



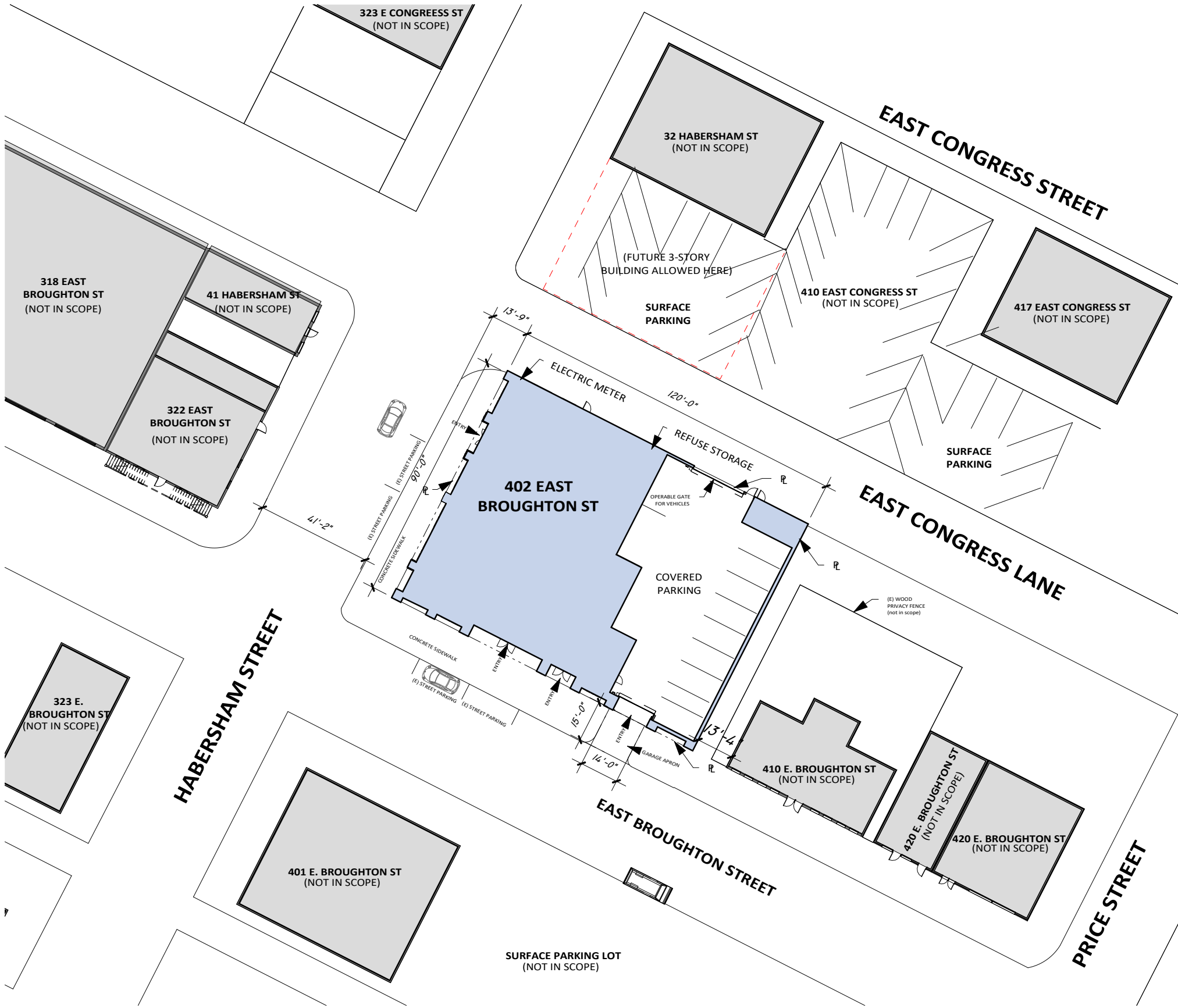
CORNER OF HABERSHAM AND BROUGHTON STREET - LOOKING NORTHEAST

402 East Broughton Project Description

The project at 402 West Broughton consists of a new Neo-Classical office structure anchoring the northeast corner of East Broughton and Habersham Streets. The proposed building will replace the former Southern Motors downtown location which has remained relatively vacant for several years. The 10,445 square foot ground floor will be comprised of a local bank, its public lobby, public offices, and a coffee station which will activate the Broughton Street corner. Additional Broughton Street activation will come from an entrance foyer for the upstairs office space and a covered parking area with a drive-up Electronic Teller. The bank's long-term history of public engagement helps activate Habersham Street through the gracious construction of a community room with its own discrete entrance for non-profits and other community-based groups to meet for free. This civic minded space will be used during business hours and in the early evening for groups that need post 9-5 meetings

Architecturally the "base" of the structure will be clad in stone/cast stone with recessed storefronts and metal canopies over the entrances. The 10,240 square foot second floor incorporates the same recesses and offsets as the first floor with a floor height that reads slightly less than the ground floor. The 9,465 square foot third floor will be clad in brick, set back from the lower façade three feet to help with scale and proportion and will feature a smaller cornice than below. The partial 600 square foot fourth story houses a multi-purpose space opening onto a roof terrace. An elevator and stair access will be provided for the upper story.

The building classifies as large scale development under the ordinance, roofline variation is achieved with the fourth story, the setback and recess requirements have been addressed with setbacks entrances on Broughton and Habersham Streets. The applicant will be requesting a special exception for the two-story setback requirement on the lane. After careful study of the lane and neighboring conditions, there are no carriage houses to relate to, the building directly abuts surface parking lots and the remaining lot facing Habersham will likely see the development of a three-story structure. Moving the fire stairs further north creates a violation of building code where the stairs become too close to meet egress requirements so the stairs will have to remain. After several meetings with City and MPC staff everyone agreed that the most attractive and neighbor sensitive approach was to leave the square footage on the third floor and maintain a much smaller scale fourth floor.



corner of Habersham and Broughton looking northeast

PROJECT INFORMATION

Owner:	QUEENSBOROUGH BANK
Name of Project:	QUEENSBOROUGH BANK
Address:	402 EAST BROUGHTON, SAVANNAH, GA 31401
Property PIN #:	20004 42012
Bill #:	2963646
Zoning	D-CBD
Neighborhood	04500.00 - D500 DNTN MLK TO E B
Code Jurisdiction	CHATHAM COUNTY, GA
Property Class:	C3 - Commercial Lots
Legal Description:	LOTS 35 & 36 WARREN WARD
Owner/Authorized Agent:	KEVIN ROSE
Phone:	912-308-4622 Email: Kevin@research.com
Type of Work:	NEW CONSTRUCTION
Proposed Use:	OFFICE BUILDING
Lot Coverage:	ALLOWED = 100%. PROVIDED = 96%.
SITE SETBACKS:	REQUIRED/ PROVIDED = NONE

TOTAL BUILDING AREA: 30,600 SF
LEVEL ONE - 10,445 SF
LEVEL TWO -10,240 SF
LEVEL THREE - 9,465 SF
LEVEL FOUR - 1,000 SF
PARKING REQUIRED - 0 SPACES
PARKING PROVIDED - 10 VEHICLE SPACES

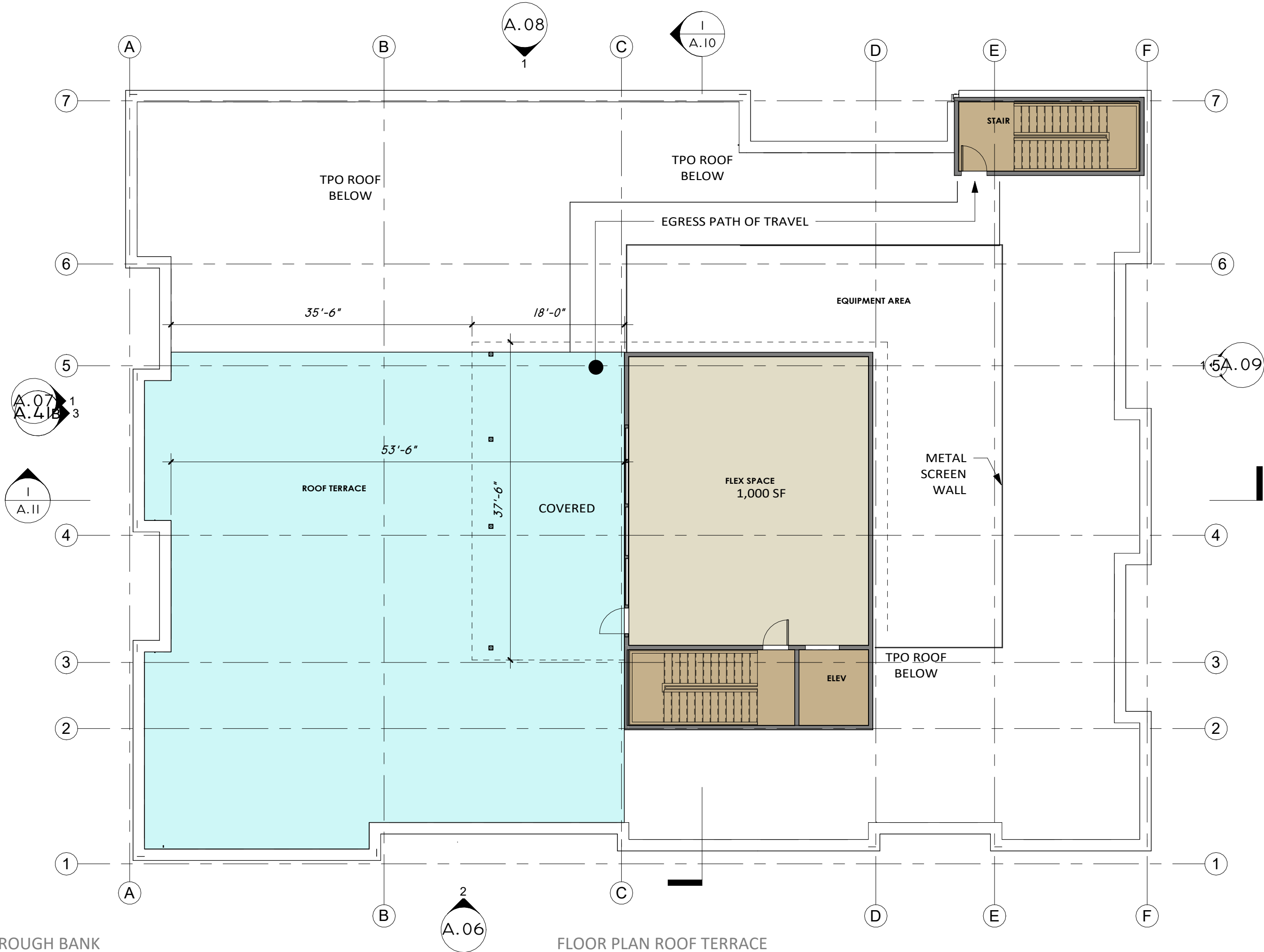


LEGEND

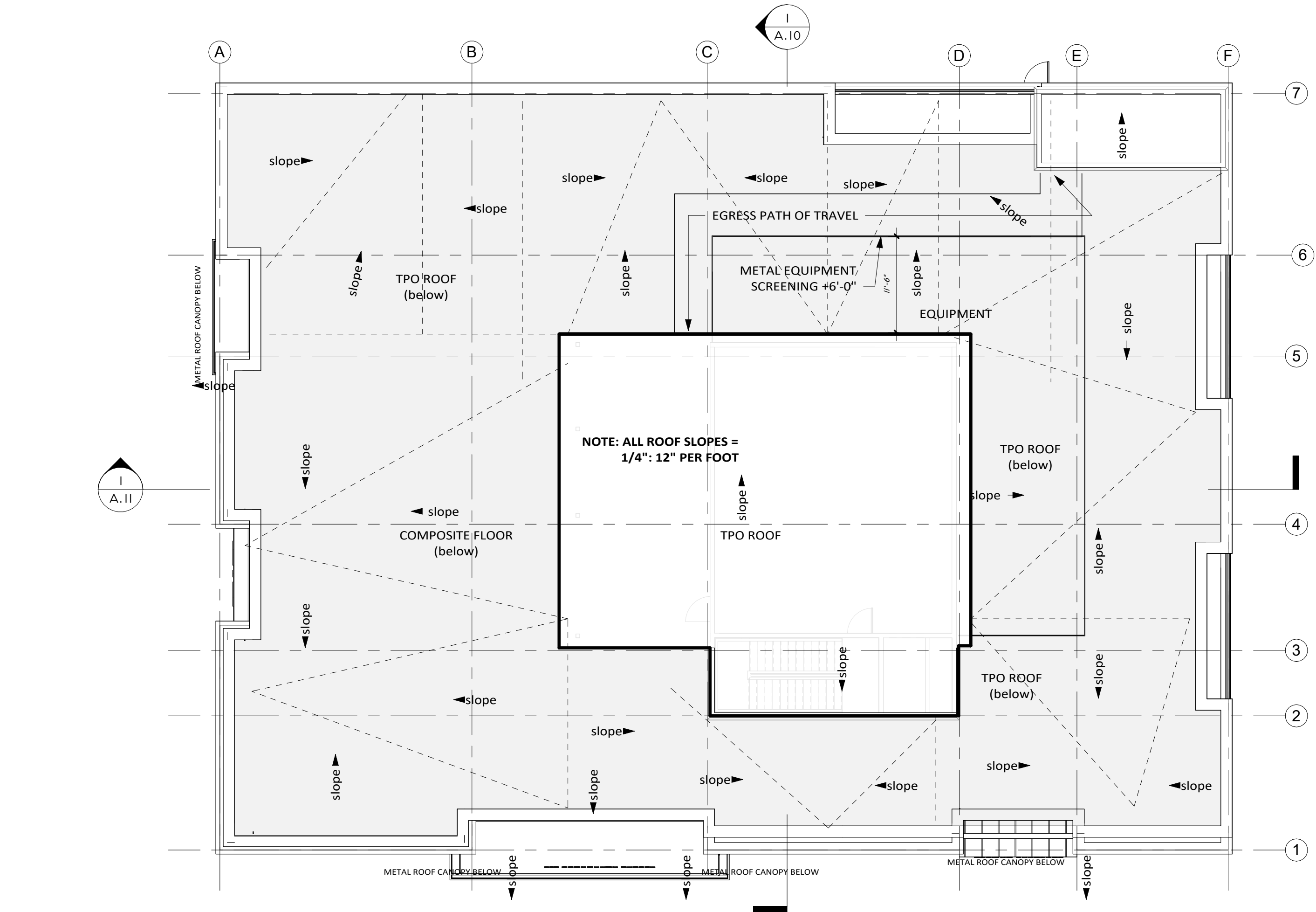
- SECURE
- PUBLIC
- V. CIRCULATION
- LEASABLE



- LEGEND**
- SECURE
 - PUBLIC
 - V. CIRCULATION



- LEGEND**
- SECURE
 - PUBLIC
 - V. CIRCULATION
 - LEASABLE
 - ROOF TERRACE





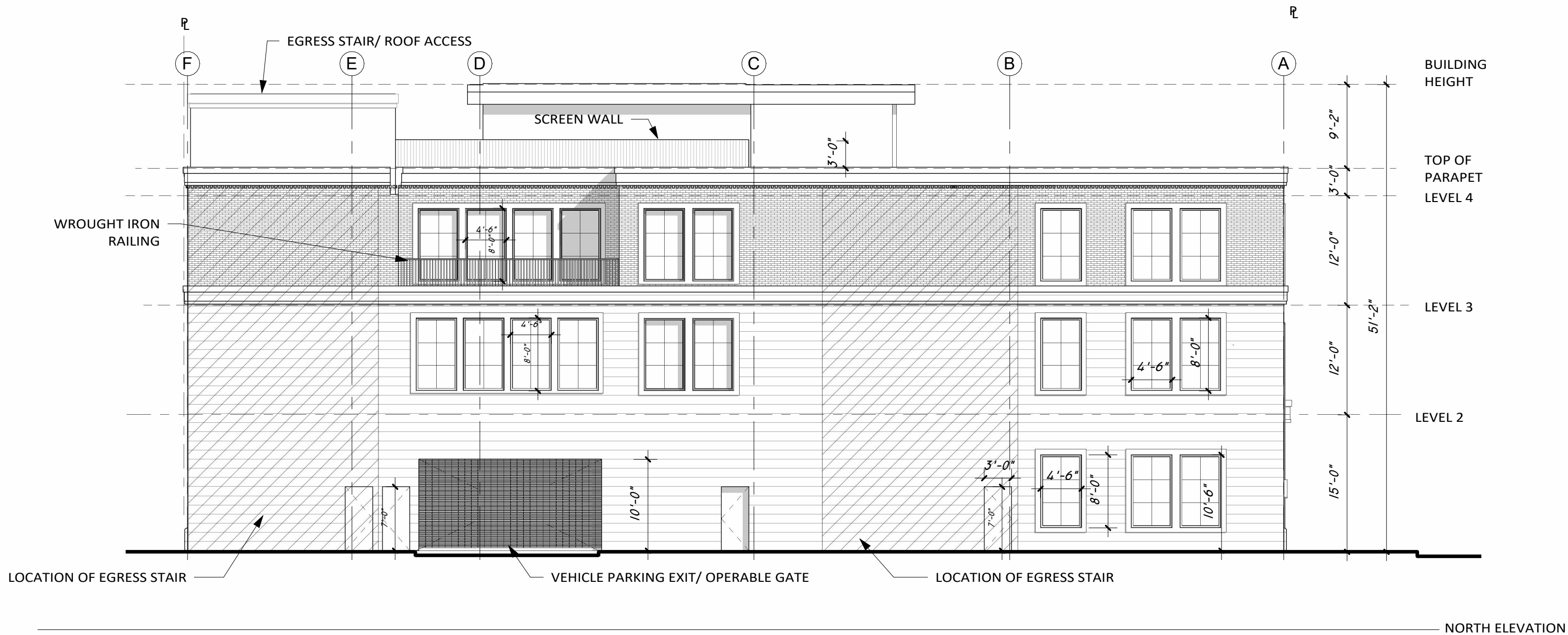
SOUTH ELEVATION
SCALE 3/32"= 1'

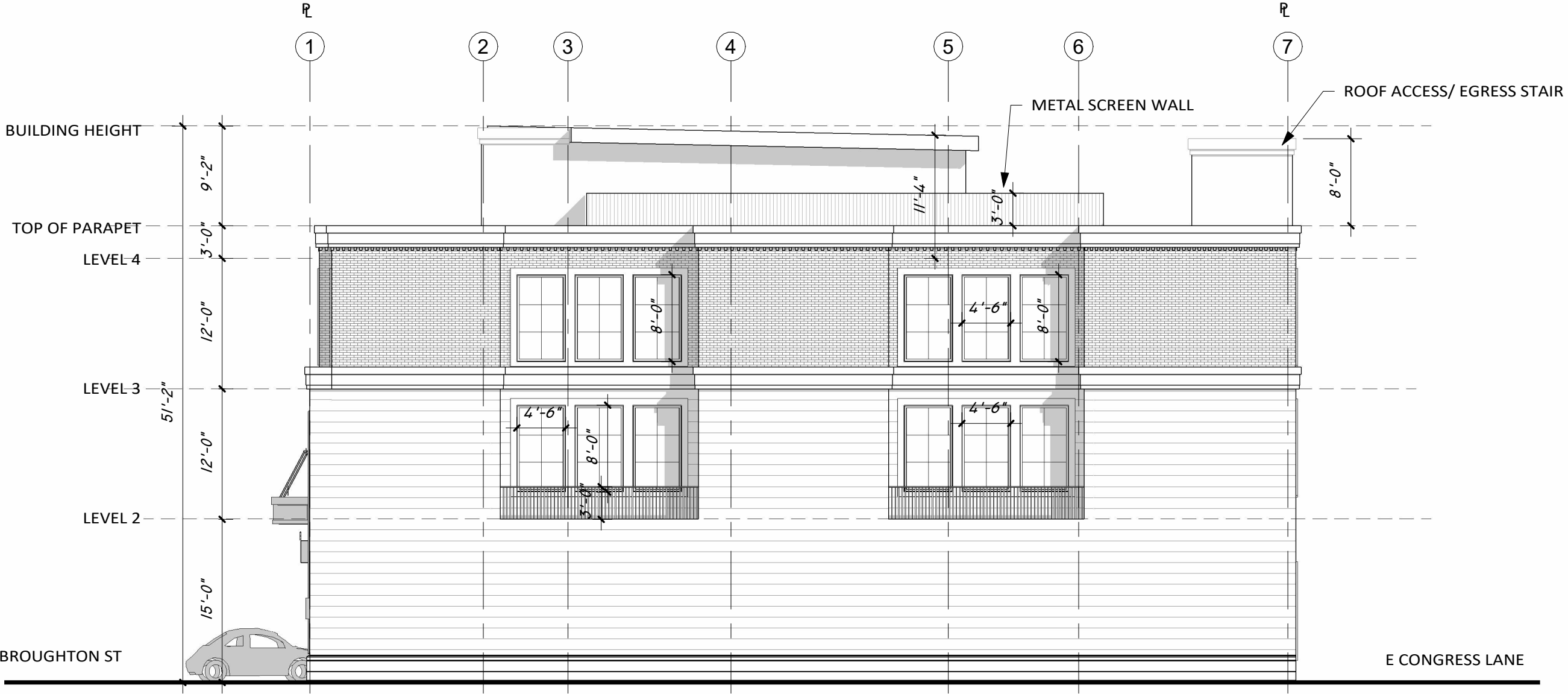


SOUTH STREET ELEVATION
SCALE 1"= 40'

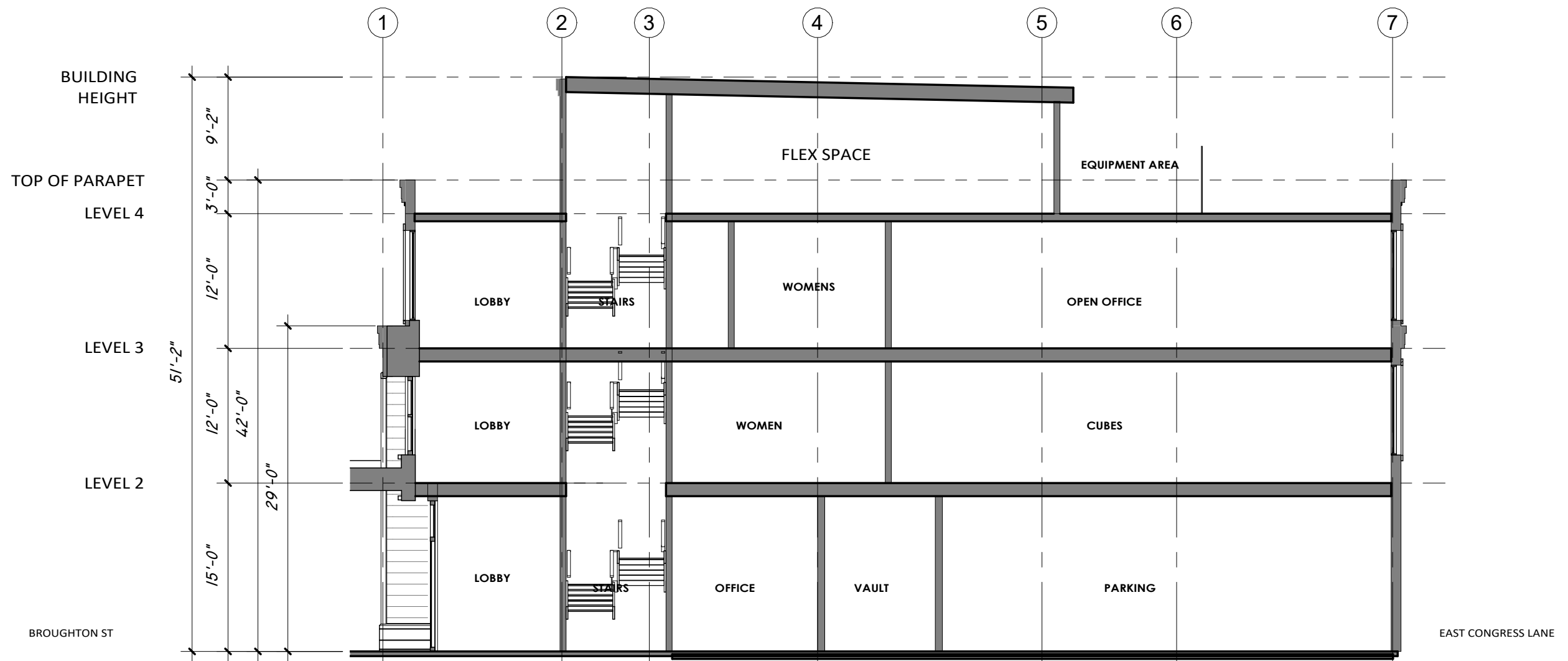


WEST ELEVATION

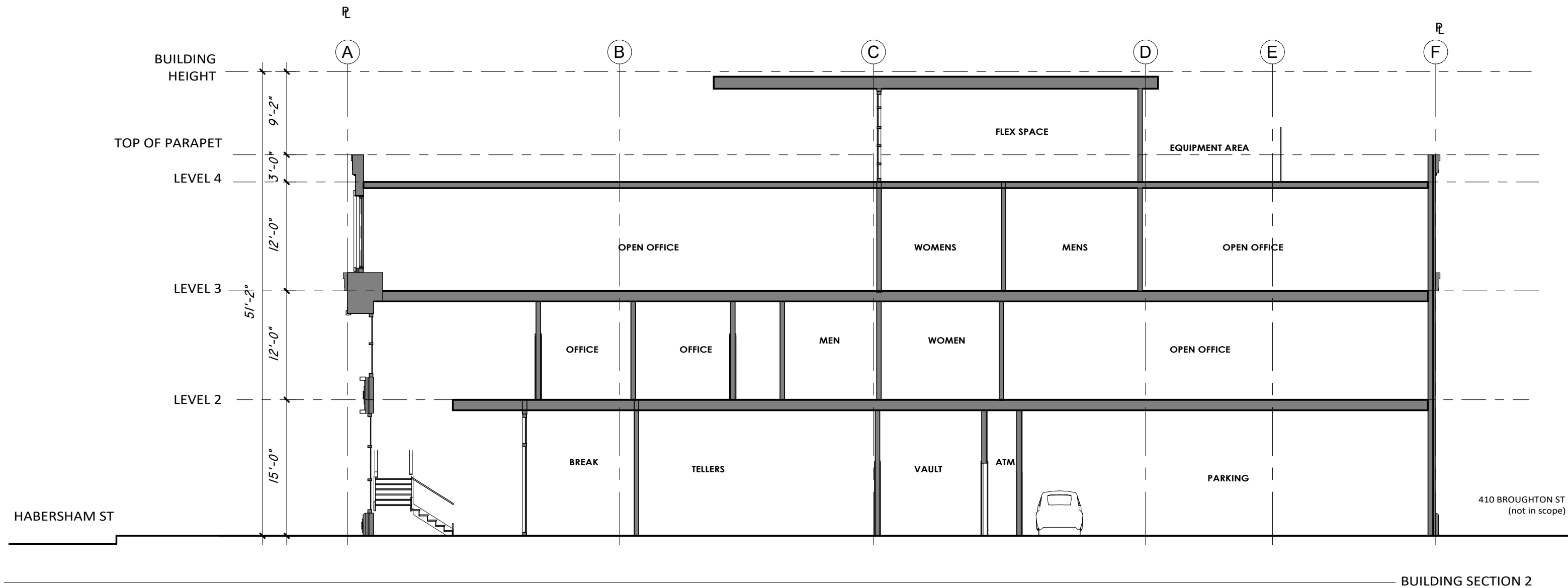




EAST ELEVATION



BUILDING SECTION 1

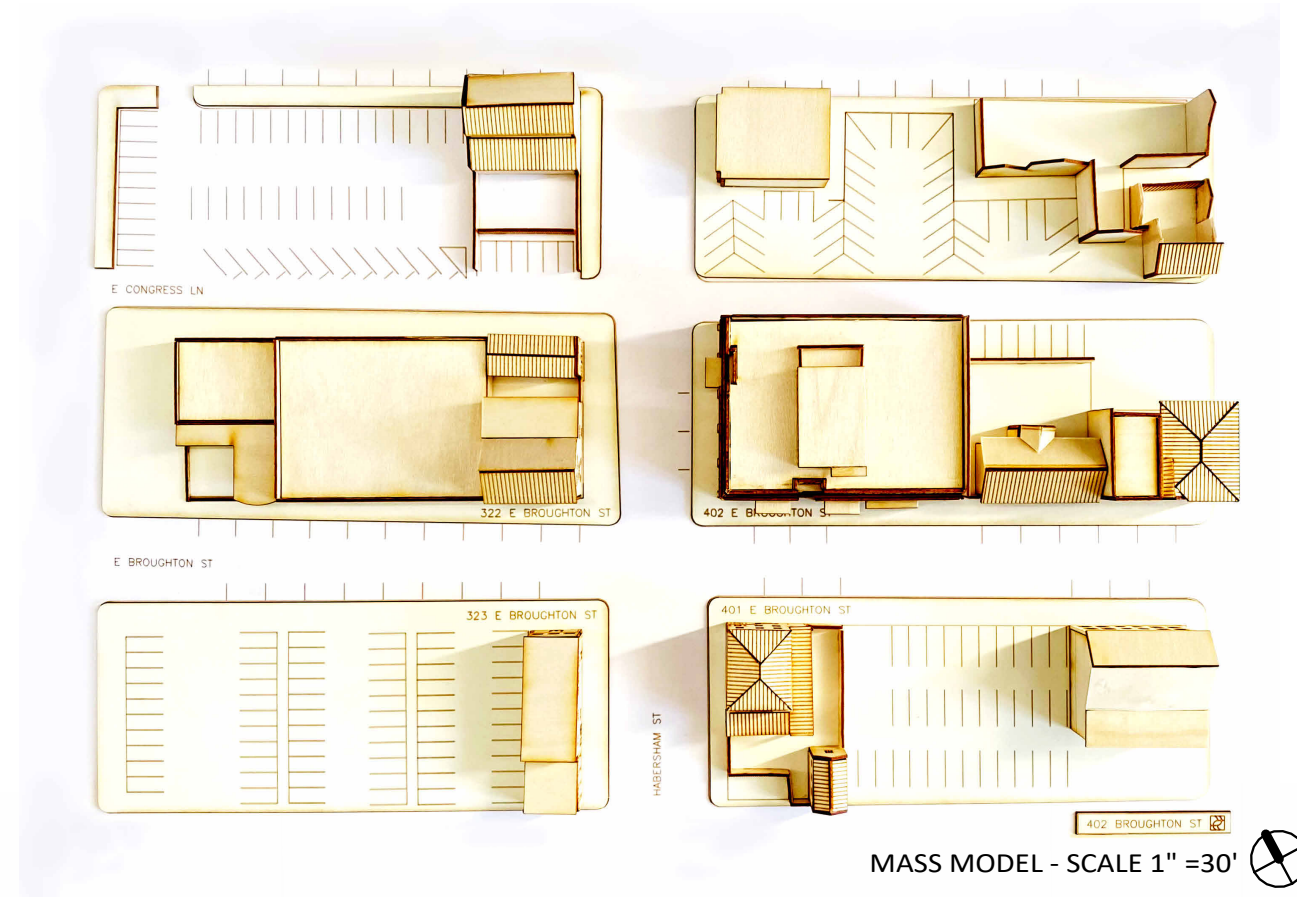








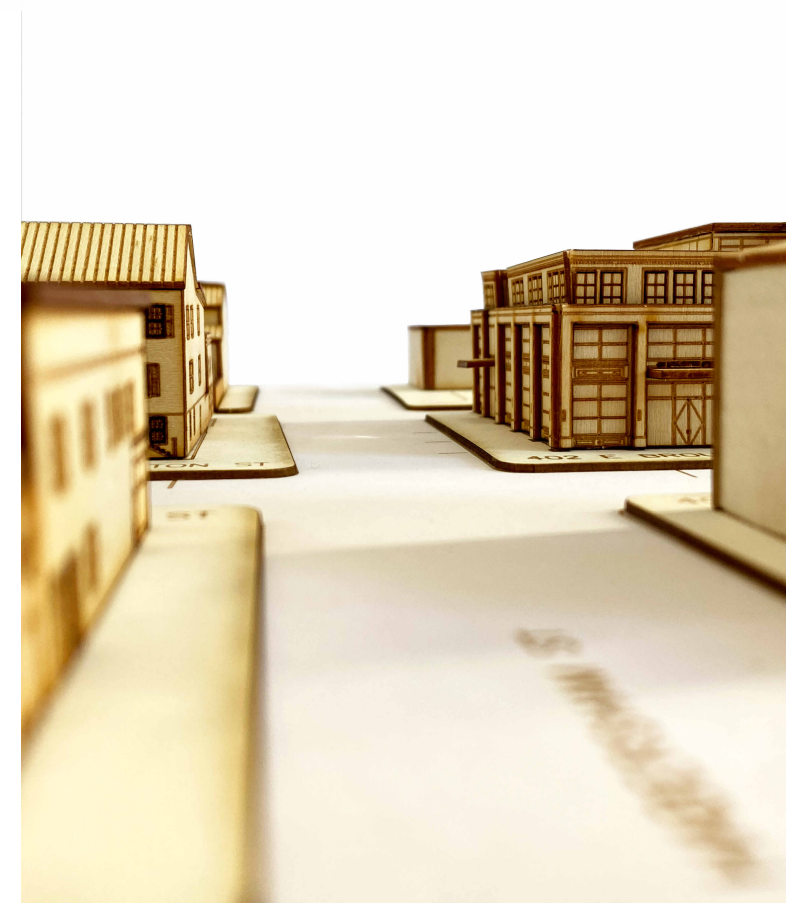




PRICE AT BROUGHTON (looking west)



BROUGHTON AT HABERSHAM (looking east)



HABERSHAM AT BROUGHTON (looking north)



318 E. BROUGHTON ST



322 E. BROUGHTON ST

322 E. BROUGHTON ST



322 E. BROUGHTON ST at Habersham



319 E CONGRESS LN at Habersham



402 E. BROUGHTON ST



410 E. BROUGHTON ST



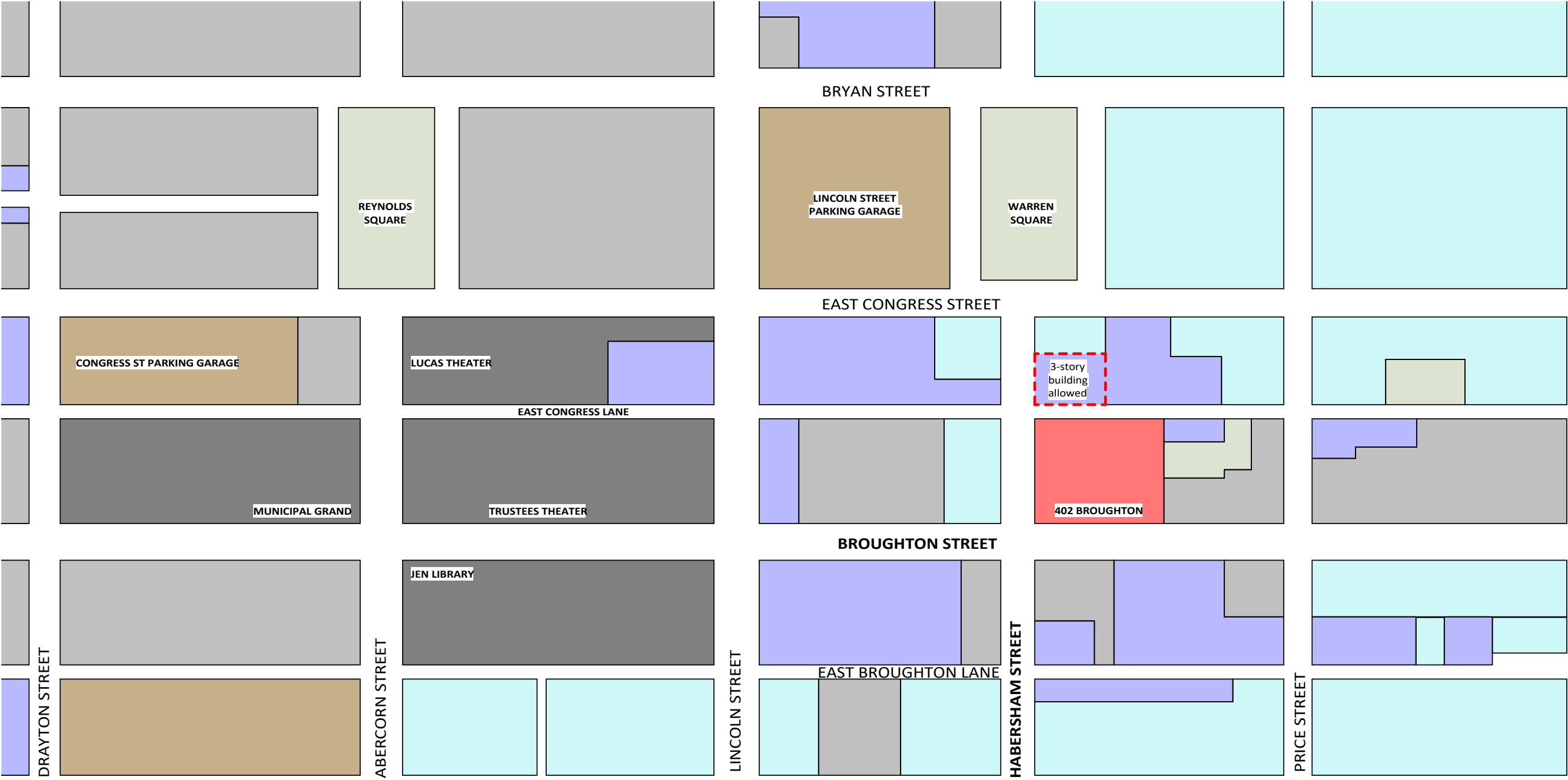
420 E. BROUGHTON ST



401 E. BROUGHTON ST

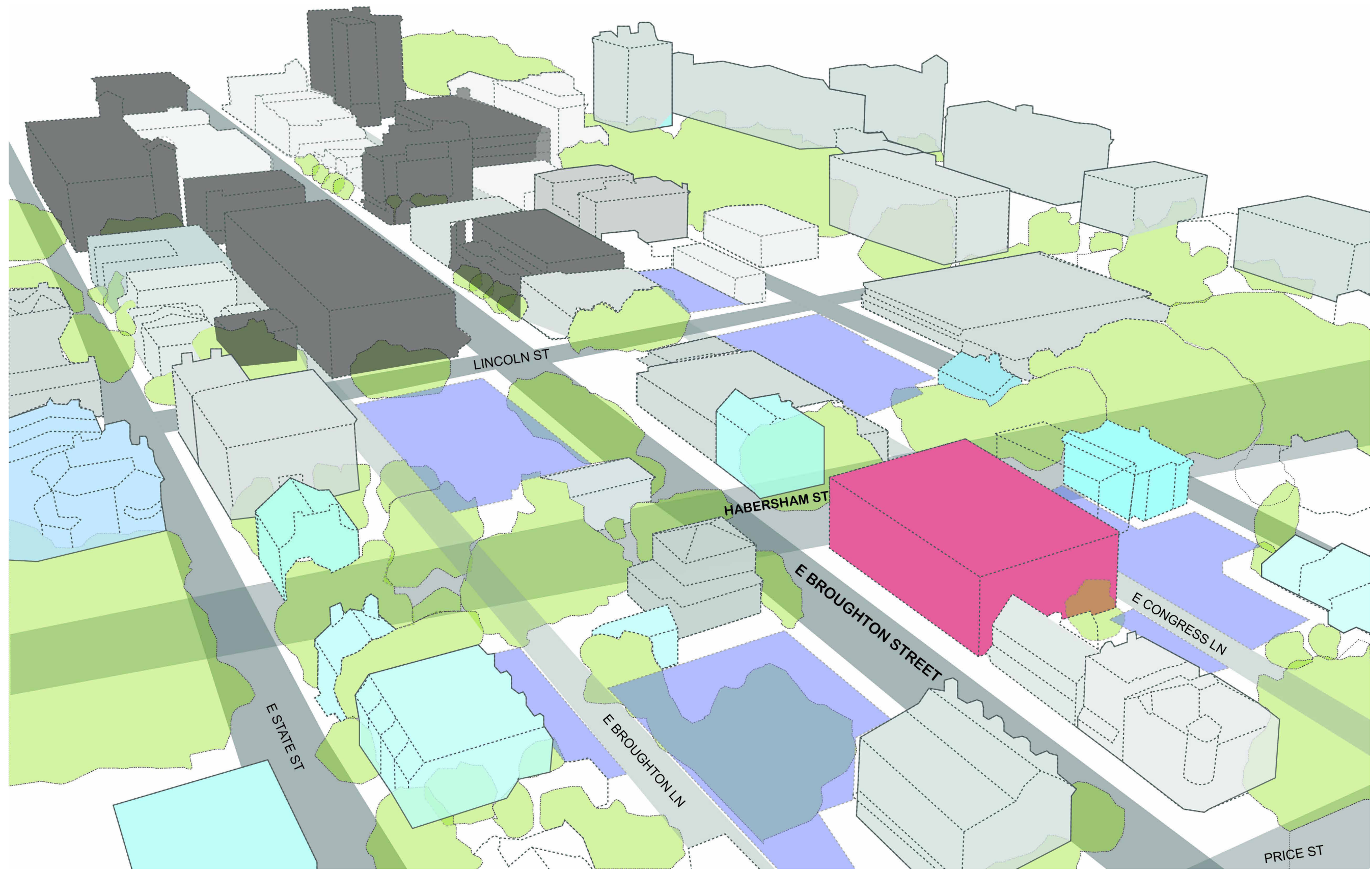


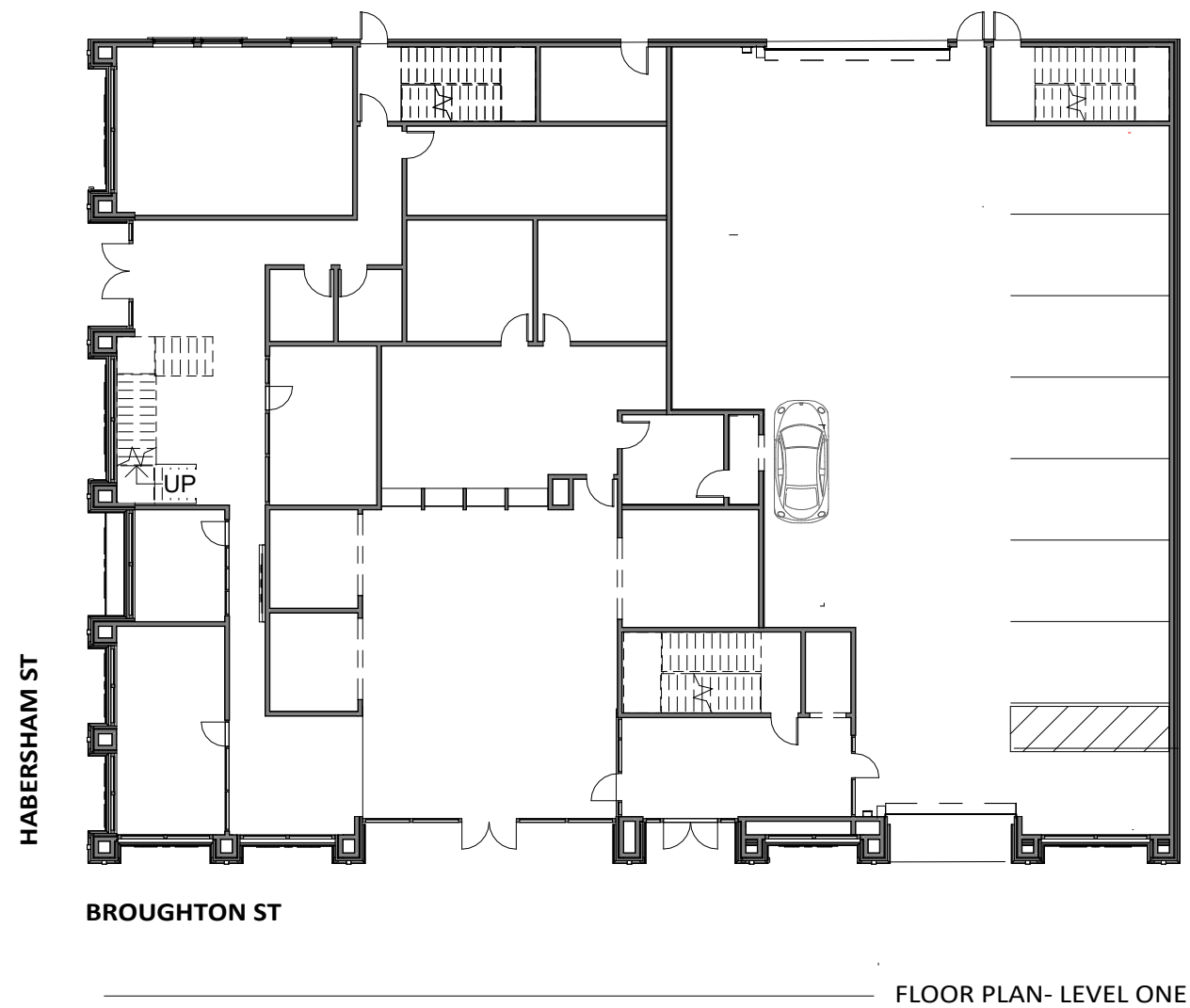
401 E. BROUGHTON ST - looking west



LEGEND

- | | | |
|---|--|--|
|  PROJECT SITE- 402 BROUGHTON |  COMMERCIAL - FOUR OR MORE FLOORS |  3 Story Building Allowed per Savannah Design Standards. 7.8.10. Figure 7.8-4 |
|  SURFACE PARKING |  COMMERCIAL OR MIXED USE LOTS | |
|  RESIDENTIAL LOTS |  PARKING GARAGE STRUCTURE | |
|  SQUARE/GREEN SPACE | | |





ALLOWABLE BUILDING FOOTPRINT = 13,500 SF
PROVIDED TOTAL BUILDING FOOTPRINT SF = 10,445 SF

7.8.10 t. Large-Scale Development Standards

iii. Footprint

1. Building footprints shall not exceed 13,500 square feet within the National Historic Landmark District boundaries (see Fig. 7.8-3). Building footprints shall not exceed 40,500 square feet outside the National Historic Landmark District boundaries. Multiple buildings, as defined by Building Code, with building footprints equal to or less than maximum permitted may be constructed for shared use(s).
2. In D-N and D-R zoning districts, the building footprint shall occupy a minimum of 50% of the lot width along the lane (Fig. 7.8-5).



SOUTH ELEVATION- SETBACK STANDARD



SOUTH ELEVATION- ROOF LINE VARIATION STANDARD

7.8.10 t. Large-Scale Development Standards

iv. Mass

A minimum of two (2) of the following devices shall be incorporated into the design:

1. Subdivide Horizontally (for residential buildings only).

Subdivide the façade horizontally into base, middle, and top (Fig. 7.8-6). The first story shall be separated from the upper stories by an architectural feature such as a string course (i.e., a projecting horizontal band) or change in material. Such architectural feature may be placed at the top of the second story when the first and second stories have the visual appearance of a unified exterior expression.

2. Multiple Volumes

Use multiple detached volumes made up of two (2) or more separate forms to break up the building into two (2) or more structures (Fig. 7.8-7).

→ 3. Roofline Variation

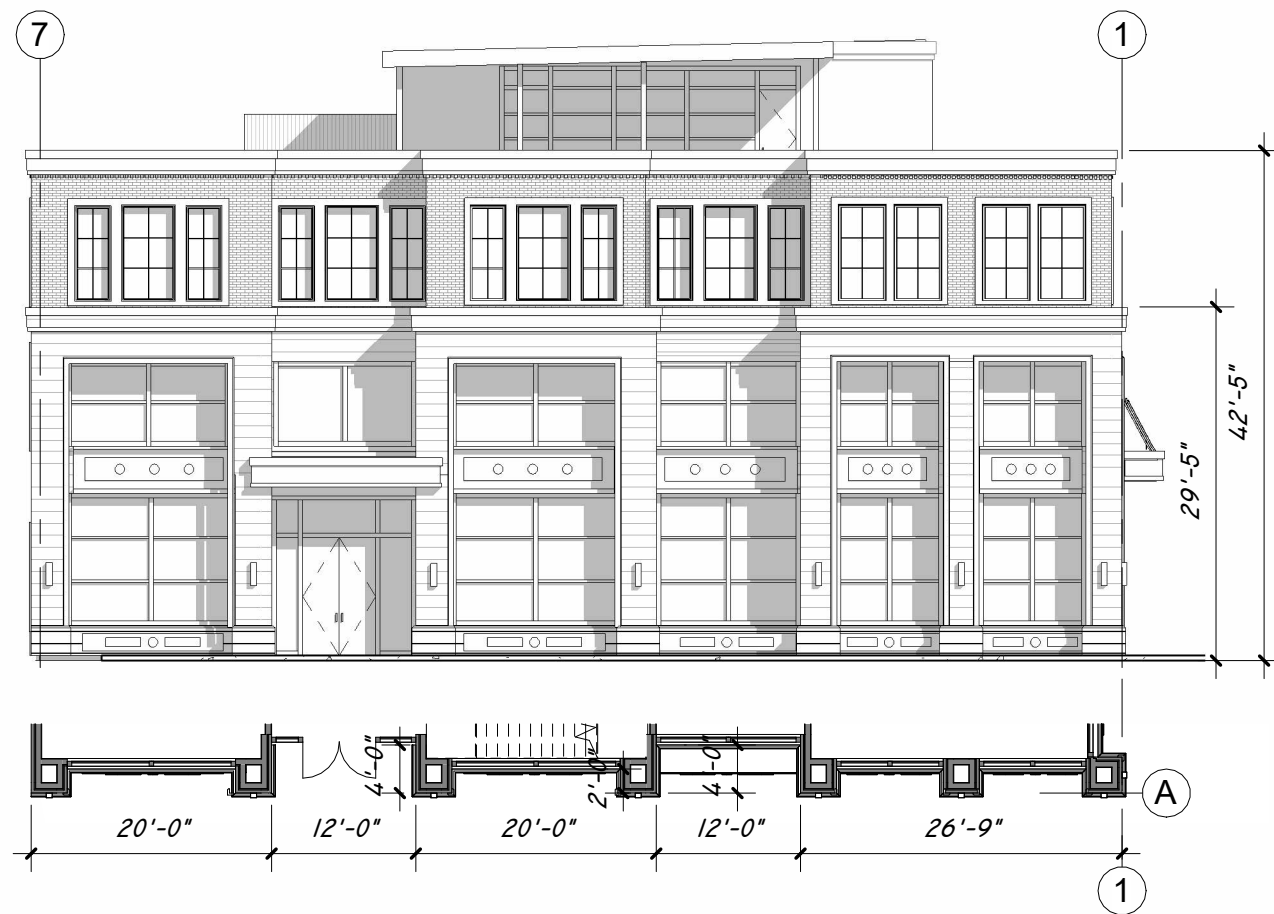
Frontage may be continuous, provided that the roofline shall be varied through the use of volumetric forms and roof shapes of varying heights. The roofline shall provide a minimum one-half story height variation within the street fronting façade (Fig. 7.8-8).

4. Setback Standard

Incorporate setbacks within the façade. Setbacks between street fronting walls shall be at least 24 feet wide and eight (8) feet deep and contain windows in the walls perpendicular to the street (Fig. 7.8-9). Setbacks shall extend to the ground or begin immediately above the ground floor.

→ 5. Recess Standard

Incorporate recesses within the wall plane. Building frontage is shall be limited to 30 feet with recesses of at least 12 feet in width and four (4) feet in depth (Fig. 7.8-10). Recesses shall extend to the ground or begin immediately above the ground floor.



WEST ELEVATION- SETBACK STANDARD



WEST ELEVATION- ROOF LINE VARIATION STANDARD

7.8.10 t. Large-Scale Development Standards

iv. Mass

A minimum of two (2) of the following devices shall be incorporated into the design:

1. Subdivide Horizontally (for residential buildings only).

Subdivide the façade horizontally into base, middle, and top (Fig. 7.8-6). The first story shall be separated from the upper stories by an architectural feature such as a string course (i.e., a projecting horizontal band) or change in material. Such architectural feature may be placed at the top of the second story when the first and second stories have the visual appearance of a unified exterior expression.

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7.8.10 t. Large-Scale Development Standards

V. HEIGHT

1. Large scale development shall be subject to the Height standards in Sec. 7.8.9.b. and the provisions of Table 7.8-1.

For the purposes of this Section, large scale development is any development whose combined ground floor footprint is equal to or greater than 9,000 square feet within a single parcel; or is four- (4) stories or greater than in D-N and D-R zoning districts; or, is five- (5) stories or greater in all other zoning districts within the Savannah Downtown Historic District. In the case of an addition to an existing building, the combined footprint and height of both the existing building and the addition located on the same parcel apply.

2. Additional stories above the Height Map for non-contributing Large-Scale Development.

a. The following properties are eligible for an additional story on the area of the building that is unaffected by the standards in Table 7.8-1.

i. D-N and D-R Zoning Districts: A maximum of one (1) story above the Historic District Height Map may be permitted for properties located on Oglethorpe Avenue, Liberty Street, Trust Lots, and outside the National Historic Landmark District boundaries.

→ ii. All other Zoning Districts: A maximum of one (1) story above the Historic District Height Map may be permitted.

b. Access above the bonus story shall be the minimum necessary for mechanical maintenance and repairs only. Only one point of access (excluding hatch access) shall be permitted above the bonus story.

c. One or more of the criteria below must be met to qualify for an additional story:

i. An historic street or lane, as identified on Figure 7-8.2, is restored and dedicated to the City of Savannah as a public right-of-way;

ii. Affordable housing, as defined and quantified by the City of Savannah, is provided within the development and so certified by the City Manager;

→ iii. Multiple ground floor active uses (as defined) permitted in the base zoning district span the length of the façade on all street fronting elevations (not including lanes) and maintain individual primary exterior entrances. For rehabilitations, the active ground floor uses must replace previously inactive uses to qualify. Lobbies shall not occupy more than 30% of 60 linear feet (whichever is greater) on any primary façade. For buildings facing two or more streets, lobbies shall not occupy more than 50% of 90 linear feet (whichever is greater) on the secondary facades provided that the total linear feet of the lobby area on the street-facing exterior does not exceed 120 linear feet. At least 50% (linear measurement) of active use space shall be designed so that their primary entrance is only accessed from the exterior. Additionally, exterior building walls incorporate 100% modular masonry materials on all sides with the use of granite, marble, or other natural quarried stone over a minimum of 30 percent of all street fronting facades; or

iv. Achieve LEED Gold Certification, or verified equivalent, on the building. Substantial completion of certification requirements, and confirmation from the awarding agency, shall be required before a Certificate of Occupancy is issued. Additionally, exterior building walls incorporate 100% modular masonry materials on all sides with the use of granite, marble, or other natural quarried stone over a minimum of 30% of all street fronting facades.



7.8.10 t. Large-Scale Development Standards

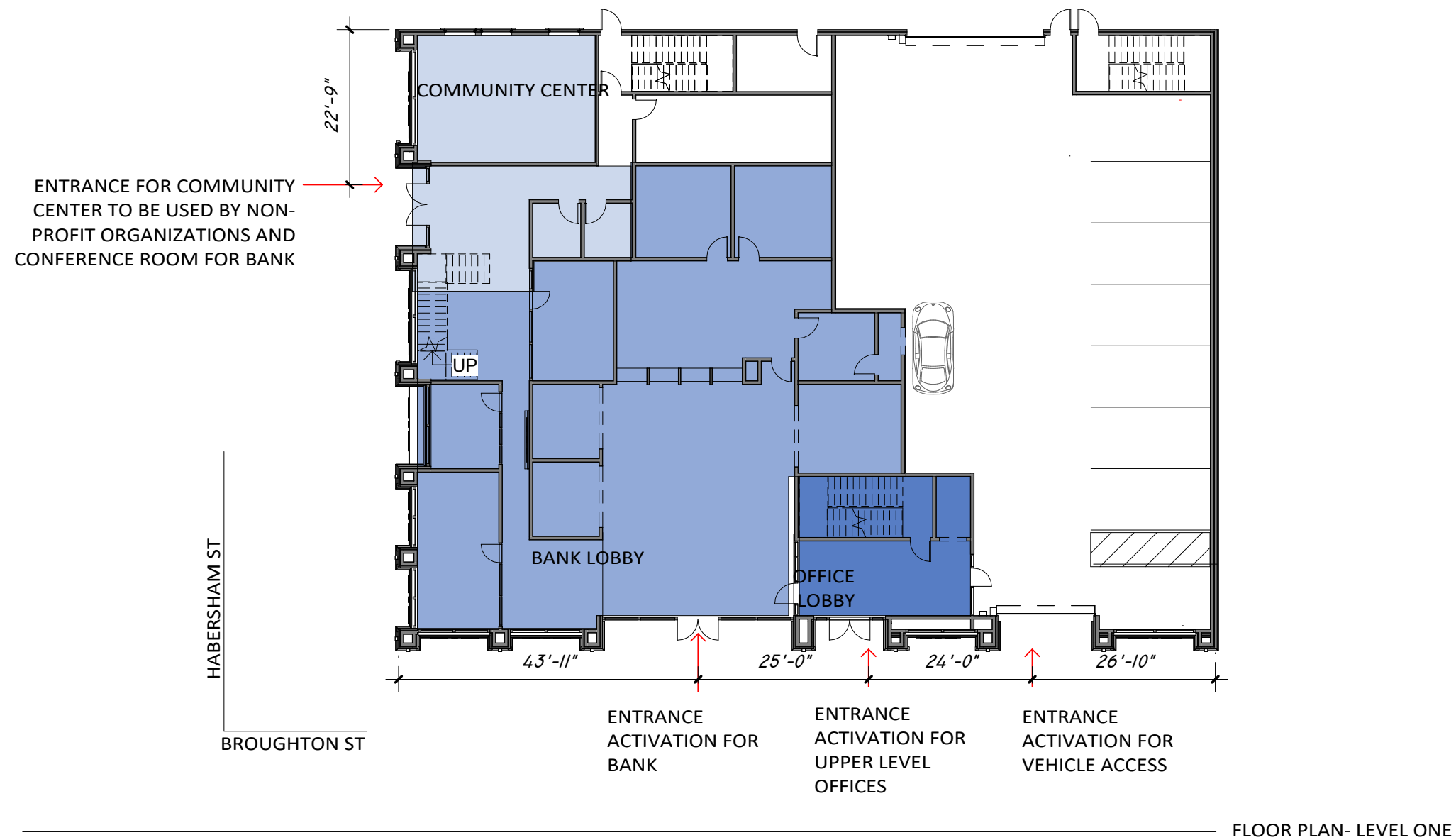
vi. Exterior Walls

1. Configuration

- a. The frontage of buildings shall be divided into architecturally distinct sections no more than 60 feet in width with each section taller than it is wide.
- b. Exterior building walls shall use window groupings (including curtain walls), columns, and/or pilasters to create multiple bays not less than 15 feet nor more than 20 feet in width. The Board may vary this spacing requirement if historic precedent exists within the visually-related context and it is visually compatible.

2. Materials

- a. Required
Building walls on street fronting facades shall incorporate modular masonry materials in the form of brick, cast stone, stone, concrete formed or assembled as stone to achieve a human scale over a minimum of 75% of surface area (excluding windows, doors, and curtain walls). The remainder of wall surface may incorporate other materials (Sec. 7.8.10.f. Exterior Walls).
- b. Prohibited
EIFS (Exterior Insulation Finishing System) shall be prohibited on wall surfaces and exterior details including, but not limited to, cornices, sills, lintels, window hoods, string courses and brackets.



7.8.10 t. Large-Scale Development Standards

vii Entrances

Entrances for large-scale development shall comply with Sec. 7.8.10.g., Entrances and Doors. When those conditions do not apply, the following standards shall be met:

1. A minimum of one (1) primary entrance shall be provided for every 60 feet of street frontage, excluding lanes. Intervals between entrances shall not be less than 15 feet nor exceed 90 feet. On Trust Blocks, a minimum of one (1) primary entrance shall be provided for every 100 feet of street frontage.
2. Buildings greater than four stories and less than 60 feet wide located on a corner tithing lot abutting a north-south connecting street shall locate primary entrances on both the east-west and north-south streets unless a corner entrance is utilized. Buildings greater than 60 feet in width shall have an entrance located on an east-west street regardless of the location of any other entrances.

LEVEL ONE SURFACE AREA = 1,730 SF
1,730 (.55) = 951 SF
TOTAL GLAZING AT LEVEL ONE = 1,125 SF

LEVEL TWO SURFACE AREA = 1,438 SF
1,438 (.20) = 287 SF
TOTAL GLAZING AT LEVEL TWO = 655 SF

LEVEL THREE SURFACE AREA = 1,405 SF
1,405 (.20) = 281 SF
TOTAL GLAZING AT LEVEL THREE = 594 SF



LEVEL ONE SURFACE AREA = 1,361 SF
1,361 (.55) = 748 SF
TOTAL GLAZING AT LEVEL ONE = 849 SF

LEVEL TWO SURFACE AREA = 1,089 SF
1,089 (.20) = 273 SF
TOTAL GLAZING AT LEVEL TWO = 501 SF

LEVEL THREE SURFACE AREA = 1,065 SF
1,065 (.20) = 213 SF
TOTAL GLAZING AT LEVEL THREE = 416 SF



7.8.10 t. Large-Scale Development Standards

viii. Windows and Doors

1. Configuration

a. Facades fronting streets shall incorporate windows over the following minimum percentage of surface area:

- i. Ground level commercial uses: 55%;
- ii. Ground level residential uses: 25%;
- iii. Ground level all other uses: 35%; and
- iv. Upper levels all uses: 20%.

b. Window sashes and door frames shall be inset not less than four (4) inches from all façade surfaces.

2. Materials

- a. Permitted: Wood, clad wood and metal windows.
- b. Prohibited: Solid vinyl windows.

ix. Refuse Storage Areas.

The refuse storage area shall be located within the building.

*NOTE: ALL WINDOWS ARE WOOD. ALL STOREFRONTS ARE METAL
REFUGE STORAGE IS LOCATED ON LEVEL ONE- NORTH ELEVATION

N/A. THIS PROJECT DOES NOT MEET THE MONUMENTAL BUILDING REQUIREMENTS

7.8.10 t. Large-Scale Development Standards

Monumental Buildings

Monumental buildings shall comply with the following:

- i. Visual Compatibility Criteria (Sec. 7.8.9).
- ii. The following Design Standards from Sec. 7.8.10
 - 1. Streets and Lanes;
 - 2. Height;
 - 3. Setbacks;
 - 4. Mechanical Equipment and Refuse;
 - 5. Lighting;
 - 6. Parking and Paving; and
 - 7. Fences, Trellises and Walls.

402 Broughton Text

Additional stories above the Height Map for non-contributing Large-Scale Development.

a.

The following properties are eligible for an additional story on the area of the building that is unaffected by the standards in Table 7.8-1.

i.

D-N and D-R Zoning Districts: A maximum of one (1) story above the Historic District Height Map may be permitted for properties located on Oglethorpe Avenue, Liberty Street, Trust Lots, and outside the National Historic Landmark District boundaries.

ii.

All other Zoning Districts: A maximum of one (1) story above the Historic District Height Map may be permitted.

b.

Access above the bonus story shall be the minimum necessary for mechanical maintenance and repairs only. Only one point of access (excluding hatch access) shall be permitted above the bonus story.

c.

One or more of the criteria below must be met to qualify for an additional story:

Multiple ground floor active uses (as defined) permitted in the base zoning district span the length of the façade on all street fronting elevations (not including lanes) and maintain individual primary exterior entrances. For rehabilitations, the active ground floor uses must replace previously inactive uses to qualify. Lobbies shall not occupy more than 30% of 60 linear feet (whichever is greater) on any primary façade. For buildings facing two or more streets, lobbies shall not occupy more than 50% of 90 linear feet (whichever is greater) on the secondary facades provided that the total linear feet of the lobby area on the street-facing exterior does not exceed 120 linear feet. At least 50% (linear measurement) of active use space shall be designed so that their primary entrance is only accessed from the exterior. Additionally, exterior building walls incorporate 100% modular masonry materials on all sides with the use of granite, marble, or other natural quarried stone over a minimum of 30 percent of all street fronting facades; or

Achieve LEED Gold Certification, or verified equivalent, on the building. Substantial completion of certification requirements, and confirmation from the awarding agency, shall be required before a Certificate of Occupancy is issued. Additionally, exterior building walls incorporate 100% modular masonry materials on all sides with the use of granite, marble, or other natural quarried stone over a minimum of 30% of all street fronting facades.

Active Use: For the purposes of this subsection, an active use is considered to be an allowed use under the zoning ordinance for a property that is open to and provides a sustained, regular activity or service for the general public (including, but not limited to, restaurant, retail, office, gallery), and maintains individual primary exterior entrances. Uses intended primarily for the buildings ’ occupants, such as meeting rooms, internal offices, hallways, storage areas, recreational facilities not open to the general public, etc., or are accessed primarily from the interior, are not considered active uses. A lobby shall be considered an active use provided that it is limited in area as determined in the Large-Scale Development standards.

(Ord. of 10-10-2019(37), § 1)

Effective on: 10/10/2019

The project meets the requirements of multiple active uses with the primary active uses being the bank lobby, public offices and coffee station and a secondary use and entrance on the Habersham side for the “community room and gallery” that is donated graciously to non-profits and other community-based organizations to meet. The Habersham entrance activates that streetscape and also provides a discrete entrance to the community room without having to enter through the bank lobby or other secured spaces.

Sec. 7.8 Savannah Downtown Historic Overlay District

7.8.9 Visual Compatibility Criteria

To maintain the special character of the Savannah Downtown Historic District as identified in the architectural survey and visual analysis, new construction and any material change in appearance shall be consistent with the standards, criteria and guidelines developed for the district. The applicable criteria below shall be used to assess new construction and material changes. These criteria shall not be the basis for appeal to any board, commission or administrator described in this Ordinance, or to the Mayor and Aldermen.

Height

New construction shall be permitted to build to the number of stories as shown on the “Savannah Downtown Historic District Height Map,” referred to herein as “Height Map,” (Fig. 7.8-4; see Sec. 7.8.9.b. Height) and the overall height of a building and the height of individual components of a building or structure shall be visually compatible to the contributing buildings and structures to which it is visually related.

Proportion of front façade

The relationship of the width of a building or structure to the height of its front facade shall be visually compatible to the contributing buildings and structures to which it is visually related.

Proportion of openings

The relationship of the width of the windows to height of windows within a building or structure shall be visually compatible to the contributing buildings and structures to which it is visually related.

Rhythm of solids to voids in front facades

The relationship of solids to voids in the facades visible from the public right-of-way shall be visually compatible with the contributing buildings and structures to which it is visually related.

Rhythm of structures on streets

The relationship of a building or structure to the open space between it and adjacent buildings or structures shall be visually compatible with the open spaces between contributing buildings and structures to which it is visually related.

Rhythm of entrance and/or porch projection

The relationship of entrances, porch projections, and walkways to buildings or structures shall be visually compatible with the contributing buildings and structures to which they are visually related.

Relationship of materials, texture and color

The relationship of materials, texture and color of the facade of a building or structure shall be visually compatible with the predominant materials, textures, and colors used on contributing buildings and structures to which the structure is visually related.

Roof shapes

The roof shape of a building or structure shall be visually compatible with the contributing buildings and structures to which it is visually related.

Walls of continuity

Brick walls, wrought iron fences, landscape masses, building facades, or combinations of these shall be visually compatible with the contributing buildings, structures and objects to which they are visually related and shall form continuous walls of enclosure along the street.

Scale of a building

The mass of a building or structure and size of windows, door openings, porches column spacing, stairs, balconies and additions shall be visually compatible with the contributing buildings and structures to which the structure is visually related.

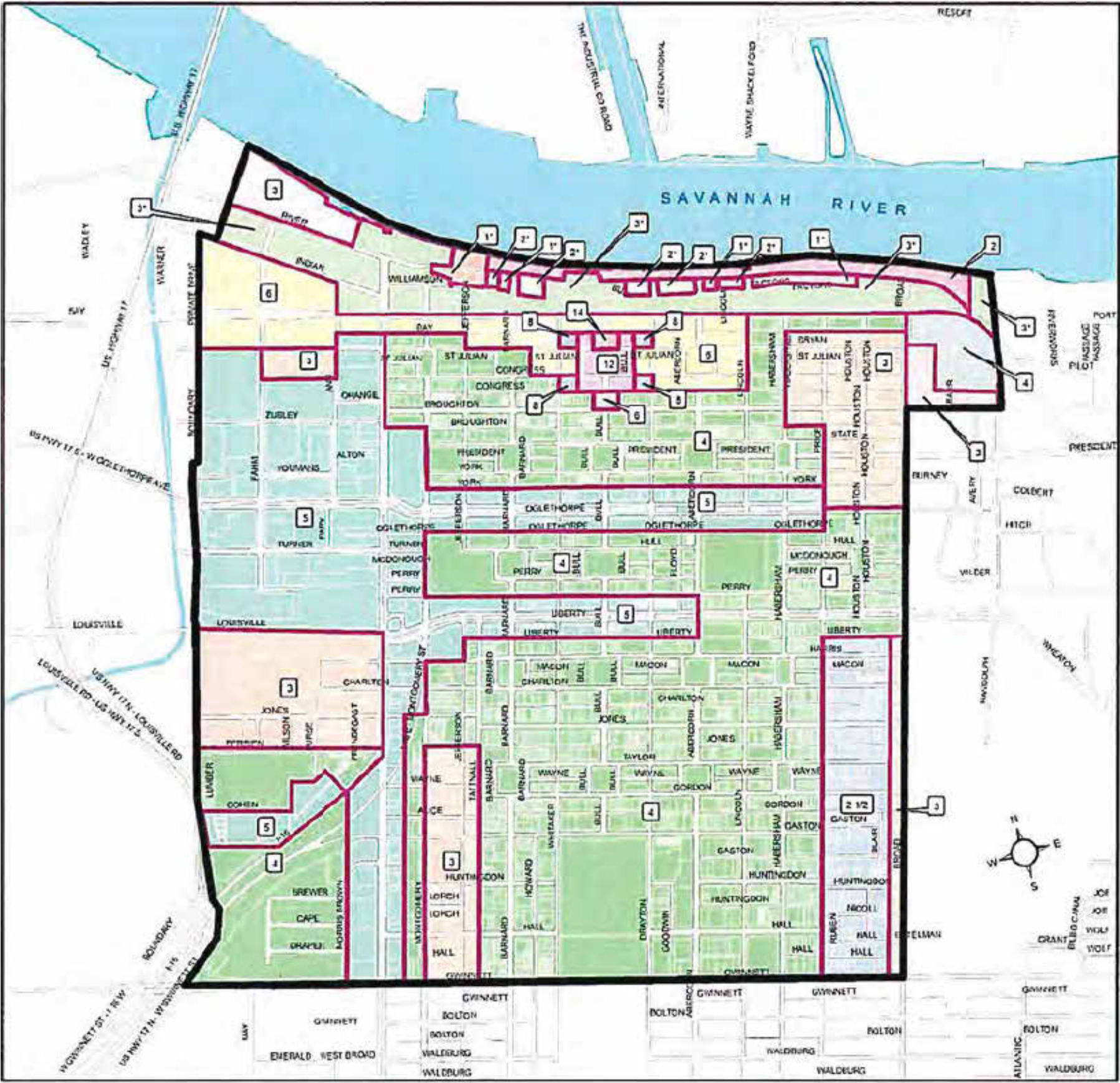
Signs

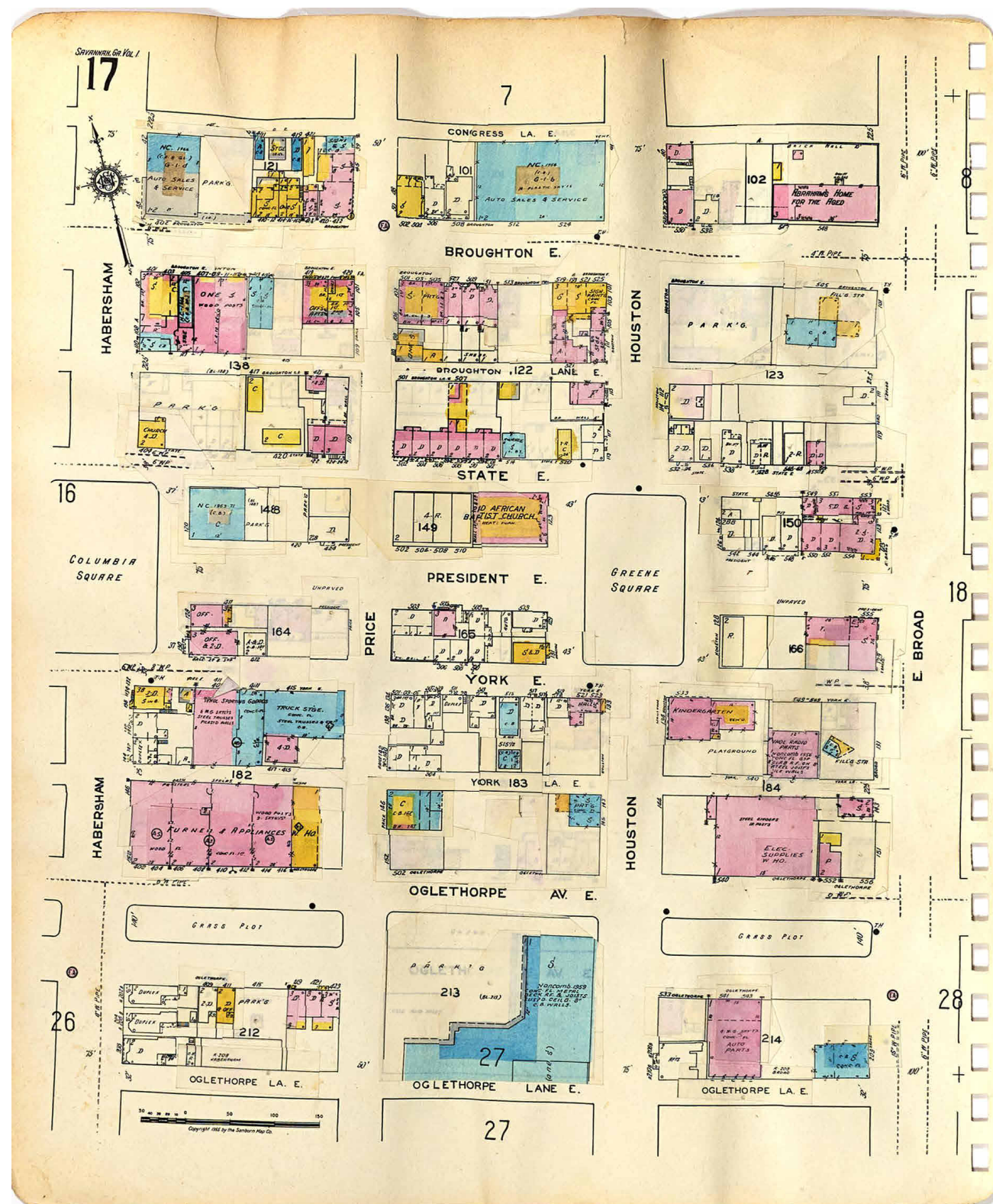
Signs, where permitted, shall be visually compatible with contributing buildings and structures to which they are visually related.

Directional expression of front elevation

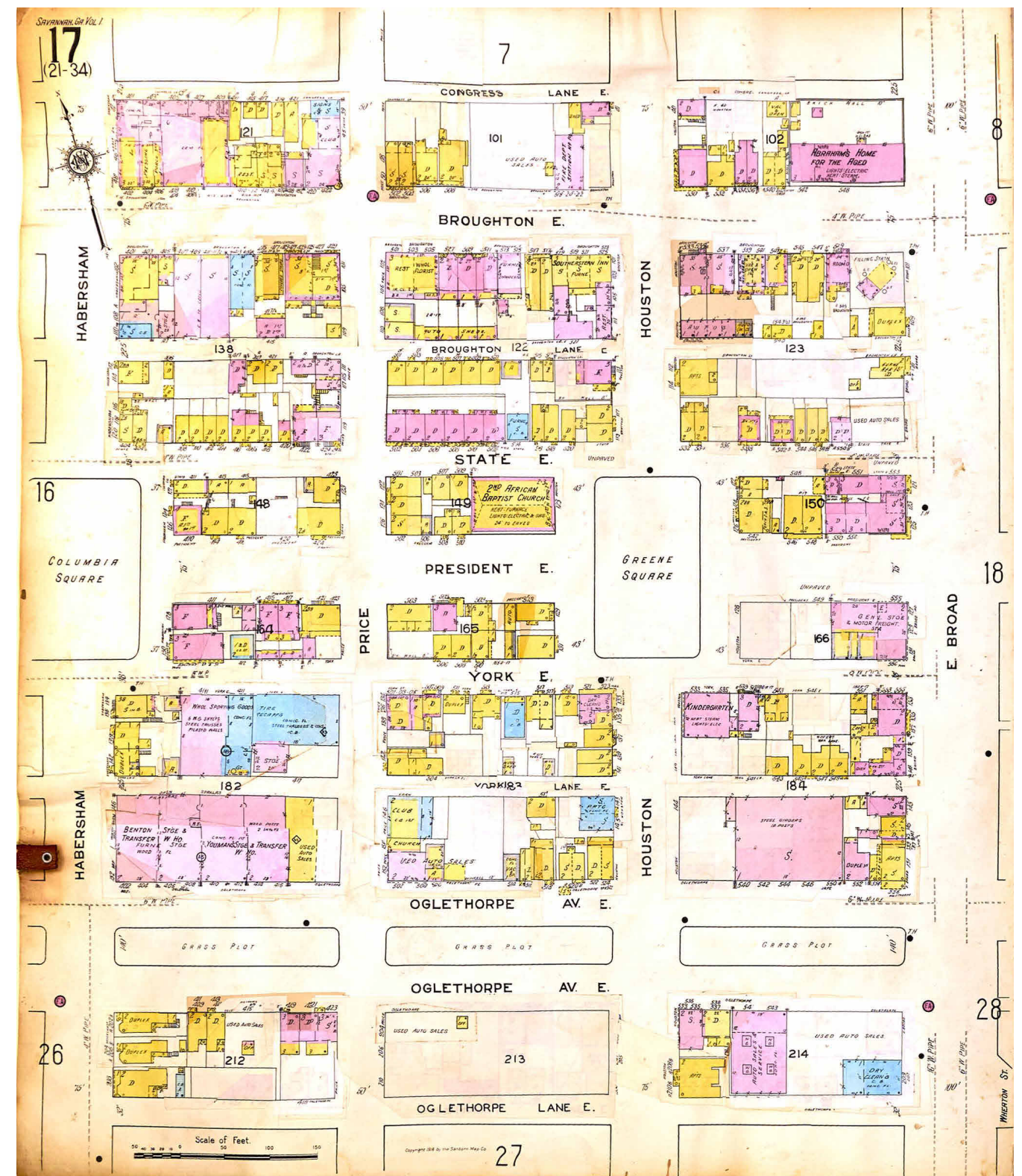
A building or structure shall be visually compatible with the buildings and structures to which it is visually related in its directional character, Including vertical character, horizontal character, or non-directional character.

Commentary: Structural shape, placement of openings, and architectural details may give a predominantly vertical, horizontal, or a non-directional character to the building ’s front façade. For example, a skyscraper would have a vertical character and a one-story ranch house would have a horizontal character.





SANBORN MAP 1955



SANBORN MAP 2016