted white as interior finishes)
- Exterior – Clad doors available in heavy-duty extruded aluminum cladding; primed doors offer an assortment of traditional cellular PVC trim options

Clad Colors

All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments

- 24 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

Hardware

Classic or contemporary handle available in white, brushed chrome, polished chrome, satin nickel, antique nickel, brass, antique brass, faux bronze, oil rubbed bronze and black; Euro handle available in satin nickel and black

Performance Ratings

For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar





Pinnacle Clad 3-1/4" Frame Direct Set & Radius

Features and Benefits

- The warmth and beauty of Clear Select Pine, Douglas Fir or Natural Alder; can be painted or stained
- Clad units offer a strong, durable extruded aluminum frame for low maintenance
- Glass is replaceable in case of damage
- 3/4" frame on radius/direct set creates unmatched strength and stability
- Silicone-injected frame corners create a stronger and more attractive joint

Glazing

- Windsor Glazing System provides 3/4" double pane insulated glass; Cardinal® LoE 366 glass standard; tinted, tempered, obscure and laminated glass available
- Glazed with silicone sealant
- Custom and special glass types available
- Preserve protective film optional

Exterior Trim

- Clad windows available with WM 180 brickmould, clad extruded Williamsburg and 3-1/2" flat casing (*direct set only*)

Grilles

Windsor Divided Lite (WDL) = simulated divided lite

- 7/8" and 1-1/4" Stick Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 7/8", 7/8", 1-1/4" and 2" Tall and Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Tall and Short Contemporary WDL
- 2" Simulated Check Rail (Direct set only)
- Standard and custom grille patterns available

Finishes

- Interior – Available in Clear Select Pine, Douglas Fir or Natural Alder
 - Primed: white or black
 - Painted: white, black or gray
 - Stained: 9 color options
- Exterior – Heavy-duty extruded aluminum cladding on frame

Clad Colors

All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments

- 24 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

Performance Ratings

For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar



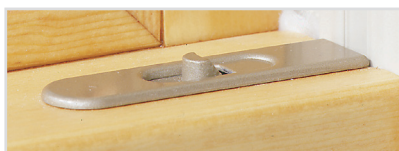
Clad 3-1/4" Direct Set
& Radius Corner Cut



Pinnacle Double Hung & Glide-by

Features and Benefits

- The warmth and beauty of Clear Select Pine, Douglas Fir or Natural Alder; can be painted or stained
- Clad units offer a strong, durable extruded aluminum sash and frame for low maintenance; primed units offer the traditional appearance of decorative cellular PVC trim
- Glass is replaceable in case of damage
- Both tape and silicone glazed, with interior wood stops for superior strength and seal
- EZ Tilt operation available for easy removal and replacement of sash (double hung only)



- Both sashes tilt in with compression or concealed jambliner for easy cleaning
- Recessed lock and keeper for a sleek appearance



- Block and tackle balance system for ease of operation
- Prime double hung units come standard with cellular PVC trim, blind stop and sill
- No-finger pull option for hardware application

Sizes

Available in hundreds of standard and custom sizes

Glazing

- Windsor Glazing System provides 3/4" double pane insulated glass; Cardinal® LoE 366 glass standard; tinted, tempered, obscure and laminated glass available
- Glazed with tape and silicone sealant
- Custom and special glass types available
- Preserve protective film optional

Exterior Trim

- Clad windows available with WM 180 brickmould, Williamsburg, or 3-1/2" flat casing; 3/8", 1-1/4", 2-1/4" subsills
- Primed windows available with WM 180 brickmould, WM 180 brickmould with flange, Williamsburg, 3-1/2" flat, 4-1/2" backband, 5-1/2" flat or plantation casing; double hung sill nose, 2" bull nose sill nose or belly sill nose
- All prime window trims, sill nose and outside stops are cellular PVC

Grilles

Windsor Divided Lite (WDL) = simulated divided lite

- 7/8" and 1-1/4" Perimeter Grille (*NOT available on radius double hung*)
- 7/8" and 1-1/4" Stick Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Short Contemporary WDL
- 2" Simulated Check Rail (*DH picture only*)
- Standard and custom grille patterns available

Finishes

- Interior – Available in Clear Select Pine, Douglas Fir or Natural Alder
 - Primed: white or black
 - Painted: white, black or gray
 - Stained: 9 color options
- Exterior – Clad windows feature heavy-duty extruded aluminum cladding on sash and frame; primed windows (*double hung only*) offer an assortment of traditional cellular PVC trim options

Clad Colors

All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments

- 24 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

Hardware

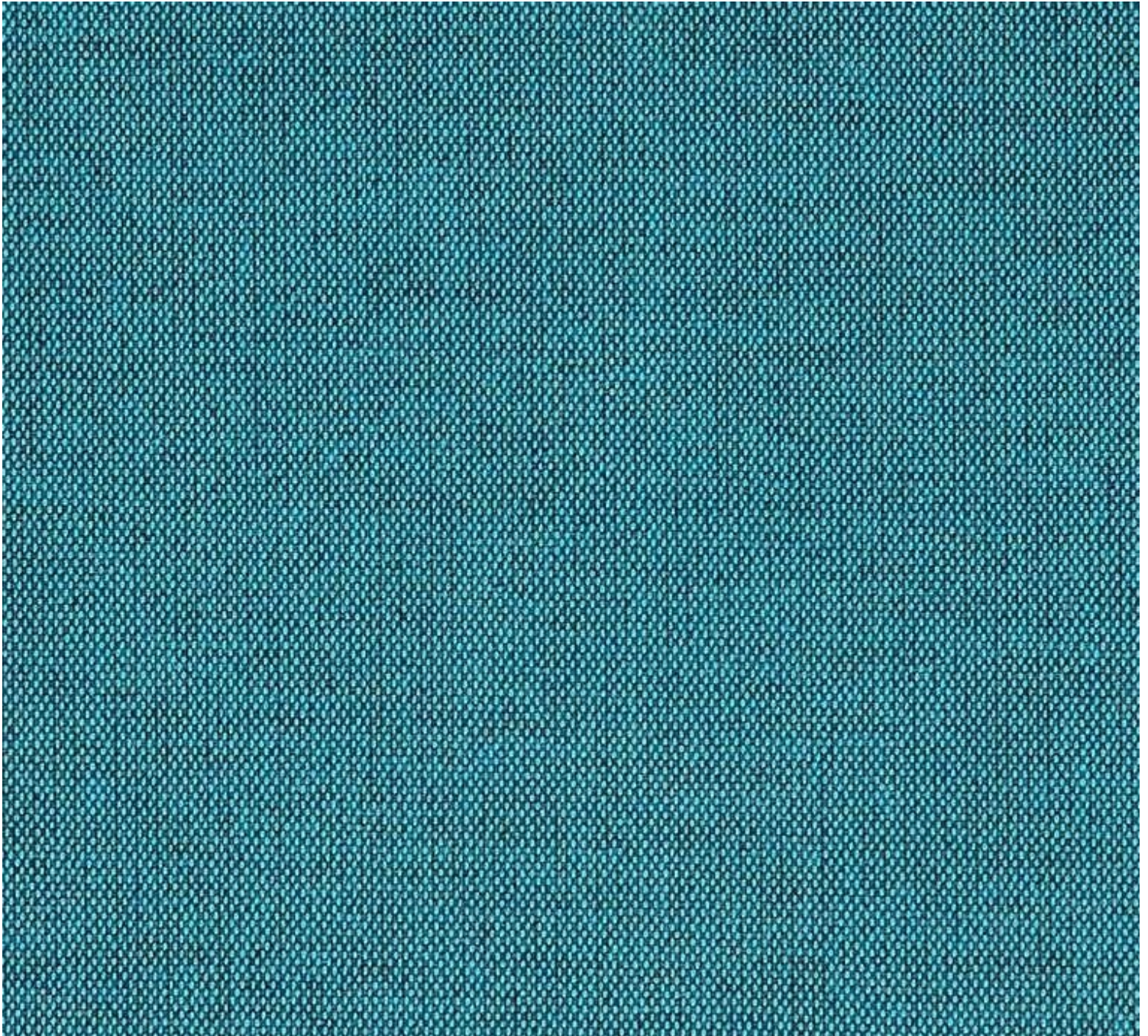
Double hung lock available in champagne, white, bronze and black; optional finishes in faux bronze, oil rubbed bronze, satin nickel and bright brass

Performance Ratings

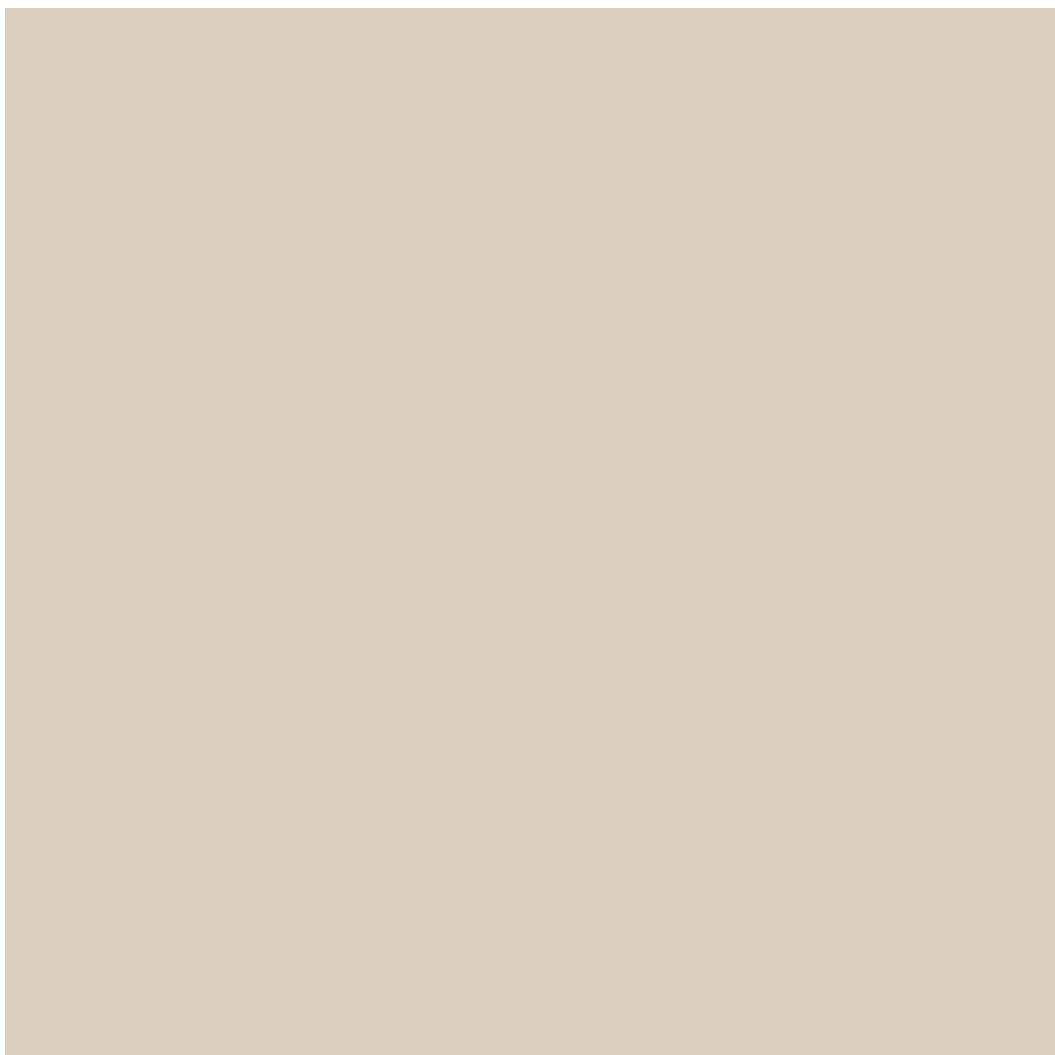
For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar



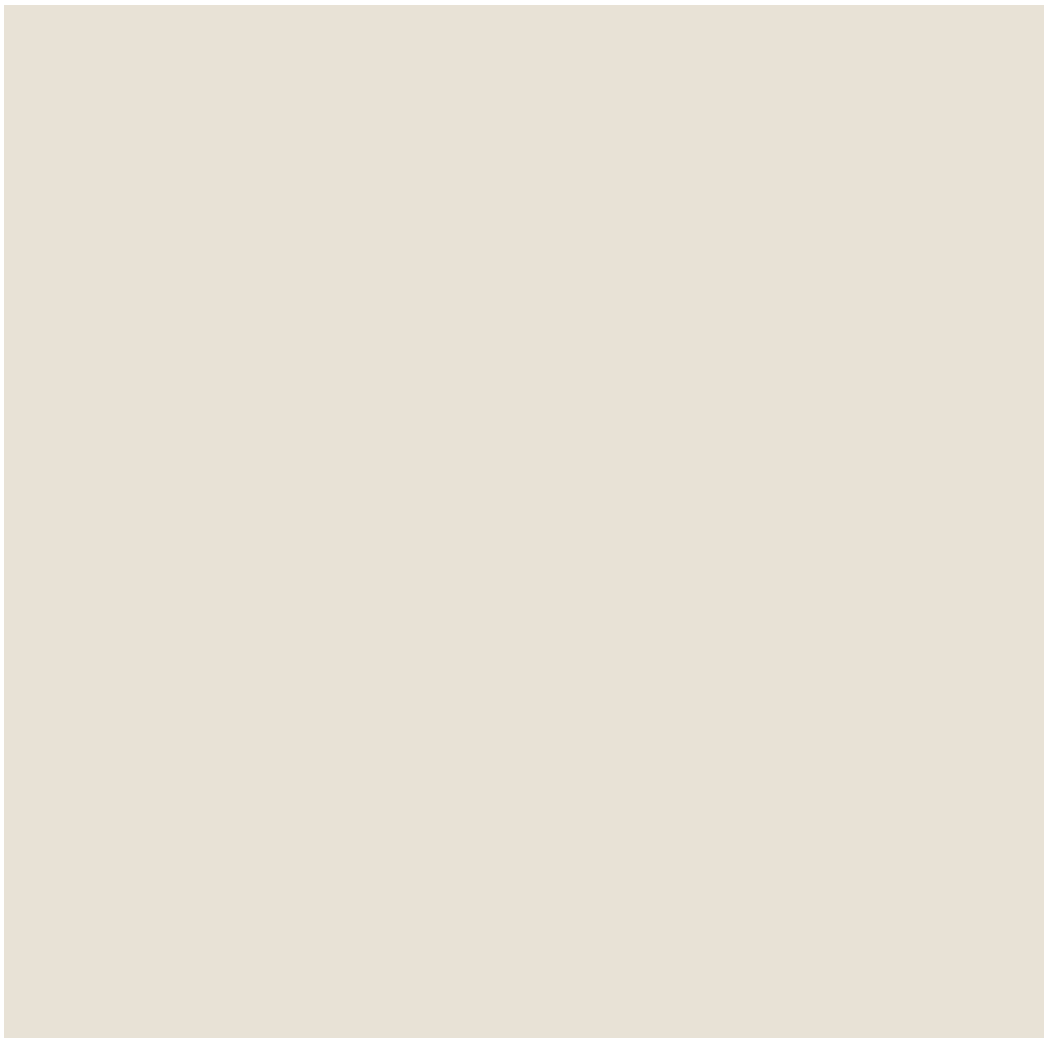
FABRIC AWNINGS F-1
SUNBRELLA TRIUMPH
LAGOON 62027-004



PAINT P-1
SHERWIN WILLIAMS
WOOL SKEIN SW6148



PAINT P-2
SHERWIN WILLIAMS
PANDA WHITE SW6147



PAINT P-3
BENJAMIN MOORE
2132-10 BLACK



Snap-On Standing Seam Panel

MATERIALS

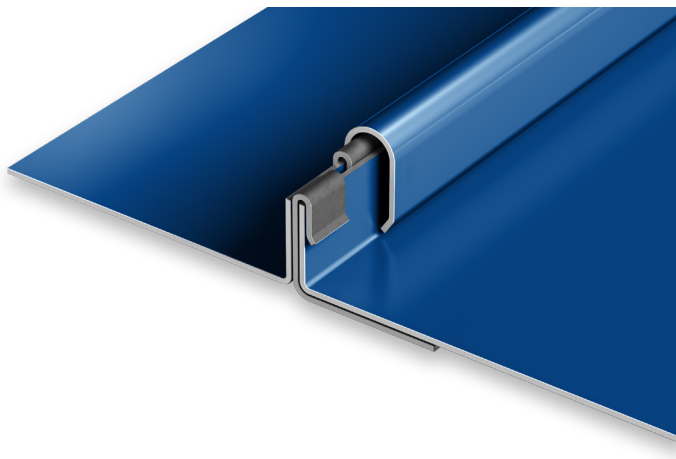
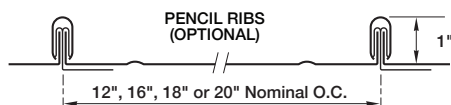
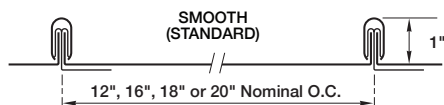
.032 aluminum

24 gauge steel*

SPECS

12", 16", 18" or 20" O.C.** 1" High

UL-90



PRODUCT FEATURES

- ▶ Ideal for transition roofs
- ▶ Pencil ribs available
- ▶ 35-year non-prorated finish warranty
- ▶ Panel lengths up to 35'

MATERIAL

- ▶ 24 gauge steel

- ▶ .032 aluminum
- ▶ Galvalume Plus available

UL CLASSIFICATION

- ▶ UL-580 Class 90 rated over solid substrate. (steel only - up to 18" O.C.)
- ▶ UL-1897 wind uplift
- ▶ UL-790 Class A fire rated
- ▶ UL-263 fire resistance rated

ASTM TESTS

- ▶ ASTM E283/1680 tested
- ▶ ASTM E331/1646 tested

FLORIDA BUILDING PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Snap-On Panels.

*12" and 18" 24 gauge steel Snap-On Standing Seam panels and 11" and 18" 24 gauge steel High Snap-On Standing Seam panels are UL-90 Classified over solid substrate. See roof deck construction in Underwriter Laboratories roofing materials and systems directory.

** widths are nominal

A complete specification is available online at pac-clad.com.





1" STANDING SEAM
METAL ROOFING,
DOWNSPOUTS &
COPING- BLACK
ALUMINUM

Color Guide



▲\$ SANDSTONE



▲\$ SIERRA TAN



▲\$ DARK BRONZE



▲\$ BURNISHED SLATE



\$ MIDNIGHT BRONZE



▲\$ MANSARD BROWN



▲\$ CHARCOAL



▲\$ GRAPHITE



✖\$ ONYX (aka Matte Black)



\$ TRADITIONAL BLACK



▲\$ CARDINAL RED



▲✖\$ MILITARY BLUE



\$ AWARD BLUE



▲\$ HEMLOCK GREEN



\$ FOREST GREEN



▲✖\$ PATINA GREEN



✖\$ HARTFORD GREEN



\$ GALVALUME PLUS

Project		Catalog #	WALL PACK LIGHT- LAUREL STREET	Type	
Prepared by		Notes		Date	



Lumark AWP Architectural Wall Pack Series

Wall Mount Luminaire

Product Features



Interactive Menu

- Ordering Information [page 2](#)
- Product Specifications [page 2](#)
- Energy and Performance Data [page 3](#)

Product Certifications

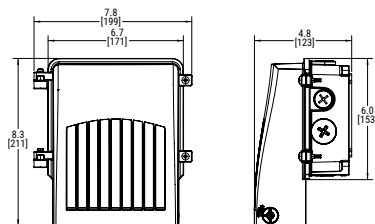


Quick Facts

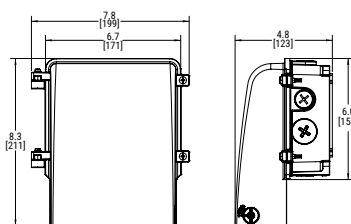
- Selectable lumens, CCT, and 0 to 45 degree rotatable optics
- Finned and smooth aesthetics available
- Lumen packages range from 2,800-20,800 lumens
- Replaces 35-250W HID equivalent
- Efficacies up to 155 lumens per watt
- Heat and impact resistant PC lens

Dimensional Details

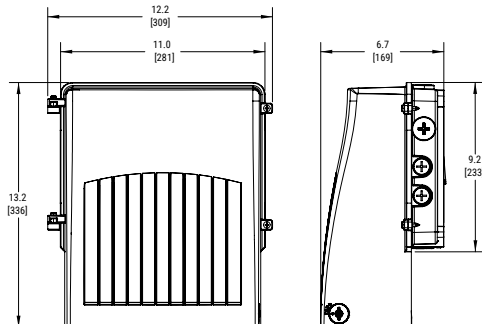
Architectural Wall Pack Fins - Small



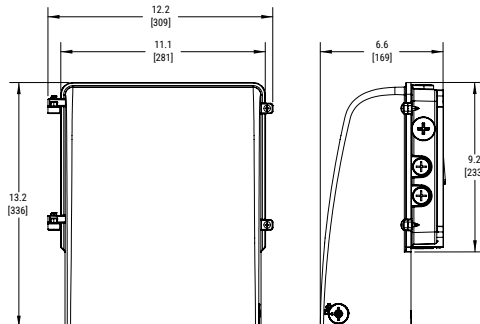
Architectural Wall Pack Smooth - Small



Architectural Wall Pack Fins - Medium & Large



Architectural Wall Pack Smooth - Medium & Large



Ordering Information

Model Number ¹	Lumens Wattage	Wattage	Color Temperature	Tilttable Lens	Voltage	Controls
AWPS28S-BZ =Architectural Wall Pack Small Smooth, 20-28W, 120-347V, PC	2,800-4,000 Lms	20-25-28W	Selectable CCT: 3000,4000,5000K / 80CRI	0-45° forward throw	120-347V, 50/60Hz	Selectable Dusk-to-Dawn via Button-type photocontrol
AWPS75S-BZ =Architectural Wall Pack Medium Smooth, 55-75W, 120-347V, PC	7,900-11,200 Lms	55-65-75W				
AWPS150S-BZ =Architectural Wall Pack Large Smooth, 100-150W, 120-347V, PC	13,700-20,800 Lms	100-120-150W				
AWPF28S-BZ =Architectural Wall Pack Small Fins, 20-28W, 120-347V, PC	2,800-4,000 Lms	20-25-28W				
AWPF75S-BZ =Architectural Wall Pack Medium Fins, 55-75W, 120-347V, PC	7,900-11,200 Lms	55-65-75W				
AWPF150S-BZ =Architectural Wall Pack Large Fins, 100-150W, 120-347V, PC	13,700-20,800 Lms	100-120-150W				
AWPS28SE-BZ =Architectural Wall Pack Small Smooth, 20-28W, 120-347V, PC, EBP	2,800-4,000 Lms	20-25-28W				
AWPS75SE-BZ =Architectural Wall Pack Medium Smooth, 55-75W, 120-347V, PC, EBP	7,900-11,200 Lms	55-65-75W				
AWPS150SE-BZ =Architectural Wall Pack Large Smooth, 100-150W, 120-347V, PC, EBP	13,700-20,800 Lms	100-120-150W				
AWPF28SE-BZ =Architectural Wall Pack Small Fins, 20-28W, 120-347V, PC, EBP	2,800-4,000 Lms	20-25-28W				
AWPF75SE-BZ =Architectural Wall Pack Medium Fins, 55-75W, 120-347V, PC, EBP	7,900-11,200 Lms	55-65-75W				
AWPF150SE-BZ =Architectural Wall Pack Large Fins, 100-150W, 120-347V, PC, EBP	13,700-20,800 Lms	100-120-150W				
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.						

Product Specifications

Construction

- Die-cast aluminum housing with hinged, removable die-cast aluminum door
- Four 1/2" threaded conduit entry points
- Removable mounting plate and hangar for easy installation
- Cast-in angle indicators

Optics

- Polycarbonate lens

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 driver incorporates internal fusing designed to withstand 6kV surge
- 0-10V dimming driver standard

Controls

- Selectable configurations supply internal toggle switches to adjust luminaire CCT and lumens. Selectable luminaires will ship default at 4000K CCT and maximum lumen output. Selectable configurations also provide an integrated button-type photocontrol for dusk-to-dawn operation. The photocontrol is also field-adjustable via toggle switches to either enable or disable. The photocontrol ships default enabled.

Typical Applications

- Outdoor
- Parking Lots
- Walkways
- Building Areas

Finish

- Bronze

Compliance

- Meets ANSI C136.25 for IP66 Optical enclosure rating
- UL wet location rated
- Configurations available that meet DLC and DLC Premium requirements, submission in progress - visit www.designlights.org to confirm listed variants
- Meets RoHS compliance

Shipping Data

- Unit Carton:
 - AWPS28S & AWPf28S: 4.2 lbs
 - AWPS75S & AWPf75S: 10.2 lbs
 - AWPS150S & AWPf150S: 10.5 lbs
- Master Carton:
 - AWPS28S & AWPf28S: 18.5 lbs
 - AWPS75S & AWPf75S: 22.8 lbs
 - AWPS150S & AWPf150S: 23.3 lbs

Warranty

- Five-year limited warranty. Consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

[View WP IES files](#)

Power and Lumens

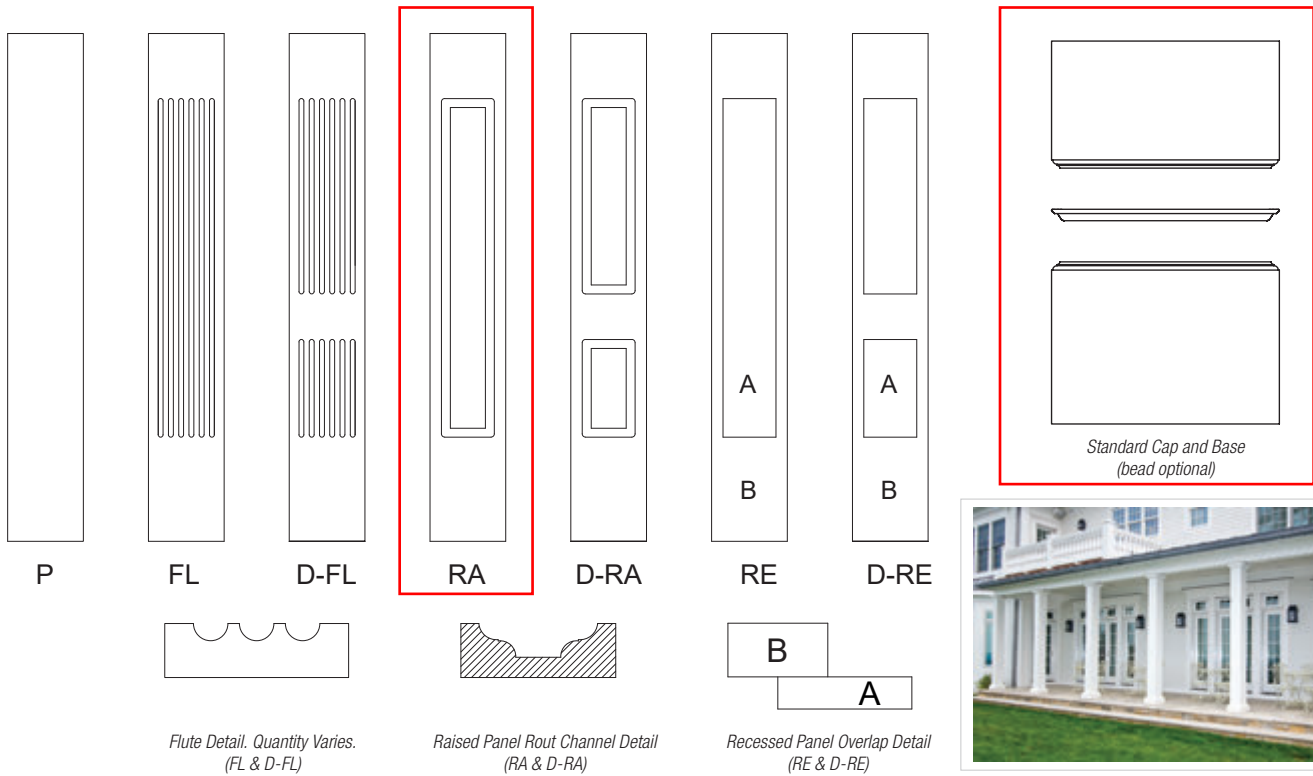
CCT SETTING	LUMEN SETTING	0°								
		20-25-28W			55-65-75W			100-120-150W		
		LUMENS	WATTAGE	EFFICACY	LUMENS	WATTAGE	EFFICACY	LUMENS	WATTAGE	EFFICACY
3000K	HIGH	3,779	29	129	10,526	77	137	19,638	151	130
	MID	3,500	27	131	9,376	67	140	16,620	125	133
	LOW	2,853	21	135	7,974	56	143	13,721	100	137
4000K	HIGH	4,047	28	145	11,256	74	152	20,874	145	144
	MID	3,733	26	146	9,976	65	154	17,558	121	145
	LOW	2,998	20	147	8,446	54	155	14,295	97	147
5000K	HIGH	3,992	29	137	10,932	76	144	20,488	150	137
	MID	3,700	27	139	9,737	66	147	17,408	124	140
	LOW	3,005	21	143	8,308	55	150	14,364	100	144

Lumen Maintenance

Configuration	Ambient Temperature	TM-21 Lumen Maintenance (50,000 hrs)	Reported L70 (hrs)
Up to 28W	40°C	91.24%	>102,000
Up to 75W	40°C	91.24%	>102,000
Up to 150W	40°C	91.24	>102,000

RoyalWrap Columns Cellular PVC Column Wraps

SQUARE NON-TAPERED



SQUARE TAPERED

