

ARCHITECT OF RECORD:

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SHEET LIST

SHEET NUMBER	SHEET NAME
_G000	HDBR SUBMITTAL COVER SHEET
-D201	NORTH SELECTIVE DEMOLITION ELEVATIONS
-D202	EAST SELECTIVE DEMOLITION ELEVATIONS
-D203	WEST SELECTIVE DEMOLITION ELEVATIONS
A104.	PREVIOUSLY APPROVED LEVEL 4 PLAN
-A104	PROPOSED LEVEL 4 PLAN
-A201	PREVIOUSLY APPROVED & PROPOSED NORTH ELEVATION
-A202	PREVIOUSLY APPROVED & PROPOSED EAST ELEVATION
-A203	PREVIOUSLY APPROVED & PROPOSED WEST ELEVATION
-A900	PREVIOUSLY APPROVED & PROPOSED 3D PERSPECTIVE

AMENDMENT TO HDBR SUBMITTAL

22-004728-COA

23-002293-COA

CURRENT COA NUMBER FOR
APPROVED CHANGES

REHAB & ALTERATIONS

301 W. BAY STREET



THE FOLLOWING UNITED NATIONS SUSTAINABLE DEVELOPMENT GOAL TARGETS WILL BE FOSTERED BY THE PROPOSED IMPROVEMENTS. FOR ADDITIONAL INFORMATION ABOUT THESE GOALS PLEASE CONTACT GMSHAY ARCHITECTS.

GOALS USED - 6, 7, 12

6.3 BY 2030, IMPROVE WATER QUALITY BY REDUCING POLLUTION, ELIMINATING DUMPING AND MINIMIZING RELEASE OF HAZARDOUS CHEMICALS AND MATERIALS, HALVING THE PROPORTION OF UNTREATED WASTEWATER AND SUBSTANTIALLY INCREASING RECYCLING AND SAFE REUSE GLOBALLY

6.4 BY 2030, SUBSTANTIALLY INCREASE WATER-USE EFFICIENCY ACROSS ALL SECTORS AND ENSURE SUSTAINABLE WITHDRAWALS AND SUPPLY OF FRESHWATER TO ADDRESS WATER SCARCITY AND SUBSTANTIALLY REDUCE THE NUMBER OF PEOPLE SUFFERING FROM WATER SCARCITY

7.3 BY 2030, DOUBLE THE GLOBAL RATE OF IMPROVEMENT IN ENERGY EFFICIENCY

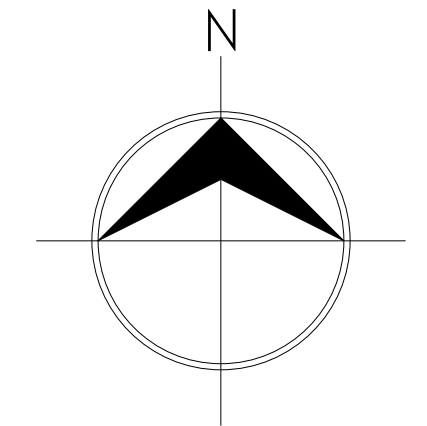
12.5 BY 2030, SUBSTANTIALLY REDUCE WASTE GENERATION THROUGH PREVENTION, REDUCTION, RECYCLING AND REUSE

12.8 BY 2030, ENSURE THAT PEOPLE EVERYWHERE HAVE THE RELEVANT INFORMATION AND AWARENESS FOR SUSTAINABLE DEVELOPMENT AND LIFESTYLES IN HARMONY WITH NATURE



301 W. BAY

BUILDING
PERMIT SET



REVISIONS		
Date	#	Description
08/12/2026	7	HDBR Amendment_2

HDBR
SUBMITTAL
COVER SHEET

Job No.	2207
Date	August 12, 2026
Reviewed by	GMSHAY

G000

PREVIOUSLY APPROVED
Yellow highlighted areas indicate
location of minor changes more
fully described on proposed
elevation drawing

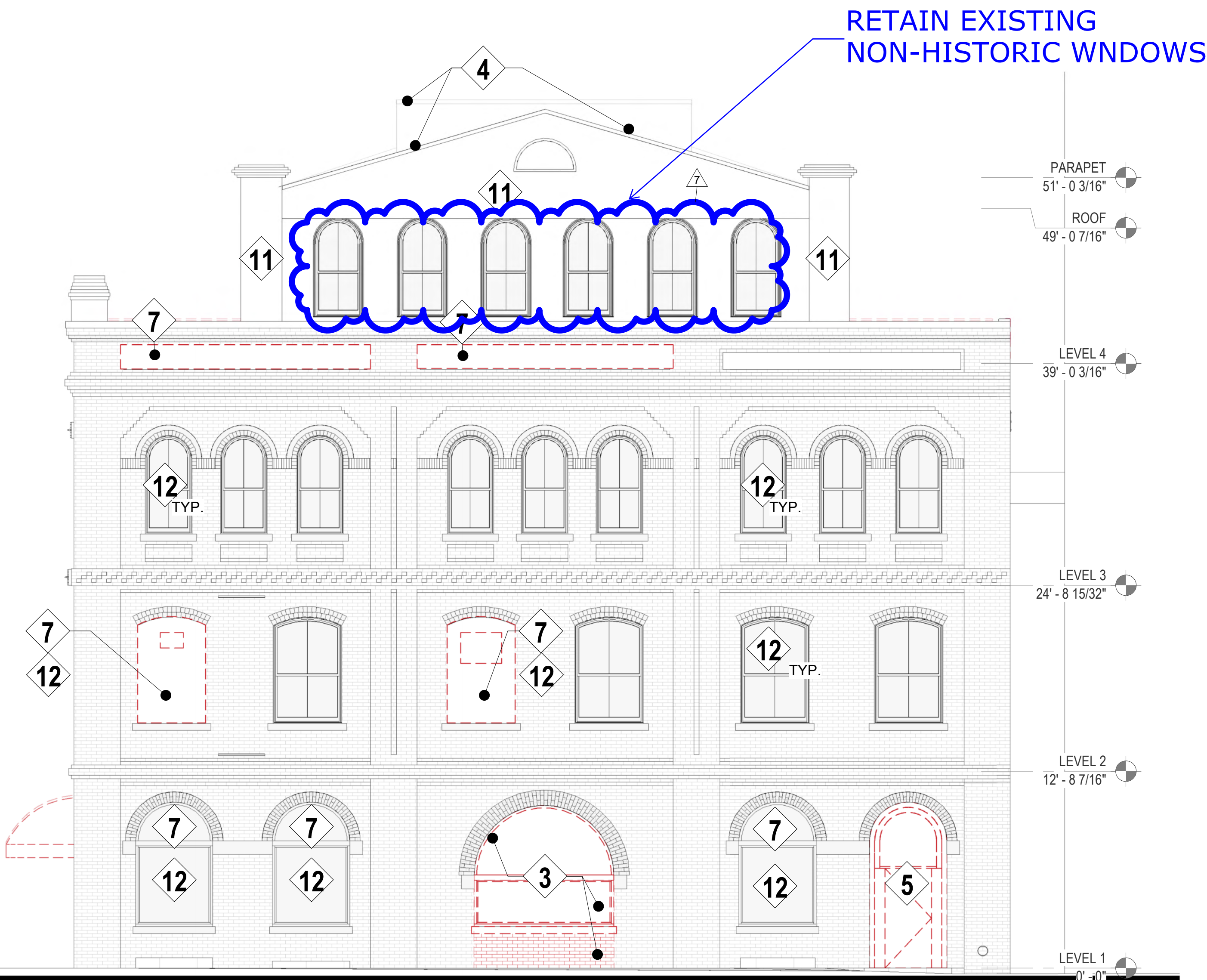
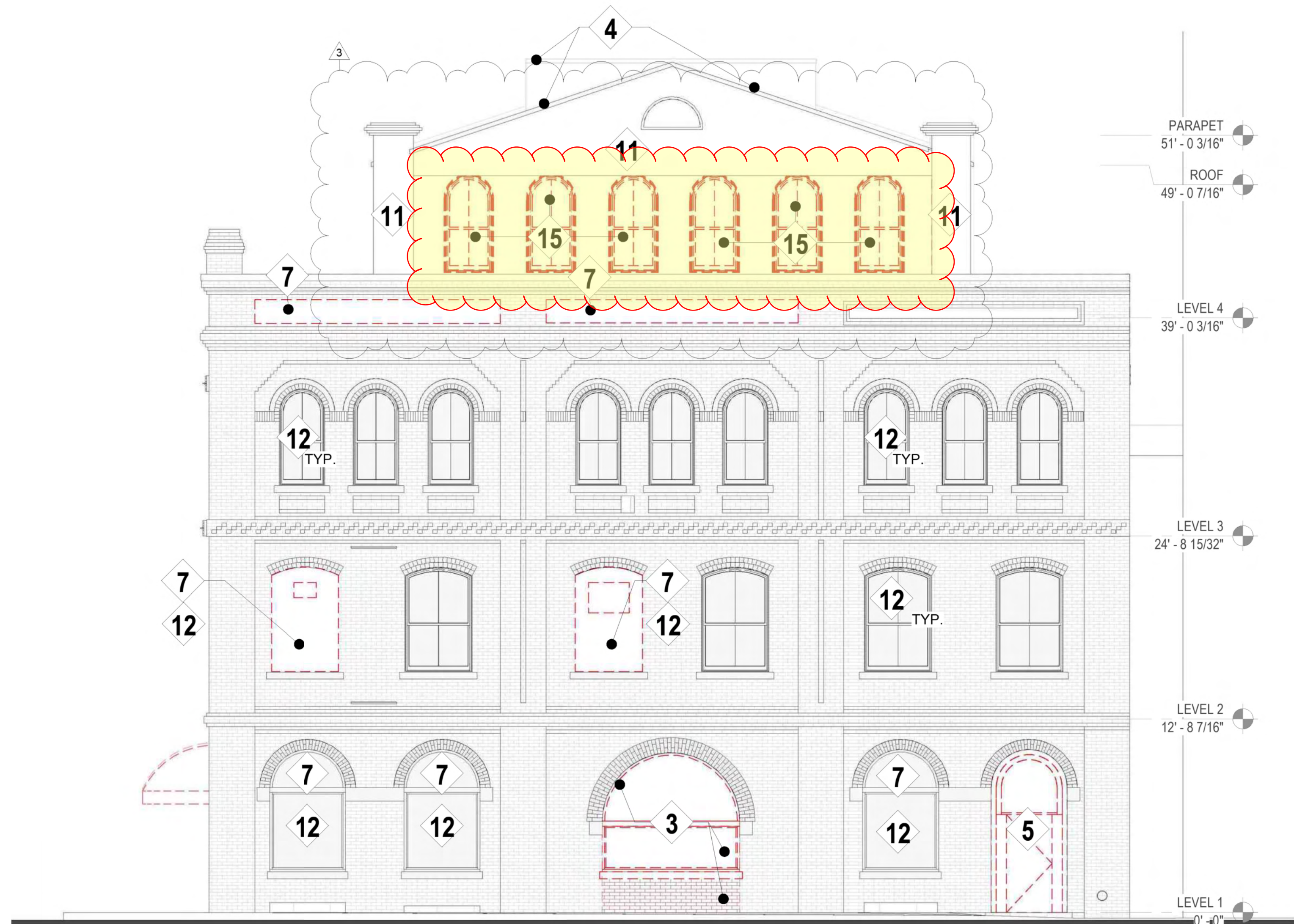
PROPOSED

REVISIONS		
Date	#	Description
04/20/2023	3	HDBR Amendment
08/12/2026	7	HDBR Amendment_2

NORTH
SELECTIVE
DEMOLITION
ELEVATIONS

Job No.	2207
Date	July 22, 2026
Reviewed by	GMSHAY

-D201



PREVIOUSLY APPROVED: 23-002293-COA

1 North - Demolition Elevation
3/16" = 1'-0"

GRAPHIC LEGEND

- RED DASH DOT DOT DENOTES AREAS WITH PARTIAL DEMOLITION. REFER TO DRAWINGS AND DEMOLITION KEY FOR FURTHER INFORMATION.
- RED LINE DENOTES EXISTING BUILDING CRACKS IN MASONRY TO BE REPAIRED.
- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- 1 REFER TO SELECTIVE DEMOLITION KEY NOTE

SELECTIVE DEMOLITION KEY NOTES

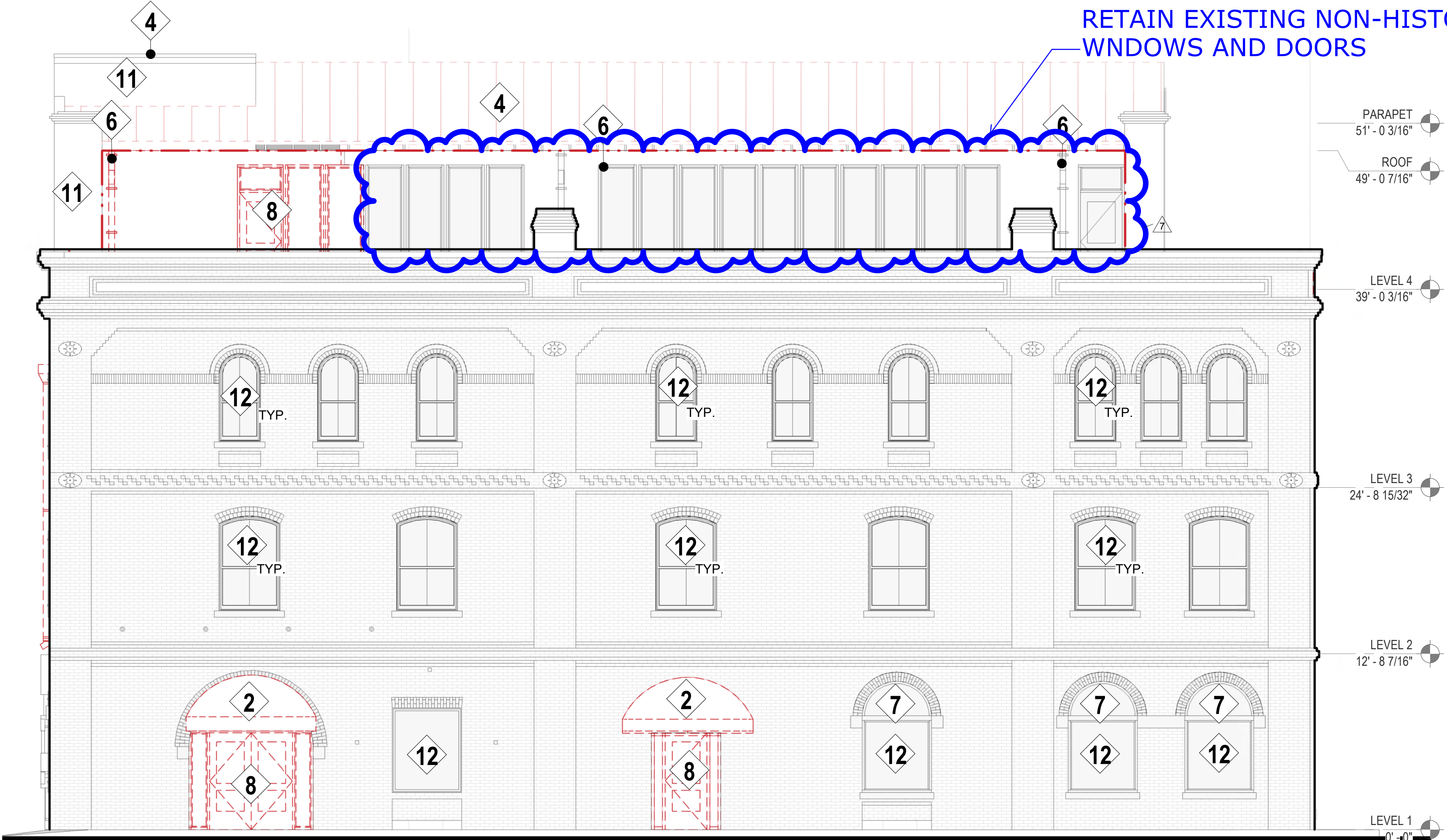
- 1 REMOVE WOOD PANEL COVERING BRICK ARCH OPENING
- 2 REMOVE EXISTING NON-HISTORIC CANOPY AND FRAME
- 3 REMOVE EXISTING SHUTTERS, WINDOW, TRANSOM, FRAME, SILL AND NON-HISTORIC BRICK BELOW TO CREATE DOOR OPENING
- 4 EXISTING (NON-HISTORIC) METAL ROOFING TO BE REFURBISHED OR REPLACED IN KIND
- 5 DEMOLISH EXISTING (NON-HISTORIC) TRANSOM, BRICK, DOOR & TRIM
- 6 REMOVE EXISTING DOWNSPOUTS AND SCUPPERS
- 7 REMOVE EXISTING WOOD PANEL AND/OR EXTRANEOUS ITEMS
- 8 REMOVE NON-HISTORIC STOREFRONT AND DOORS.
- 9 REMOVE EXISTING (NON-HISTORIC) RAILING
- 10 REMOVE METAL COPING
- 11 SOUND OUT EXISTING STUCCO THEN REMOVE AND REPLACE ALL DETERIORATED AREAS. PREP AND PAINT ALL STUCCO SURFACES
- 12 EXISTING NON-HISTORIC WINDOWS TO BE REFURBISHED. (SEE A201 - A202)

- 13 REMOVE AND REFURBISH EXISTING SHUTTERS AND HARDWARE
- 14 NOT USED
- 15 NOT USED

PREVIOUS NOTE: EXISTING
NON-HISTORIC WINDOW, FRAME
AND SILL TO CREATE DOOR
OPENING



PREVIOUSLY APPROVED: 22-004728-COA



PROPOSED

1 East - Demolition Elevation
3/16" = 1'-0"

GRAPHIC LEGEND

- RED DASH DOT DOT DENOTES AREAS WITH PARTIAL DEMOLITION. REFER TO DRAWINGS AND DEMOLITION KEY FOR FURTHER INFORMATION.
- RED LINE DENOTES EXISTING BUILDING CRACKS IN MASONRY TO BE REPAIRED.
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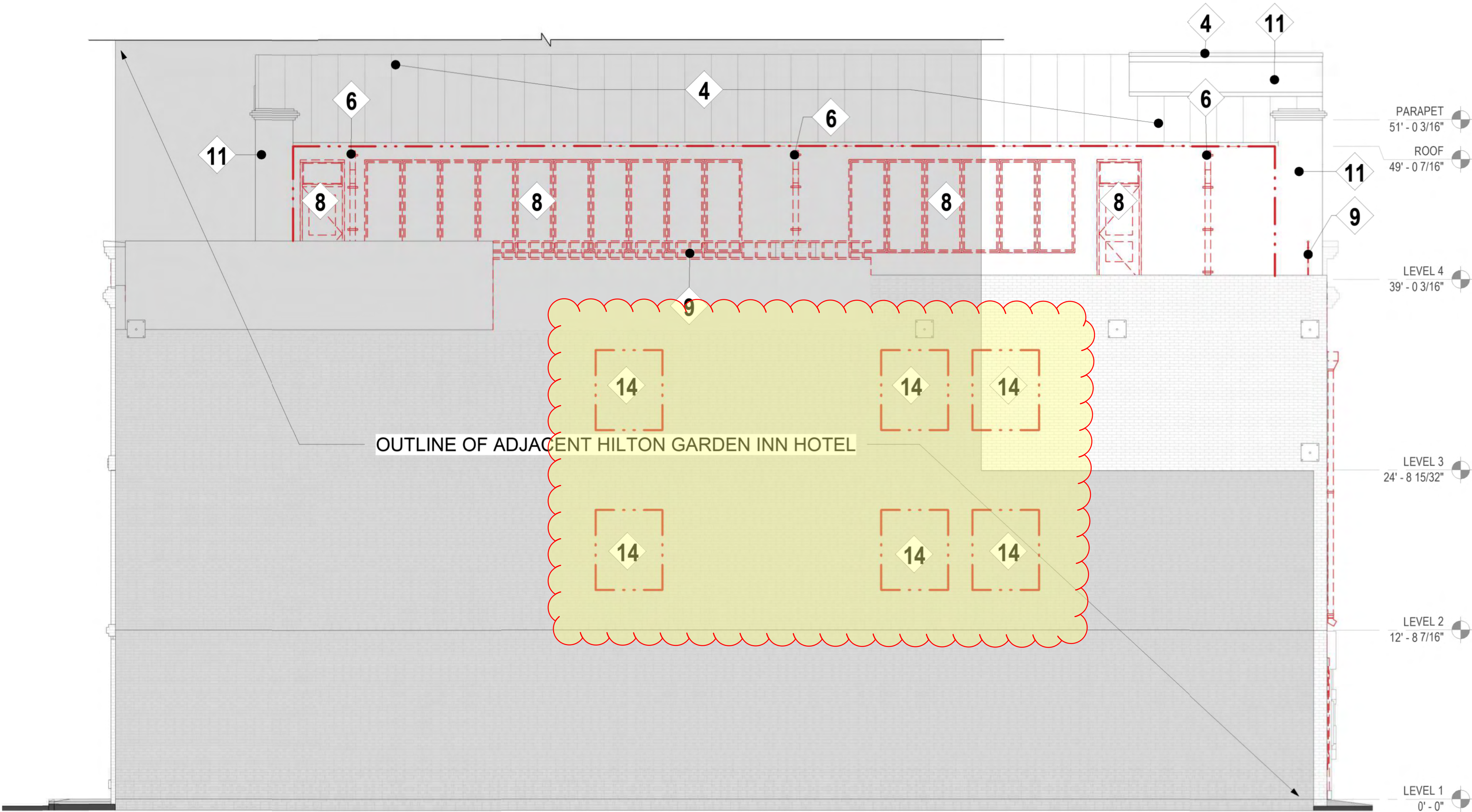
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PREVIOUS NOTE: EXISTING NON-HISTORIC WINDOW, FRAME AND SILL TO CREATE DOOR OPENING

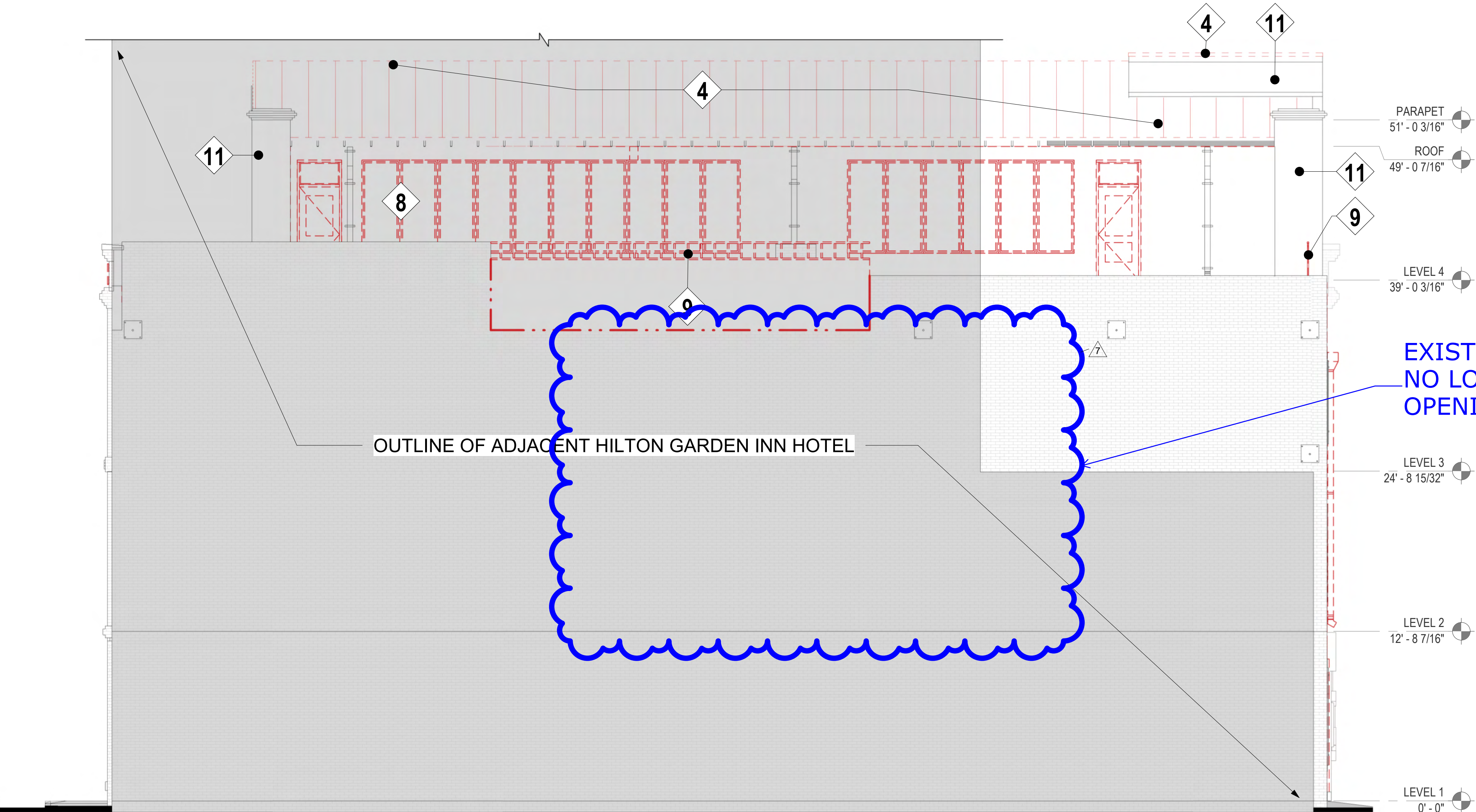
REVISIONS		
Date	#	Description
04/20/2023	3	HDBR Amendment
08/12/2026	7	HDBR Amendment_2

EAST
SELECTIVE
DEMOLITION
ELEVATIONS

Job No. 2207
Date July 22, 2026
Reviewed by GMSHAY



PREVIOUSLY APPROVED: 22-004728-COA



PROPOSED

1 West - Demolition Elevation
3/16" = 1'-0"

GRAPHIC LEGEND

- RED DASH DOT DOT DENOTES AREAS WITH PARTIAL DEMOLITION. REFER TO DRAWINGS AND DEMOLITION KEY FOR FURTHER INFORMATION.
- RED LINE DENOTES EXISTING BUILDING CRACKS IN MASONRY TO BE REPAIRED.
- EXISTING WALL
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PREVIOUS NOTE: EXISTING NON-HISTORIC WINDOW, FRAME AND SILL TO CREATE DOOR OPENING

REVISIONS		
Date	#	Description
04/20/2023	3	HDBR Amendment
08/12/2026	7	HDBR Amendment_2

WEST
SELECTIVE
DEMOLITION
ELEVATIONS

Job No. 2207
Date July 22, 2026
Reviewed by GMSHAY

This architectural floor plan illustrates the layout of a restaurant, featuring several key areas and dimensions:

- RESTROOM 124 SF**: Located on the left side of the plan.
- RESTROOM 110 SF**: Located in the center-left area.
- KITCHEN 356 SF**: A large central area for food preparation.
- BAR 142 SF**: Adjacent to the kitchen, featuring a curved bar and seating.
- TABLE SEATING 914 SF**: A large area for dining tables, located in the center-right.
- STORAGE 117 SF**: Located near the restrooms.
- ELEV 1 (APARTMENTS) PENTHOUSE** and **ELEV 2 (ROOFTOP)**: Two elevators located at the bottom left.
- TERRACE 2411 SF**: A large outdoor area at the bottom of the plan, featuring a series of columns and a curved edge.
- PROPOSED STOR** and **PROPOSED NANA**: Two proposed areas on the right side of the plan.
- Dimensions**: Various dimensions are noted throughout the plan, including room sizes (e.g., 124 SF, 356 SF) and specific measurements (e.g., 40'-0", 80'-2", 11'-9").
- Section Markers**: A900 and A202 are indicated at the top of the plan.
- Stairs**: A staircase is shown near the bar area, labeled with a downward arrow and "DN".
- Entrances**: Several entrances are marked with arrows, including one labeled "1'-A103".
- Other Features**: The plan includes details for restrooms (toilets, sinks), a kitchen (stove, sink, counter), a bar (bar, stools), and a terrace (columns, railing).

PROPOSED NANAWALLS

W. Bay Street, Savannah GA,
01

01 W. BAY

W Bay Street
Savannah GA, 31401

BUILDING HERMIT SET

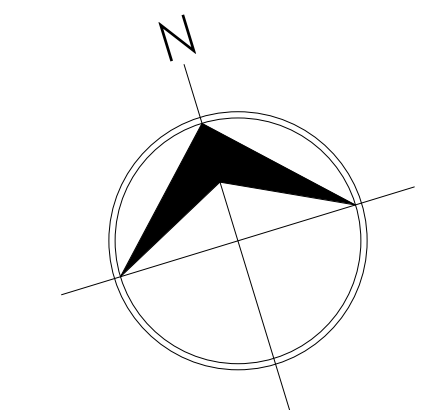
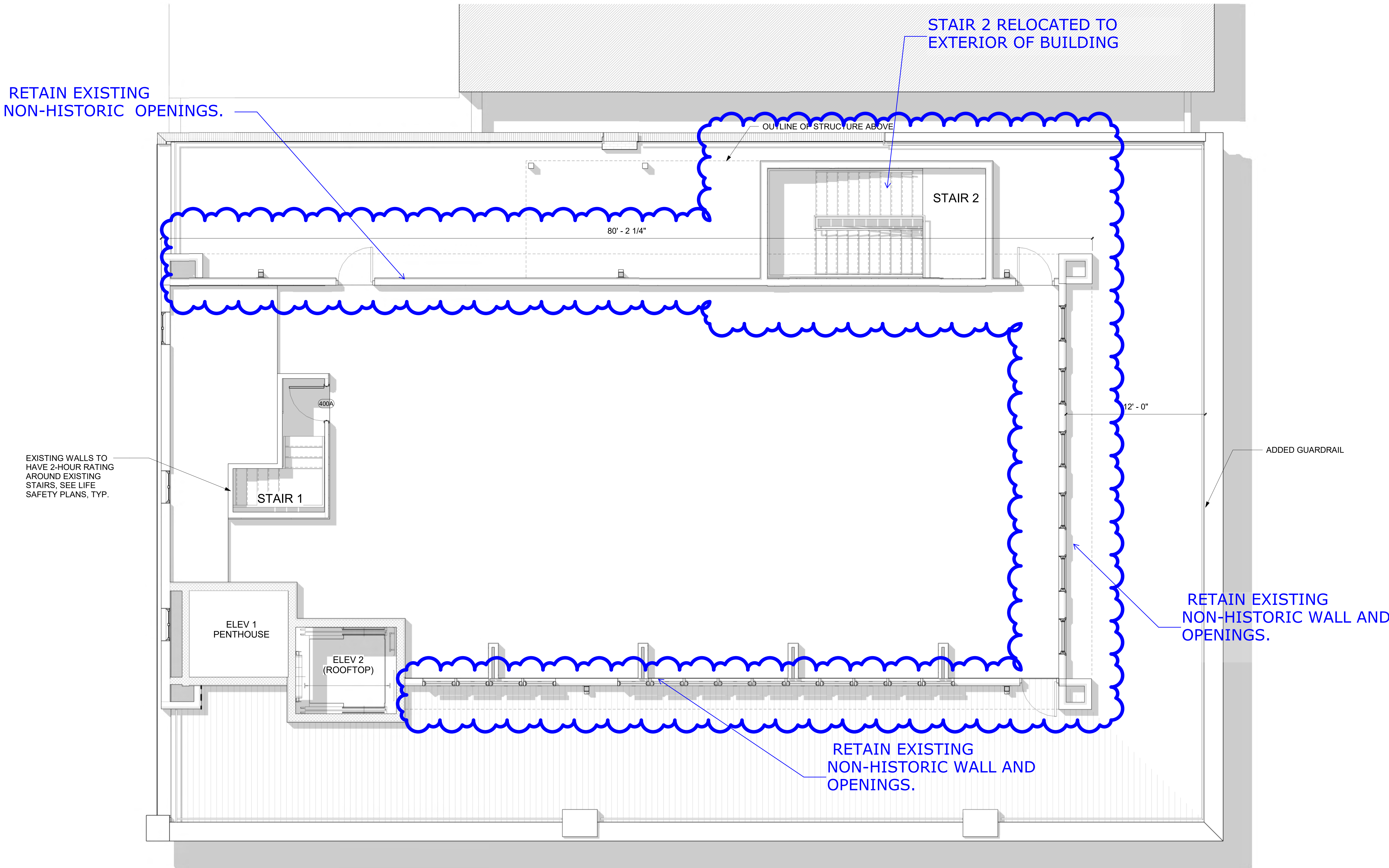
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PREVIOUSLY
APPROVED
LEVEL 4 PLAN

No.	2207
Date	July 22, 2026
Reviewed by	GMSHAY

PREVIOUSLY APPROVED: 23-002293-COA

PROPOSED



REVISIONS		
Date	#	Description
02/23/2023	1	Level 4 Revisions
04/20/2023	3	HDBR Amendment
08/12/2026	7	HDBR Amendment_2

PREVIOUSLY APPROVED
Yellow highlighted areas indicate
location of minor changes more
fully described on proposed
elevation drawing

PROPOSED

GLAZED AREA

GMSHAY
architecture - urban design

1719A Abercorn Street
Savannah, Georgia 31401
P. 912.232.1151
www.savannaharchitects.com

301 W. Bay Street, Savannah GA,
31401

301 W. BAY

301 W Bay Street
Savannah GA, 31401

BUILDING
PERMIT SET

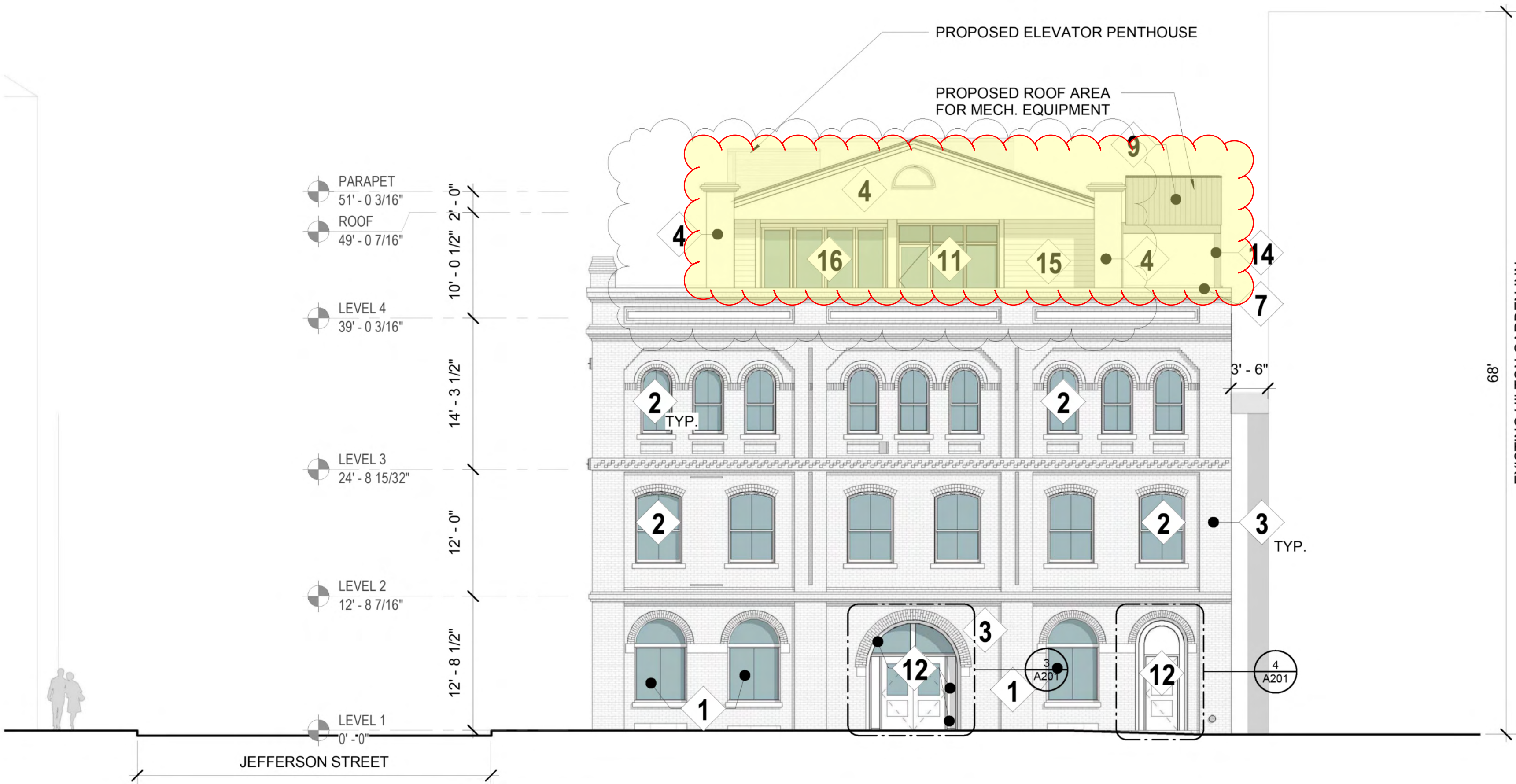
REVISIONS		
Date	#	Description
02/23/2023	1	Level 4 Revisions
04/20/2023	3	HDBR Amendment
08/12/2026	7	HDBR Amendment_2

PREVIOUSLY
APPROVED &
PROPOSED
NORTH
ELEVATION

Job No. 2207
Date July 22, 2026
Reviewed by GMSHAY

-A201

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PREVIOUSLY APPROVED: 23-002293-COA

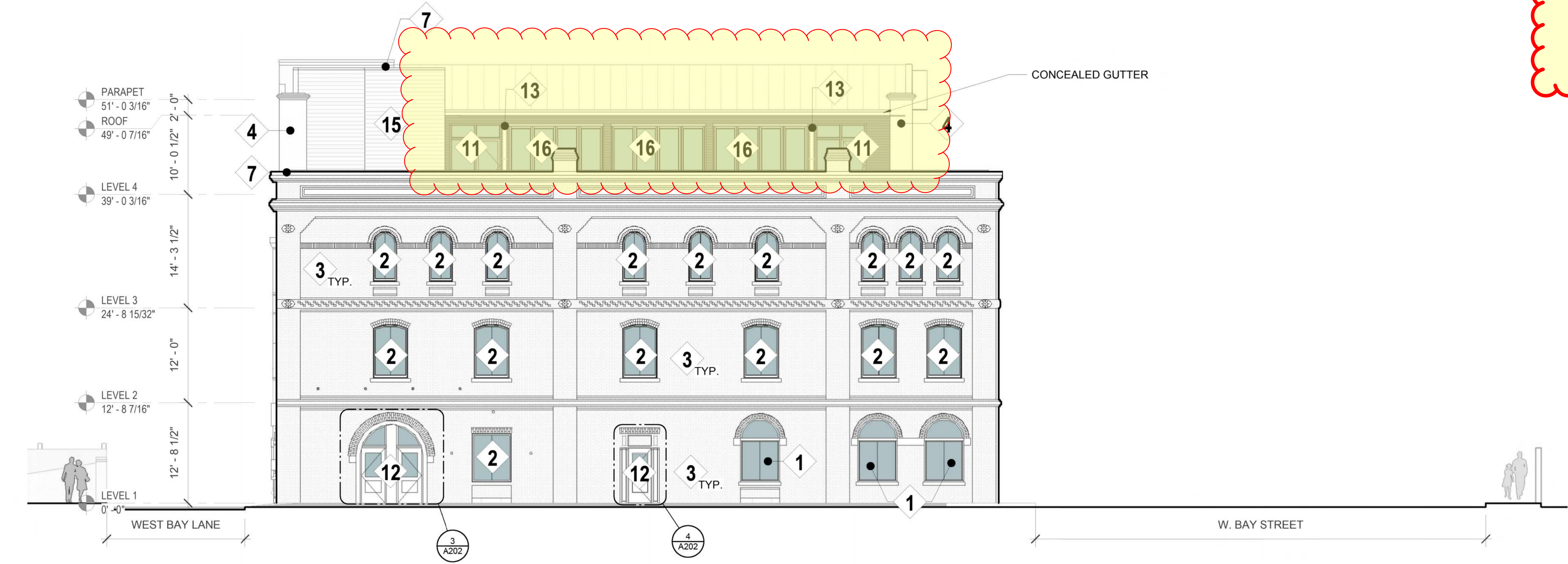
1 North - Proposed
-A201 1/8" = 1'-0"

PREVIOUS NOTE: NANAWALL SYSTEM - SL70
THERMALLY BROKEN ALUMINUM FRAMED FLOOR
SUPPORTED FOLDING SYSTEM. COLOR: BLACK.

MATERIALS LEGEND				GENERAL NOTES	
1	REFURBISHED EXISTING STOREFRONT. FRAME COLOR: SW2704, MERLOT, CLEAR GLAZING	5	SOLID WOOD PANEL DOOR WITH LOUVER IN TRANSOM ABOVE	9	WOOD SLATS (MECHANICAL SCREEN), STAINED. COLOR: RGB: 91, 50, 27
2	REFURBISHED EXISTING WINDOWS, SASH, AND FRAME. COLOR: SW7052, GRAY AREA - LEVELS 2 & 3, LEVEL 4 COLOR: BLACK	6	REFURBISHED EXISTING SHUTTERS REINSTALLED IN OPEN POSITION ON UPPER LEVELS AND PAINTED. COLOR: SW2704, MERLOT	10	CUSTOM ORNAMENTAL METAL GUARDRAIL WITH WOOD TOP RAIL. METAL COLOR: SW2704, MERLOT
3	EXISTING HISTORIC BRICK - CLEANED (NON-ABRASIVE CLENSERS) AND REPOINTED.	7	PAC CLAD METAL COPING, COLOR: BURGUNDY	11	EFCO STOREFRONT SYSTEM. COLOR: BLACK
4	EXISTING STUCCO CLEANED, PATCHED & PAINTED. COLOR: SW2704, MERLOT	8	NOT USED	12	CUSTOM WOOD STOREFRONT, DOOR PANEL STAINED COLOR RGB 91, 50, 27 FRAME COLOR: SW2704, MERLOT
				13	SCUPPER & DOWNSPOUT. COLOR: SW2704, MERLOT
				14	CEDAR WOOD POST, STAIN COLOR: RGB: 91, 50, 27
				15	CEDAR WOOD SIDING. STAIN COLOR: RGB: 91, 50, 27
				16	NOT USED

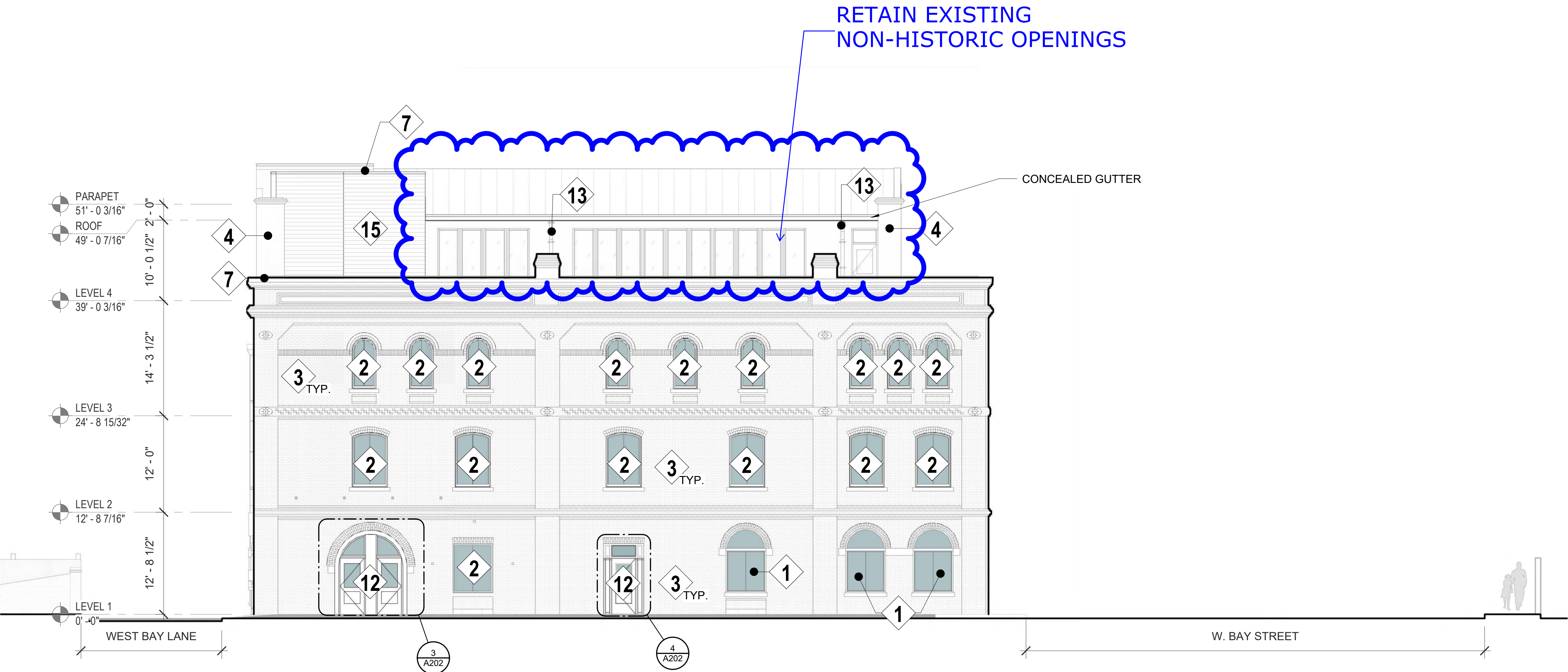
- SCRAPE AND HAND SAND EXTERIOR WINDOW SASHES, FRAMES, SILLS & TRIM TO REMOVE ALL LOOSE AND FLAKEY PAINT.
- REMOVE ALL LOOSE AND DETERIORATED GLAZING COMPOUND FROM EXTERIOR GLASS LITES. REGLAZE WITH GLAZING PUTTY AND PREP FOR PAINTING.

PREVIOUSLY APPROVED
Yellow highlighted areas indicate
location of minor changes more
fully described on proposed
elevation drawing



PREVIOUSLY APPROVED: 22-004728-COA

PROPOSED



301 W. Bay Street, Savannah GA,
31401

301 W. BAY

301 W Bay Street
Savannah GA, 31401

BUILDING
PERMIT SET

REVISIONS		
Date	#	Description
02/23/2023	1	Level 4 Revisions
08/12/2026	7	HDBR Amendment_2

PREVIOUSLY
APPROVED &
PROPOSED
EAST
ELEVATION

Job No. 2207
Date July 22, 2026
Reviewed by GMSHAY

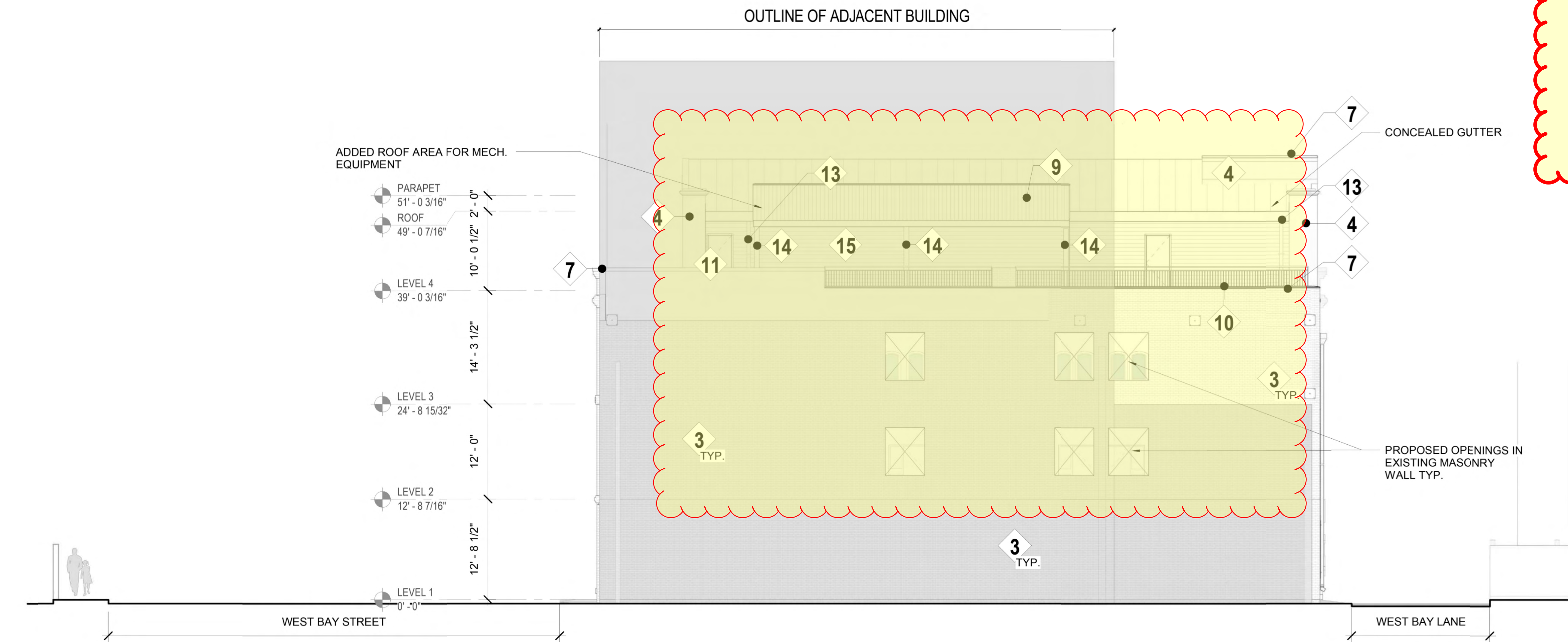
-A202

7/7/2026 11:54:19 AM

1 East Elevation - Proposed
-A202 1/8" = 1'-0"

MATERIALS LEGEND				GENERAL NOTES	
1	REFURBISHED EXISTING STOREFRONT. FRAME COLOR: SW2704, MERLOT, CLEAR GLAZING	5	SOLID WOOD PANEL DOOR WITH LOUVER IN TRANSOM ABOVE	9	WOOD SLATS (MECHANICAL SCREEN), STAINED. COLOR: RGB: 91, 50, 27
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				16	NOT USED

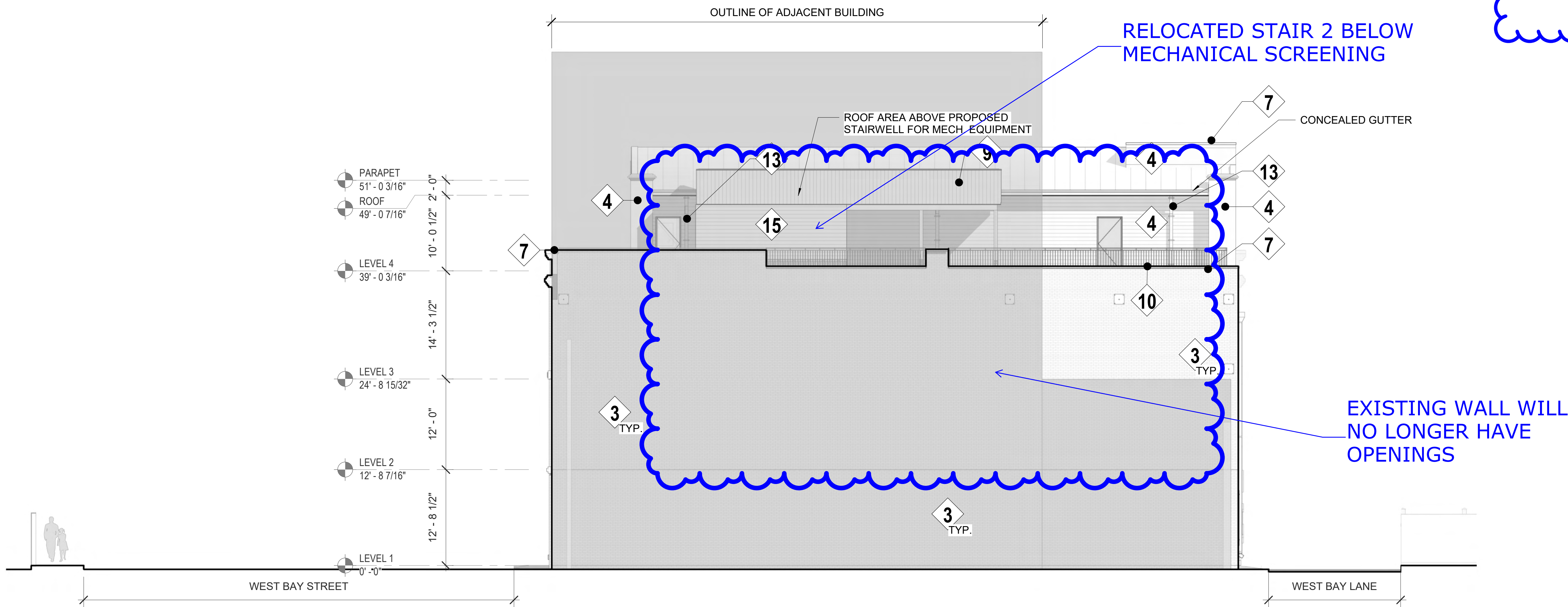
PREVIOUS NOTE: NANAWALL SYSTEM - SL70
THERMALLY BROKEN ALUMINUM FRAMED FLOOR
SUPPORTED FOLDING SYSTEM. COLOR: BLACK.



PREVIOUSLY APPROVED
Yellow highlighted areas indicate
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elevation drawing

GLAZED AREA

PREVIOUSLY APPROVED: 22-004728-COA



PROPOSED

301 W. BAY

BUILDING
PERMIT SET

REVISIONS		
Date	#	Description
02/23/2023	1	Level 4 Revisions
08/12/2026	7	HDBR Amendment_2

PREVIOUSLY
APPROVED &
PROPOSED
WEST
ELEVATION

Job No.	2207
Date	July 22, 2026
Reviewed by	GMSHAY

-A203

1 West - Proposed - Dependent 1
-A203 1/8" = 1'-0"

MATERIALS LEGEND				GENERAL NOTES	
1	REFURBISHED EXISTING STOREFRONT. FRAME COLOR: SW2704, MERLOT, CLEAR GLAZING	5	SOLID WOOD PANEL DOOR WITH LOUVER IN TRANSOM ABOVE	9	WOOD SLATS (MECHANICAL SCREEN), STAINED. COLOR: RGB: 91, 50, 27
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301 W. BAY

BUILDING
PERMIT SET

REVISIONS		
Date	#	Description

PREVIOUSLY
APPROVED &
PROPOSED 3D
PERSPECTIVE

Job No.	2207
Date	July 22, 2026
Reviewed by	GMSHAY

-A900

7/7/2026 9:28:35 AM



**PROPOSED
AND
PREVIOUSLY APPROVED: 23-002293-COA**