

PROJECT DESCRIPTION:

This submittal seeks approval for the new construction of a carriage house located at 307 Lorch Street in the Savannah Downtown Historic District. The main house was constructed ca. 1889. Careful attention has been given to the existing context and architectural detailing of the neighborhood.

LOCATION ON THE SITE

The carriage house will be located along Lorch Lane. It will be 1'-0" from the west property line, 2'-0" from the rear property line (lane), and 9'-0" from the east property line. Historically there was a 1-story accessory dwelling unit at this approximate location, which was demolished at some point.

HEIGHT

The carriage house will be two-stories with a side gable roof. The roof will be 27' above grade at the ridge and 19'-6" above grade at its lowest eaves. The first floor garage will be slightly above grade and the second floor will be 9'-6" above the first. As an accessory dwelling unit the carriage house will be smaller in height than the main house whose eaves are approximately 27' above grade.

MASS/FORM

The form of the building is a simple box indicative of the building type found throughout the district. Photographic analysis of other buildings, in close proximity, is found on drawing sheet G004. The carriage house has a gable roof, which is similar to its neighbors to the east and west. This roof form will also allow rainwater to be diverted either to the lane or courtyard rather than towards the adjacent properties. On the east and north facades we placed box bays to add visual interest and enhance the interior spaces. These bays are a reference the main house's front façade bay, as well as, the box bay at 624 Montgomery Street, located at the other end of Lorch Lane.

DESIGN DETAILS

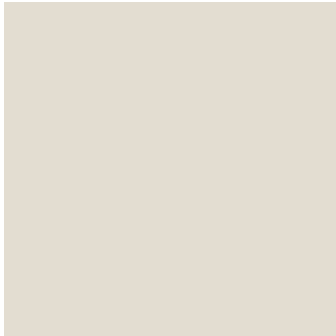
The construction type will be wood frame on a concrete slab. The main body will have smooth fiber cement siding with a 5" exposure and mitered corners. The exposure matches that of the main house's wood siding but the mitered corners give it a more contemporary approach. All trim will be smooth and either wood or fiber cement and will have similar dimensions to the main house. The roof will have architectural asphalt shingles to match the main house. The garage doors will be a painted and flush paneled overhead rolling type. The human doors will be wood/glass. The windows will be aluminum clad 2/2 wood double-hungs matching the style of the main house. As mentioned previously we have added two box bays. Each one will be paneled with bead board, matching that of the main house's bay. Each bay will also be supported by oversized decorative brackets which are a visual reference to the main house's decorative eave brackets. The bay brackets' larger scale is a function of their role as structural

support but also to enhance the visual appeal of the bays. Painted wood stairs will lead to the dwelling unit entry. A louvered wall will help screen the stairs and mechanical equipment. The louvered wall will also generate privacy for the tenant and serve as the guardrail for the stairs.

307 LORCH – COLOR SELECTION (EXTERIOR):

SIDING (FIELD) AND TRIM:

SW 7637 “OYSTER WHITE”



GARAGE DOOR, EAVES, AND WINDOW SASHES:

SW 7016 “MINDFUL GRAY”



ENTRY DOORS:

SW 5509 “GEORGIAN BAY”



DEEP DIMENSION OUTSTANDING PERFORMANCE

Duration® Shingles offer:

- The high-performance of SureNail® Technology
- A TruDefinition® Color Platform
- A Limited Lifetime Warranty*[‡] for as long as you own your home
- The protection of a 130-MPH* wind warranty
- StreakGuard™ Protection with a 25-year Algae Resistance Limited Warranty^{3/§}

UNA NUEVA DIMENSIÓN DESEMPEÑO SOBRESALIENTE

Las tejas Duration® ofrecen:

- El gran desempeño de la tecnología SureNail®
- La gama de colores TruDefinition®
- Una garantía limitada de por vida*[‡] mientras sea propietario de la vivienda
- La protección de una garantía contra vientos de hasta 210 km/h (130 mph)*
- Protección StreakGuard™ con una garantía limitada de 25 años de resistencia a las algas ^{3/§}



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EL TOQUE FINAL

TEJAS DE LIMATESA Y CUMBRERA DE OWENS CORNING®

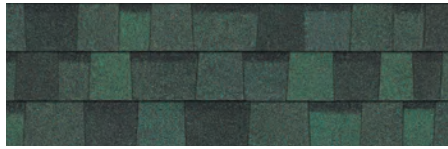
Las tejas de limatesa y cumbrera de Owens Corning® se ofrecen en una exclusiva gama de colores para combinar con las tejas Duration® TruDefinition®. Esta gran variedad de combinaciones de colores es una exclusividad de Owens Corning® Roofing para lograr techos con un acabado único.

TruDefinition®
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Shingles with Patented SureNail® Technology | Tejas con tecnología patentada SureNail®



Brownwood¹



Chateau Green¹



Desert Rose¹



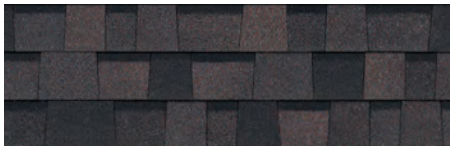
Driftwood¹



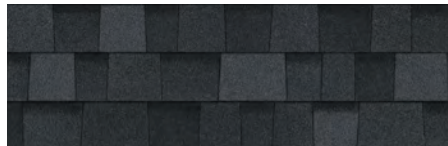
Estate Gray¹



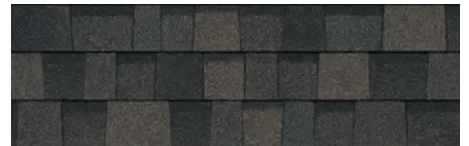
Harbor Blue¹



Midnight Plum¹



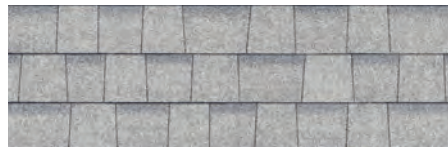
Onyx Black¹



Peppercorn¹



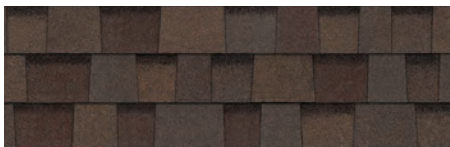
Quarry Gray¹



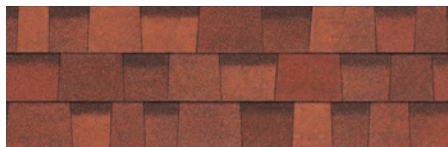
Shasta White¹



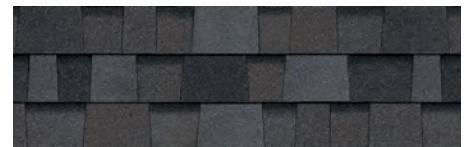
Slatestone Gray¹



Teak¹



Terra Cotta¹



Williamsburg Gray¹

COLOR DISCLAIMER

As color experts, we know getting the shingle color right is a big part of any roofing purchase. Due to printing color variations, in addition to viewing shingle literature, we suggest you request an actual shingle sample to see how it will appear on your home and with your home's exterior elements in various natural lighting conditions. Lastly, we recommend you verify your color choice by seeing it installed on an actual home; your roofing contractor or supplier can provide a sample and may be able to direct you to a local installation.

DESCARGO DE RESPONSABILIDAD SOBRE LOS COLORES

En tanto que especialistas en color, sabemos que obtener el color de teja perfecto es una parte importante en toda compra de techos. Debido a las variaciones en los colores impresos, además de mirar folletos de tejas, le sugerimos que solicite una muestra de la teja para ver como se verá en su hogar y con los elementos externos de la vivienda bajo distintas condiciones de luz natural. Finalmente, le recomendamos que para verificar su elección de colores, vea cómo lucen las tejas ya instaladas en una vivienda; su contratista de techos o su proveedor le pueden dar una muestra e incluso indicarle dónde ver un techo ya instalado.

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Hardie® Plank



Select Cedarmill®



Smooth



Beaded Select Cedarmill®



Beaded Smooth

Select Cedarmill® & Smooth		Thickness 5/16 in		Length 12 ft planks		
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Exposure	4 in	5 in	6 in	7 in	8 in	10.75 in
Prime Pcs/Pallet	360	308	252	230	190	152
ColorPlus® Pcs/Pallet	324	280	252	210	—	—
Pcs/Sq.	25.0	20.0	16.7	14.3	12.5	9.3

Select Cedarmill®						
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Statement Collection™				•		
Dream Collection™	•	•	•	•		
Prime	•	•	•	•	•	•

Smooth						
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Statement Collection™						
Dream Collection™	•	•	•	•		
Prime	•	•	•	•	•	•

Beaded Select Cedarmill® & Beaded Smooth

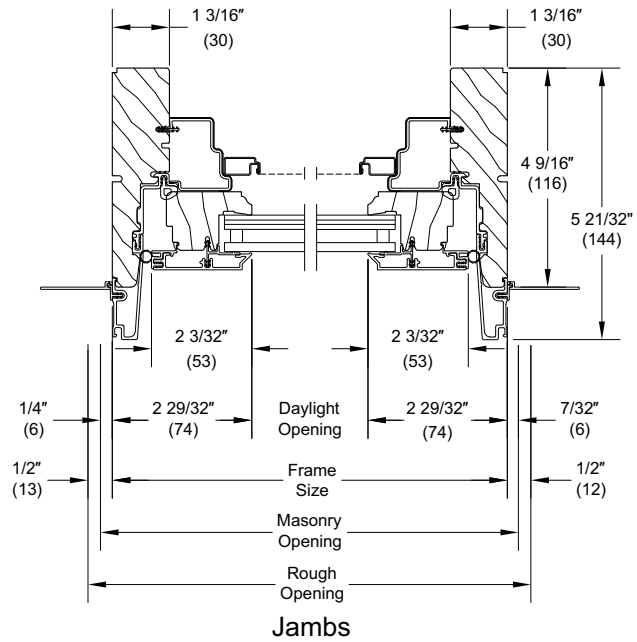
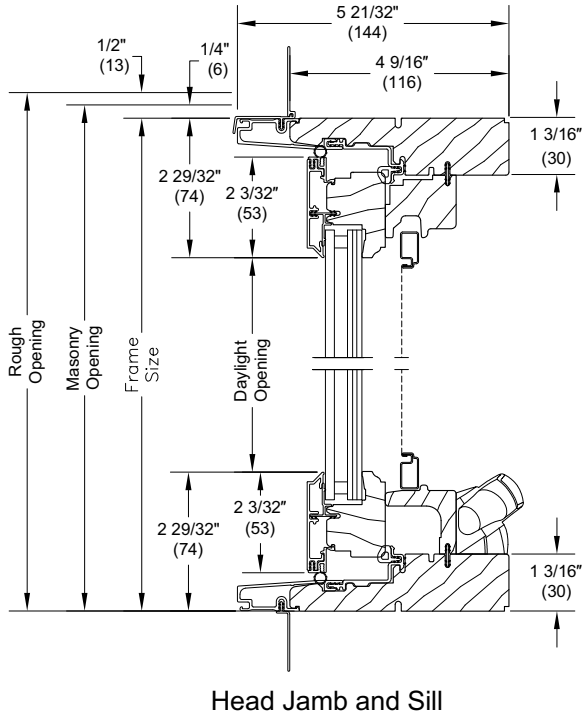
Width	8.25 in
Exposure	7 in
ColorPlus® Pcs/Pallet	210
Pcs/Sq.	14.3
Statement Collection™	
Dream Collection™	•
Prime	

Clad Ultimate Casement, Awning and Picture

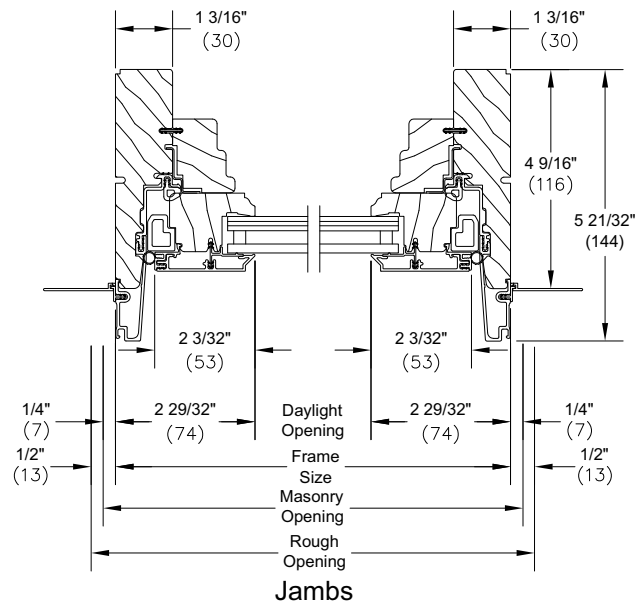
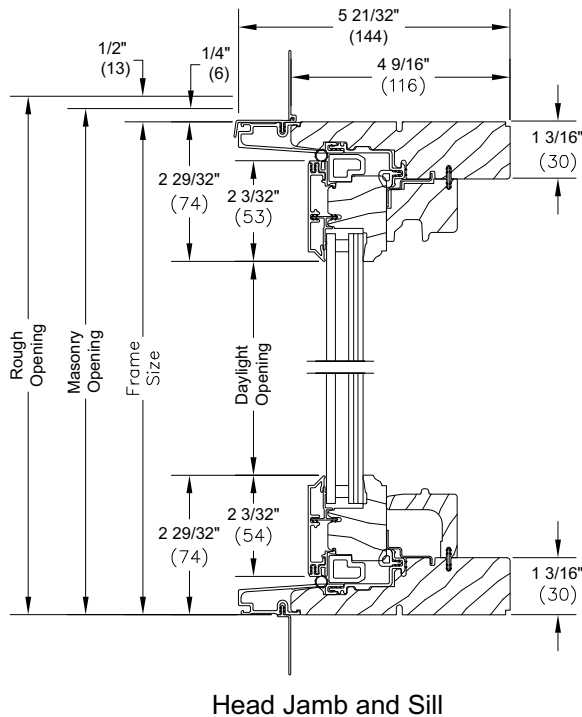
Section Details: IZ3/IZ4 Operating/Stationary/Picture - 3/4" (19) IG

Scale: 3" = 1' 0"

Operating



Stationary/Picture

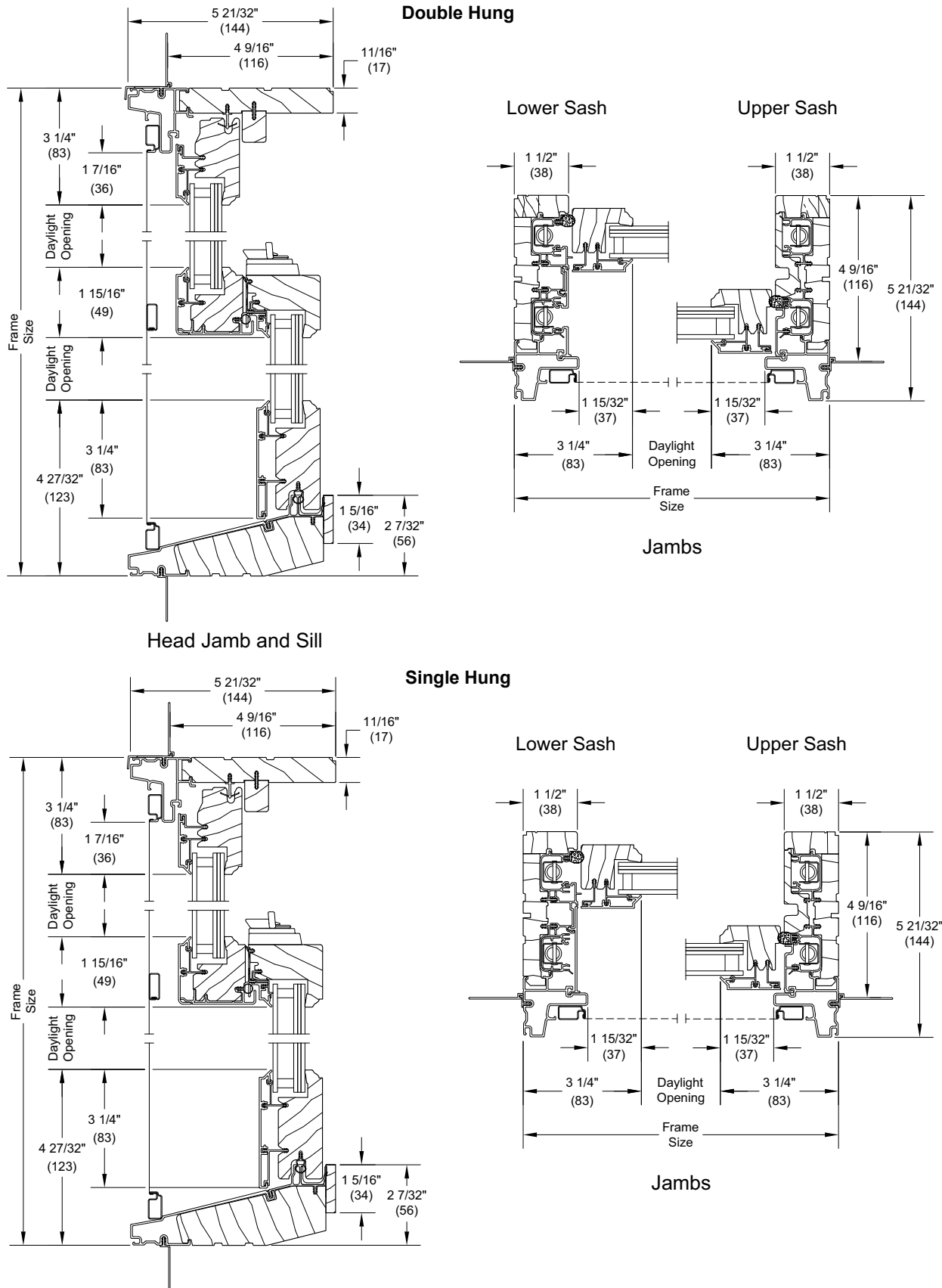


NOTE: CE mark is not available on Impact units

Clad Ultimate Double Hung - Next Generation 2.0

Section Details: IZ3 Operating

Scale: 3" = 1' 0"

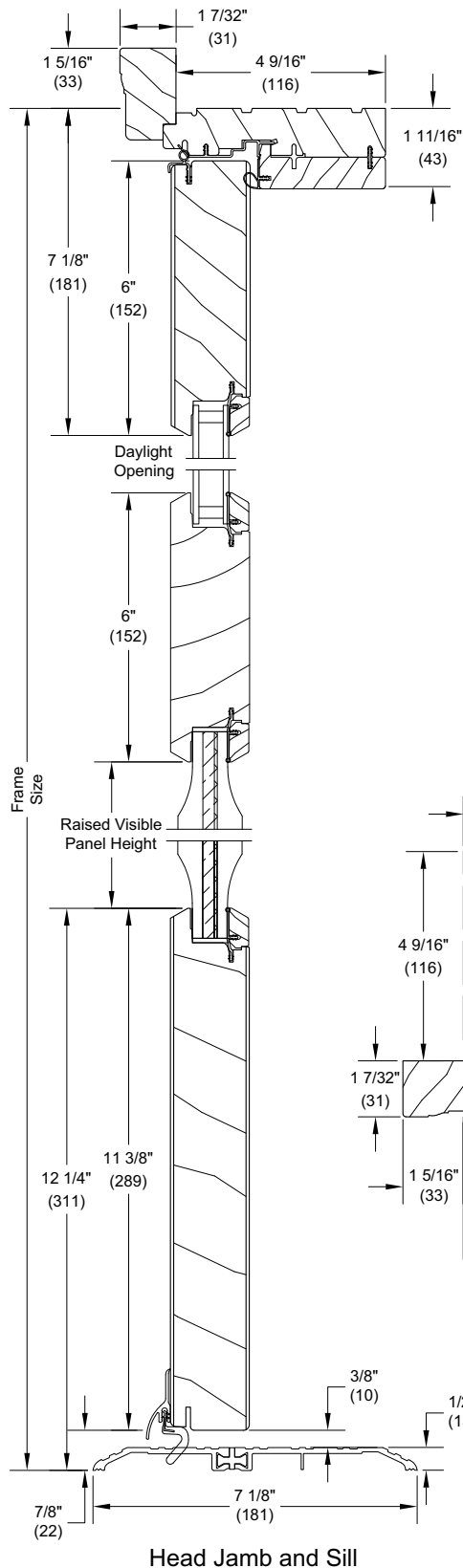


NOTE: CE mark is not available on Impact units.

Wood Commercial Door

1 3/4" Commercial Section Details: Raised Panel Placement

Scale: 3" = 1' 0"

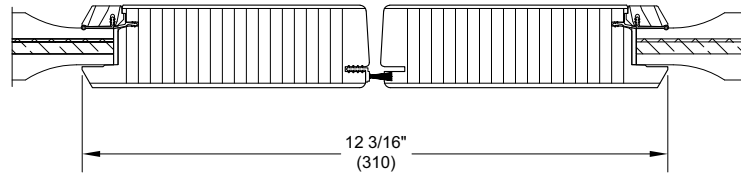


Raised Panel - Standard Configuration / Low Placement

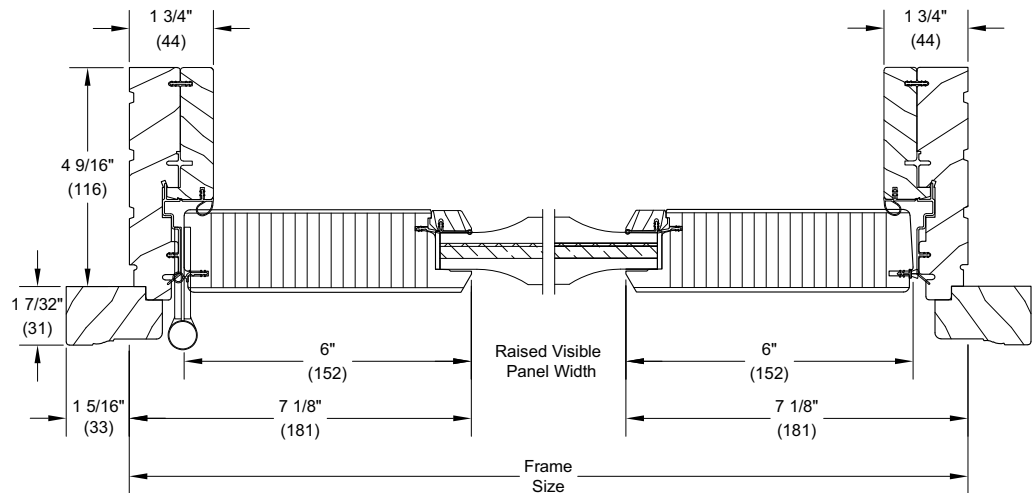
6" intermediate rail placed 26" (660) O.C. from bottom of the door sill with 10 13/16" (275) visible panel height.

Raised Panel - Standard Configuration / High Placement

6" intermediate rail placed 40 5/16" (1024) O.C. from bottom of the door sill with 25 1/8" (638) visible panel height.



XX - Meeting Stiles

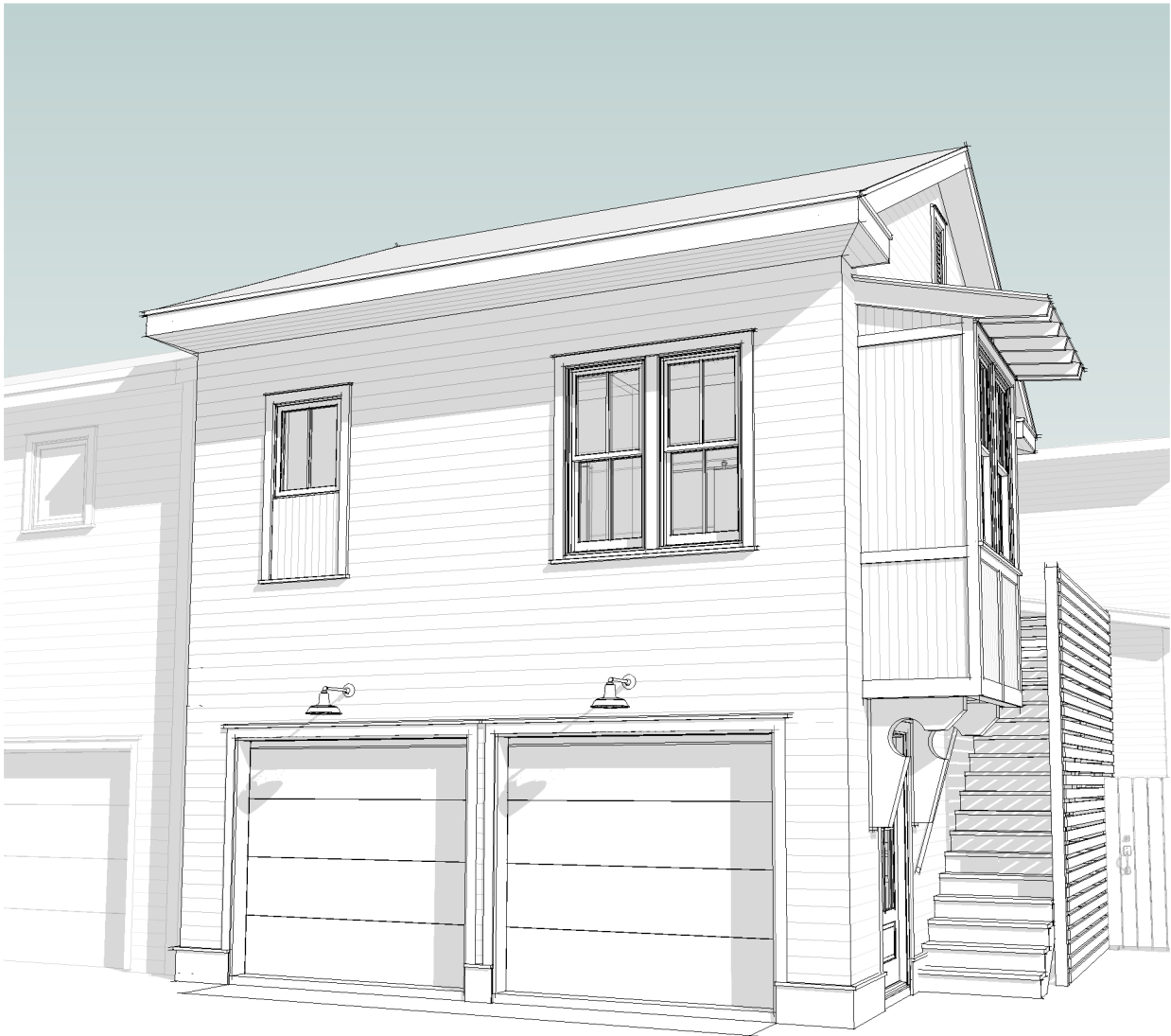


X - LHR - Jamb

307 LORCH STREET CARRIAGE HOUSE

Savannah Downtown Historic District

HDBR DRAWING SET



PROJECT TEAM:

CLIENT:
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ARCHITECT:
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DRAWING INDEX:

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G002	SITE HISTORY
G003	SITE PHOTOS
G004	CONTEXT PHOTOS
G100	EXISTING SITE PLAN
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A102	ROOF PLAN
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A702	DIGITAL MODEL
A703	COLOR RENDERING

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STREET

SAVANNAH, GA 31401

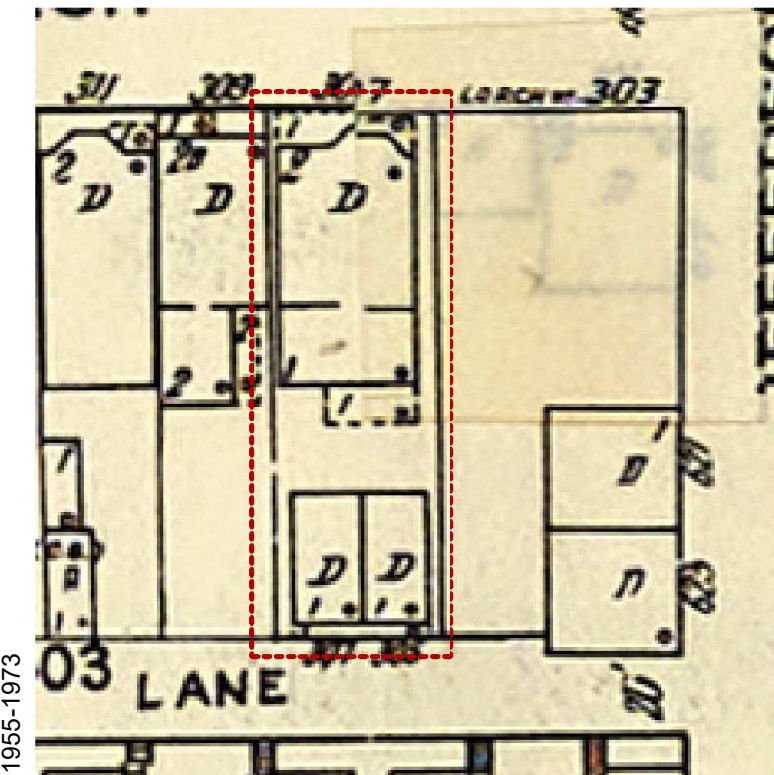
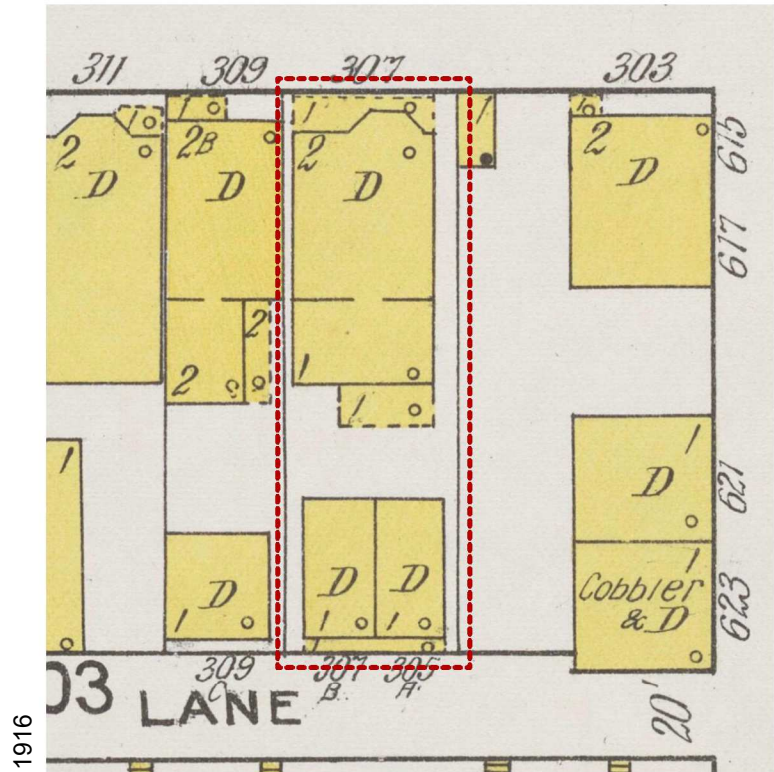
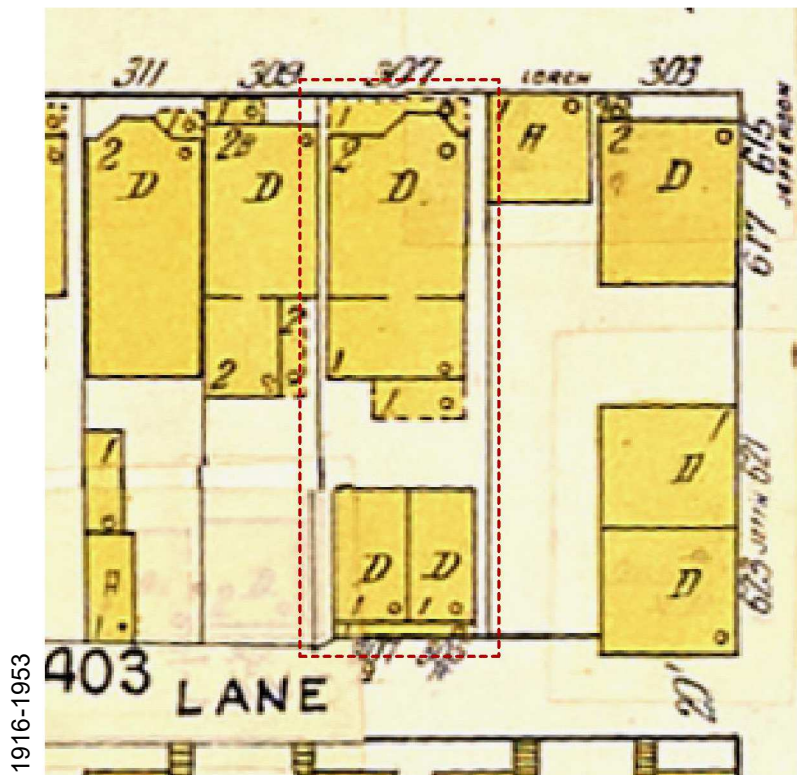
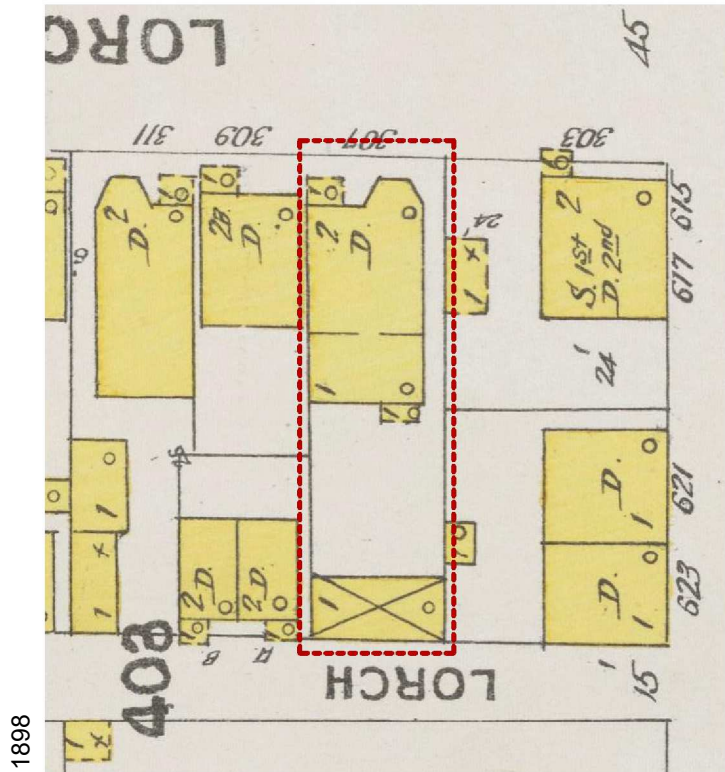
COVER SHEET

PROJECT NO. 2513.00

DATE 12.10.25

SHEET NO.

G000



P

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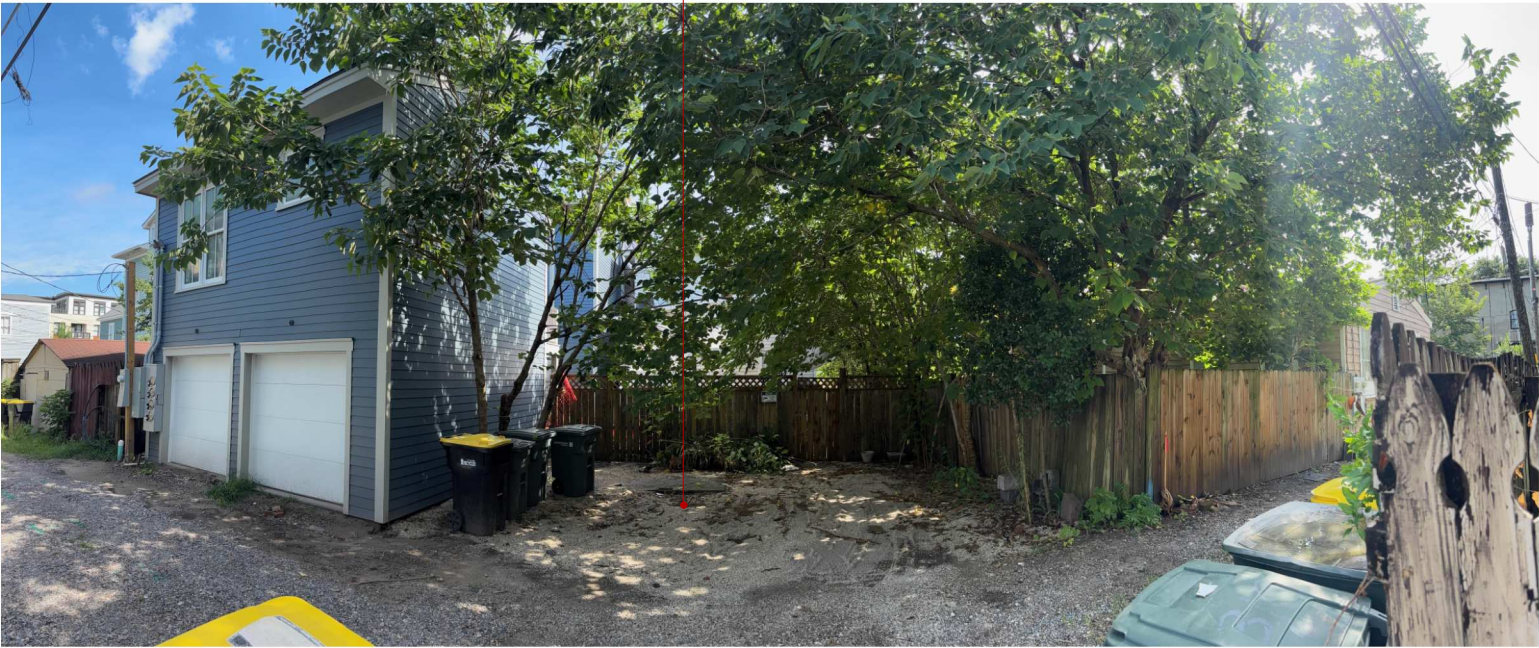
D

C

B

A

VIEW OF SITE FROM LORCH LANE



VIEW OF PROPOSED LOCATION FROM LORCH LANE



VIEW SOUTH FROM MAIN HOUSE



VIEW NORTH AT PROPOSED LOCATION



VIEW EAST AT PROPOSED LOCATION



VIEW WEST AT PROPOSED LOCATION



VIEW OF MAIN HOUSE FROM LORCH STREET



VIEW OF MAIN HOUSE FROM JEFFERSON STREET



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SITE PHOTOS

PROJECT NO. 2513.00

DATE 12.10.25

SHEET NO.

G003



VIEW WEST DOWN LORCH LANE

302 WEST HALL

621 JEFFERSON

VIEW EAST DOWN LORCH LANE

624 MONTGOMERY

VIEW EAST DOWN LORCH LANE

312 WEST HALL

302 AND 312 WEST HALL

311 LORCH

311 LORCH

309 LORCH

309 LORCH

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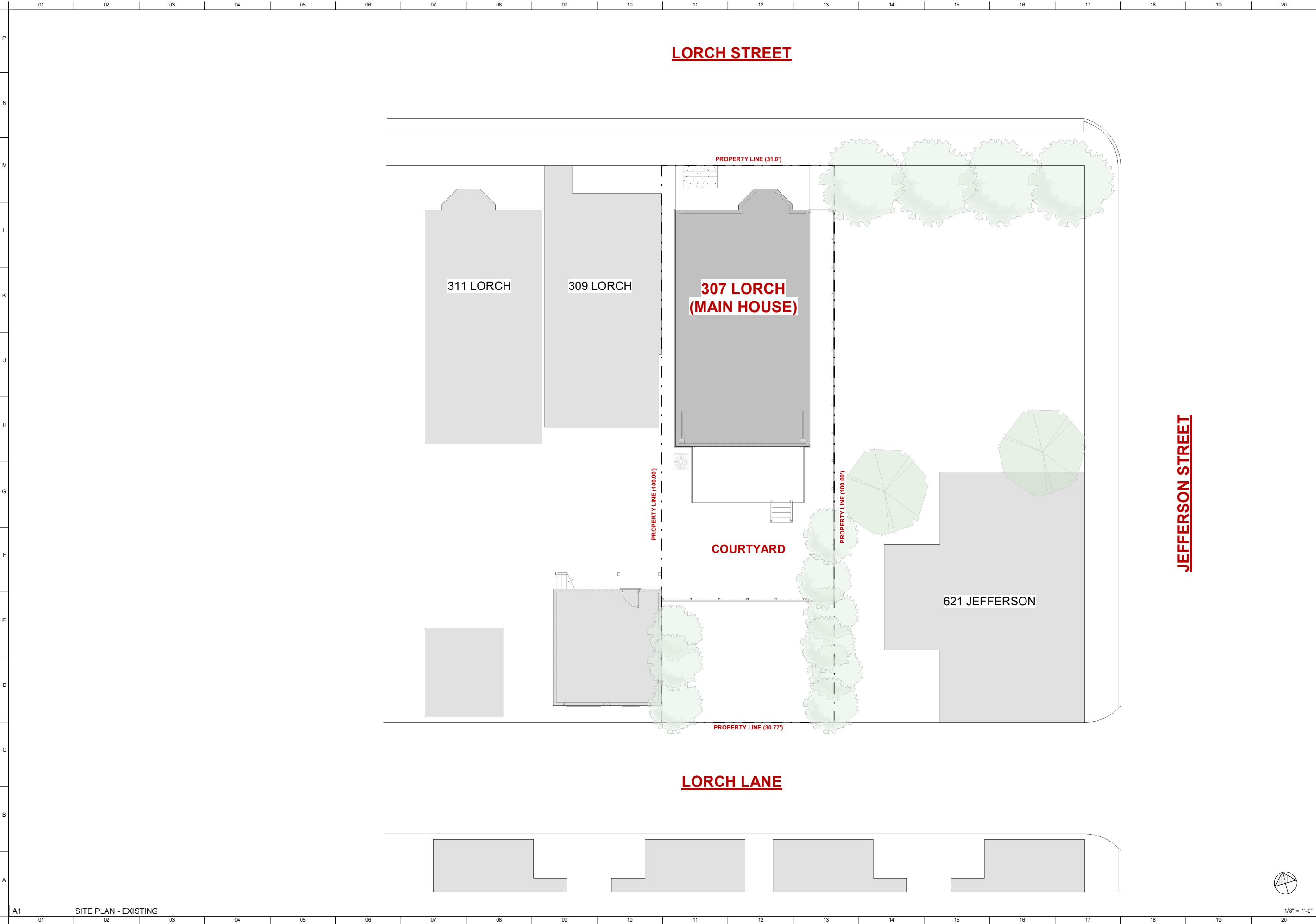
CONTEXT PHOTOS

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307 LORCH STREET

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EXISTING SITE PLAN

PROJECT NO. 2513.00
DATE 12.10.25
SHEET NO.

G100

307 LORCH STREET

PIN #: 2-0045-26-012

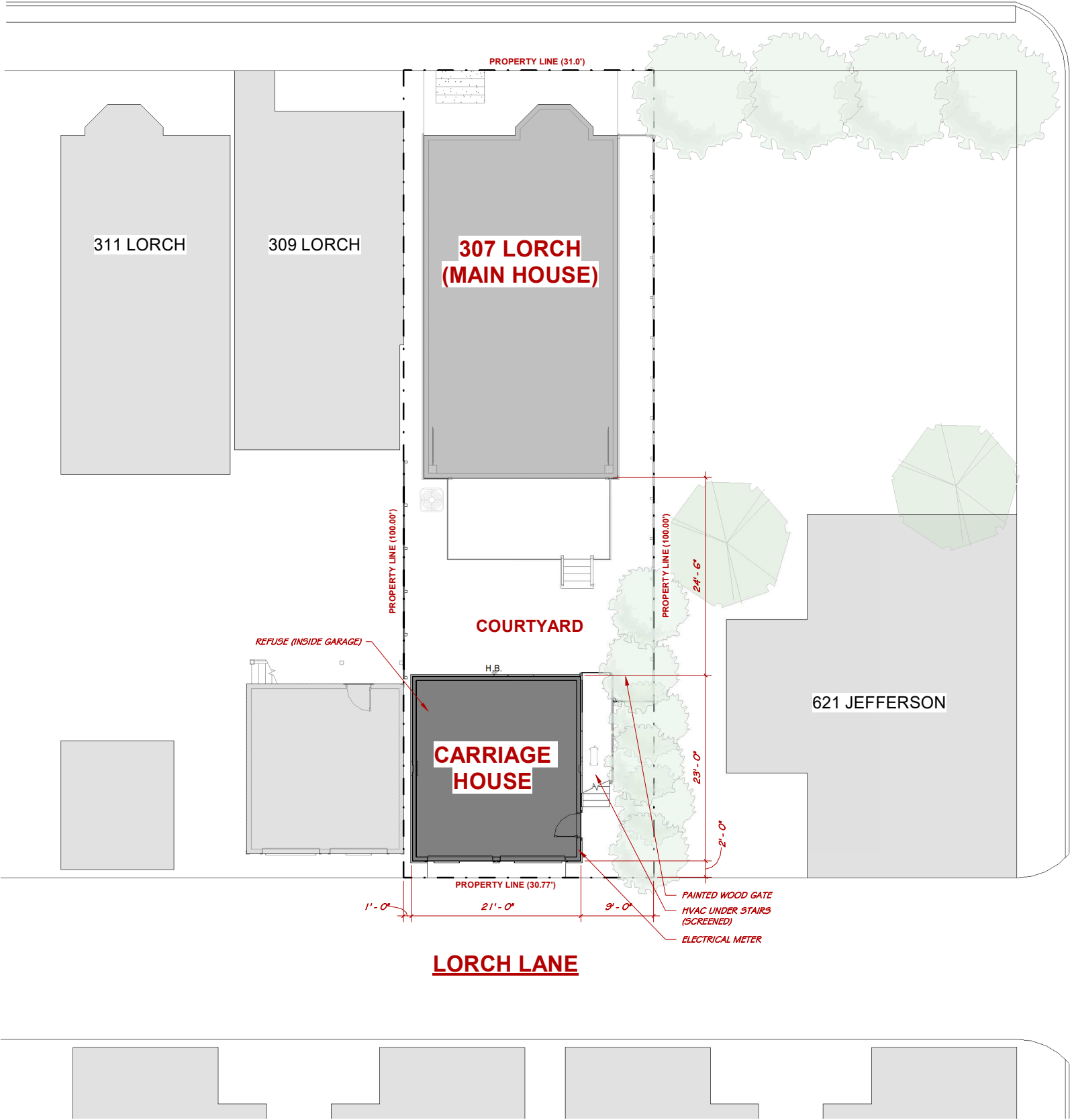
ZONING: D-R

LOT AREA: 3,100 SF EXISTING

BUILDING COVERAGE PER NEWZO 5.14.5:
75% MAX. ALLOWED
39.1% EXISTING = 1,215 SF BUILDING/3,100 SF LOT
54.7% PROPOSED = 1,697 SF BUILDINGS/3,100 SF LOT

ADU SIZE PER NEWZO 8.7.4(d):
40% MAX. OF THE HABITABLE FLOOR AREA OF THE PRINCIPAL DWELLING
39.6% PROPOSED = 482 SF/1,212 SF
MINIMUM OF 400 SQUARE FEET OF HEATED AREA
482 SF PROPOSED

LORCH STREET



307 LORCH
(MAIN HOUSE)

COURTYARD

CARRIAGE
HOUSE

LORCH LANE

JEFFERSON STREET



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PROPOSED SITE
PLAN

PROJECT NO. 2513.00
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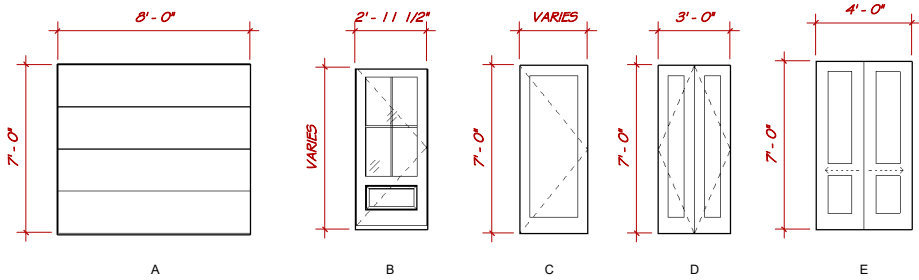
G101

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DOOR SCHEDULE								
DOOR	ROOM NAME	WIDTH	HEIGHT	DOOR		FRAME		COMMENTS
				TYPE	MATERIAL	TYPE	MATERIAL	
1	GARAGE	8' - 0"	7' - 0"	A	COMPOSITE	-	-	OVERHEAD ROLL-UP
2	GARAGE	8' - 0"	7' - 0"	A	COMPOSITE	-	-	OVERHEAD ROLL-UP
3	GARAGE	3' - 1 7/16"	7' - 2"	B	WD/GLASS	-	WD	
4	LIVING	3' - 1 7/16"	7' - 11 1/2"	B	WD/GLASS	-	WD	
5	BEDROOM	4' - 0"	7' - 0"	E	WD OR MDF	-	WD	BARN DOOR
6	LAUNDRY	3' - 0"	7' - 0"	D	WD OR MDF	-	WD	DBL
7	CLOSET	3' - 0"	7' - 0"	D	WD OR MDF	-	WD	DBL
8	BATH	2' - 6"	7' - 0"	C	WD OR MDF	-	WD	POCKET
9	BATH	2' - 10"	7' - 0"	C	WD OR MDF	-	WD	POCKET

DOOR NOTES

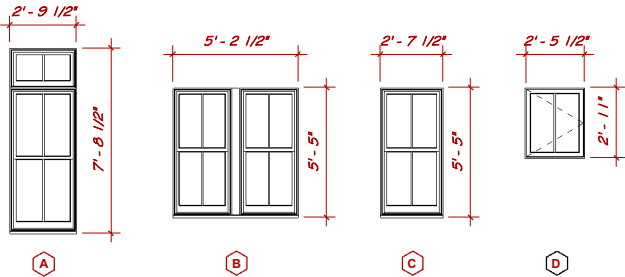
- COORDINATE FRAME, JAMB, HEAD, AND SILL WIDTH WITH ACTUAL WALL WIDTH/SIZE.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROUGH OPENINGS.
- MANUFACTURER TO VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION.
- CONTRACTOR TO REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
- COORDINATE KEYING WITH OWNER.
- ALL EXTERIOR DOORS WITH GLASS TO HAVE 7/8" MAX. MUNTINS, SIMULATING TRADITIONAL PUTTY GLAZE.
- ALL EXTERIOR DOORS IN MASONRY OPENINGS TO BE SET BACK A MINIMUM 3" FROM FACE OF BUILDING.



WINDOW SCHEDULE						
WINDOW	COUNT	WIDTH	HEIGHT	DESCRIPTION	LIGHT CONF.	COMMENTS
A	2	2' - 9 1/4"	7' - 7 3/16"	DOUBLE HUNG	2/2	
B	2	5' - 2 1/2"	5' - 3 1/2"	DOUBLE HUNG	2/2	
C	1	2' - 7 1/4"	5' - 3 1/2"	DOUBLE HUNG	2/2	
D	2	2' - 6"	2' - 11 1/8"	CASEMENT	2 LITE	

WINDOW NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROUGH OPENINGS.
- MANUFACTURER TO VERIFY ROUGH OPENING DIMENSIONS PRIOR TO WINDOW FABRICATION.
- ALL INTERIOR GLAZING TO BE TEMPERED.
- CONTRACTOR TO REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
- CONTRACTOR TO VERIFY EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS ARE MET PER IRC R310.1.
- ALL WINDOWS TO HAVE 7/8" MAX. MUNTINS, SIMULATING TRADITIONAL PUTTY GLAZE.
- ALL WINDOWS IN MASONRY OPENINGS TO BE SET BACK A MINIMUM 3" FROM FACE OF BUILDING.
- THE LOWER SASH RAILS SHALL BE WIDER THAN THE MEETING AND TOP RAILS. THERE SHALL BE A SPACER BAR BETWEEN DOUBLE PANES OF GLASS.
- MARVIN "ULTIMATE" BASIS OF DESIGN.



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HDBR DRAWINGS

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DOOR AND WINDOW
SCHEDULE

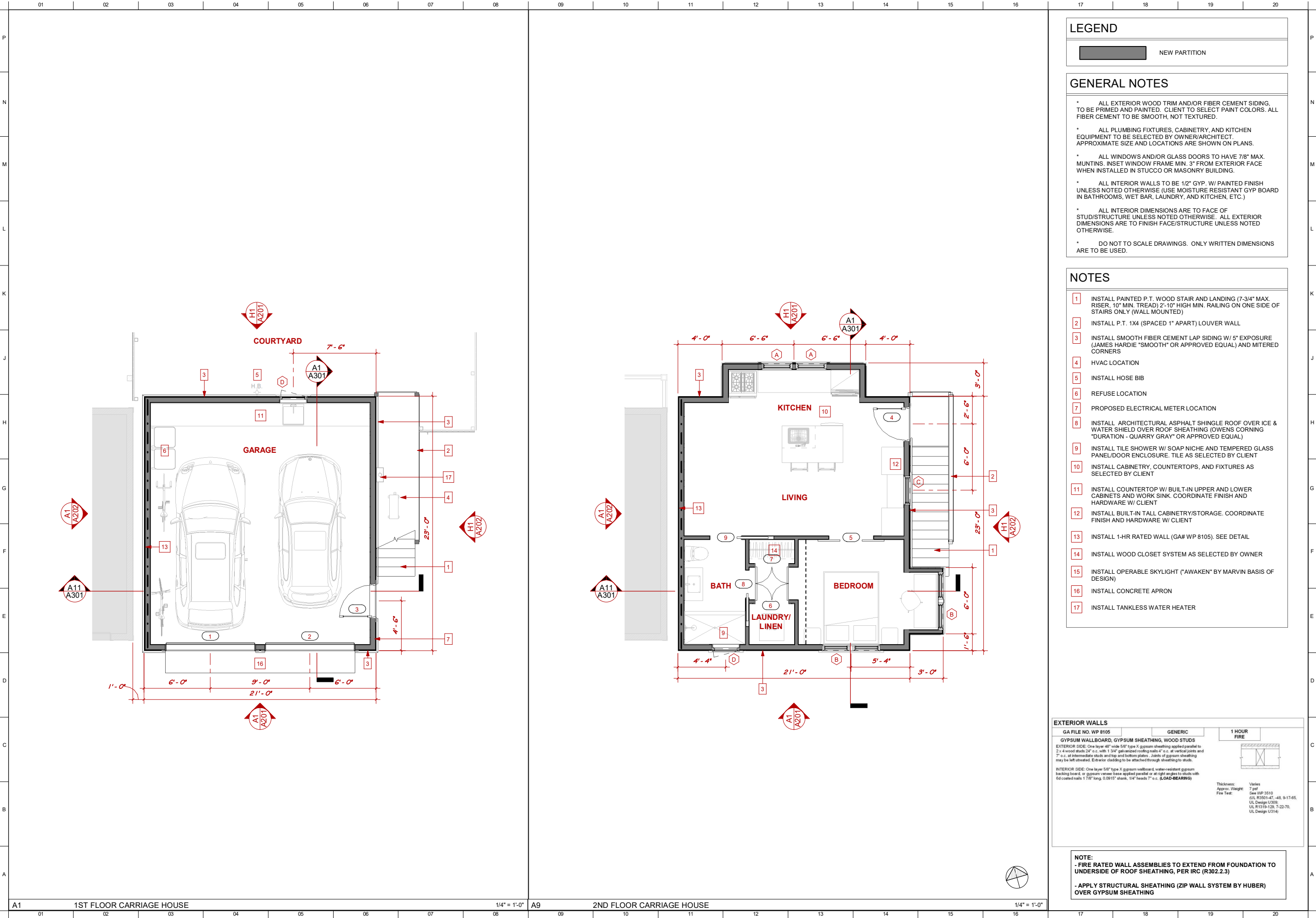
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FIRST AND SECOND FLOOR PLAN

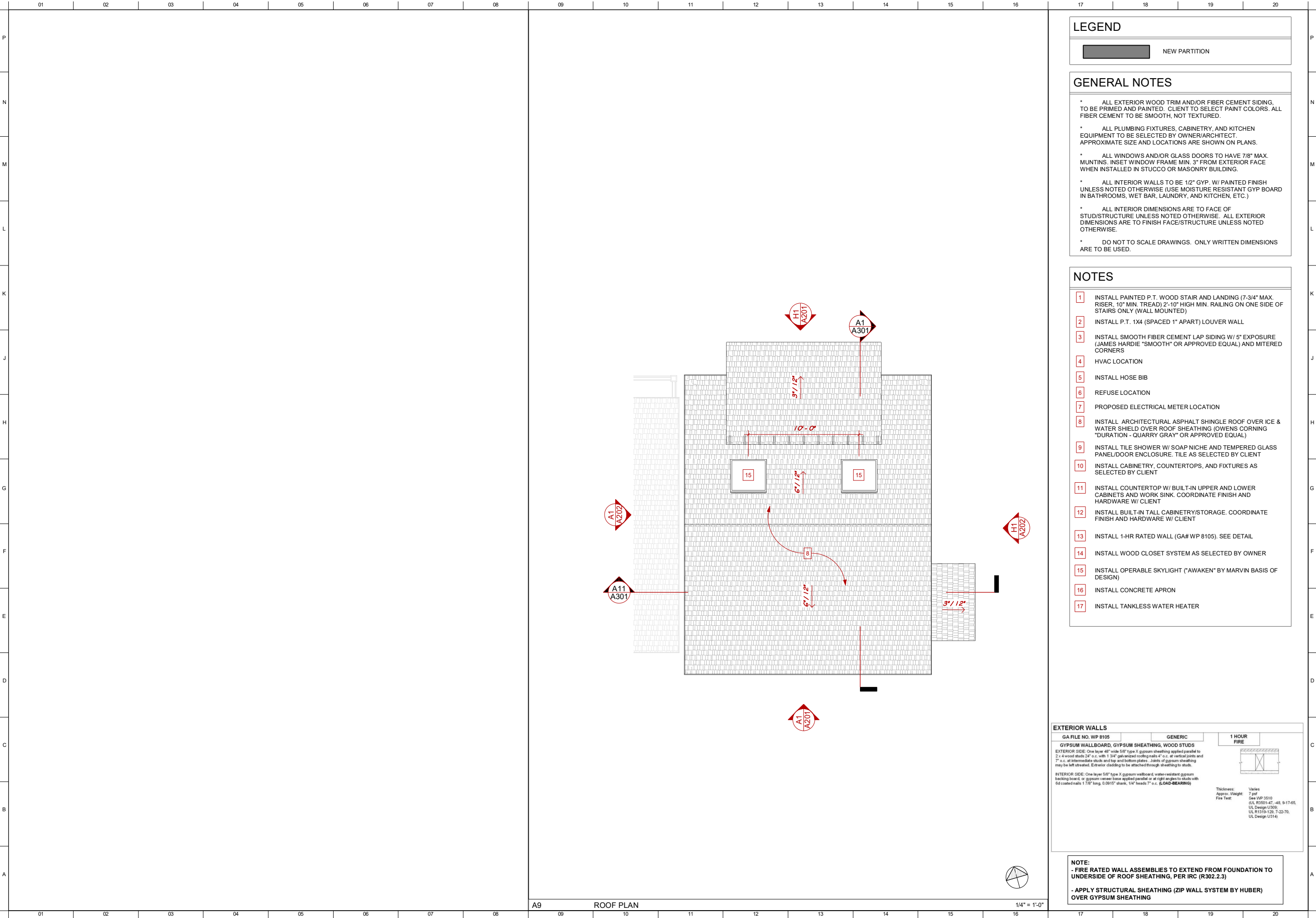
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LEGEND

NEW PARTITION

GENERAL NOTES

- * ALL EXTERIOR WOOD TRIM AND/OR FIBER CEMENT SIDING, TO BE PRIMED AND PAINTED. CLIENT TO SELECT PAINT COLORS. ALL FIBER CEMENT TO BE SMOOTH, NOT TEXTURED.
- * ALL PLUMBING FIXTURES, CABINETRY, AND KITCHEN EQUIPMENT TO BE SELECTED BY OWNER/ARCHITECT. APPROXIMATE SIZE AND LOCATIONS ARE SHOWN ON PLANS.
- * ALL WINDOWS AND/OR GLASS DOORS TO HAVE 7/8" MAX. MUNTINS. INSET WINDOW FRAME MIN. 3" FROM EXTERIOR FACE WHEN INSTALLED IN STUCCO OR MASONRY BUILDING.
- * ALL INTERIOR WALLS TO BE 1/2" GYP. W/ PAINTED FINISH UNLESS NOTED OTHERWISE (USE MOISTURE RESISTANT GYP BOARD IN BATHROOMS, WET BAR, LAUNDRY, AND KITCHEN, ETC.)
- * ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/STRUCTURE UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS NOTED OTHERWISE.
- * DO NOT TO SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

NOTES

- 1 INSTALL PAINTED P.T. WOOD STAIR AND LANDING (7-3/4" MAX. RISER, 10" MIN. TREAD) 2'-10" HIGH MIN. RAILING ON ONE SIDE OF STAIRS ONLY (WALL MOUNTED)
- 2 INSTALL P.T. 1X4 (SPACED 1" APART) LOUVER WALL
- 3 INSTALL SMOOTH FIBER CEMENT LAP SIDING W/ 5" EXPOSURE (JAMES HARDIE "SMOOTH" OR APPROVED EQUAL) AND MITERED CORNERS
- 4 HVAC LOCATION
- 5 INSTALL HOSE BIB
- 6 REFUSE LOCATION
- 7 PROPOSED ELECTRICAL METER LOCATION
- 8 INSTALL ARCHITECTURAL ASPHALT SHINGLE ROOF OVER ICE & WATER SHIELD OVER ROOF SHEATHING (OWENS CORNING "DURATION - QUARRY GRAY" OR APPROVED EQUAL)
- 9 INSTALL TILE SHOWER W/ SOAP NICHE AND TEMPERED GLASS PANEL/DOOR ENCLOSURE. TILE AS SELECTED BY CLIENT
- 10 INSTALL CABINETRY, COUNTERTOPS, AND FIXTURES AS SELECTED BY CLIENT
- 11 INSTALL COUNTERTOP W/ BUILT-IN UPPER AND LOWER CABINETS AND WORK SINK. COORDINATE FINISH AND HARDWARE W/ CLIENT
- 12 INSTALL BUILT-IN TALL CABINETRY/STORAGE. COORDINATE FINISH AND HARDWARE W/ CLIENT
- 13 INSTALL 1-HR RATED WALL (GA# WP 8105). SEE DETAIL
- 14 INSTALL WOOD CLOSET SYSTEM AS SELECTED BY OWNER
- 15 INSTALL OPERABLE SKYLIGHT ("AWAKEN" BY MARVIN BASIS OF DESIGN)
- 16 INSTALL CONCRETE APRON
- 17 INSTALL TANKLESS WATER HEATER

EXTERIOR WALLS

GA FILE NO. WP 8105

GENERIC

1 HOUR FIRE

GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS

EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1 3/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left chiseled. Exterior cladding to be attached through sheathing to studs.

INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails 1 7/8" long, 0.0915" shank, 1/4" heads 7" o.c. (LOAD-BEARING)

Thickness: 1/2"

Approx. Weight: 7 psf

Fire Test: See VSP 3510 (UL R5501-47, -48, 9-17-65, UL Design U209, UL R1319-139, 7-23-70, UL Design U314)

NOTE:

- FIRE RATED WALL ASSEMBLIES TO EXTEND FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING, PER IRC (R302.2.3)

- APPLY STRUCTURAL SHEATHING (ZIP WALL SYSTEM BY HUBER) OVER GYPSUM SHEATHING



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ROOF PLAN

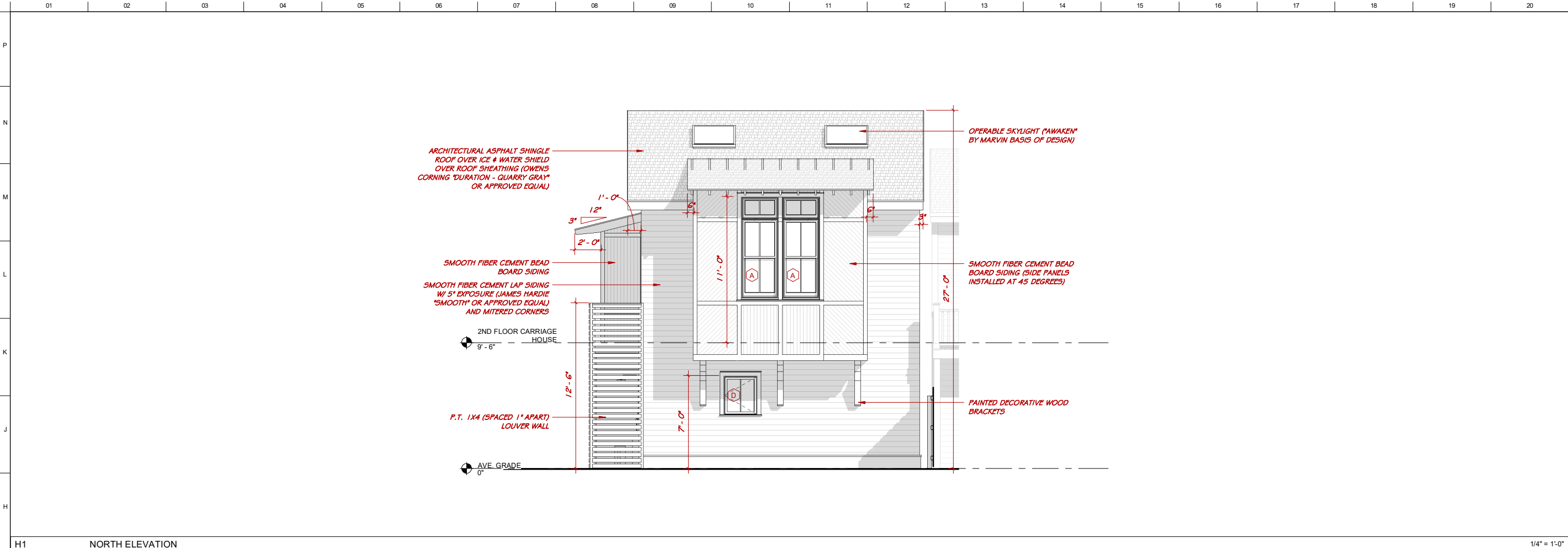
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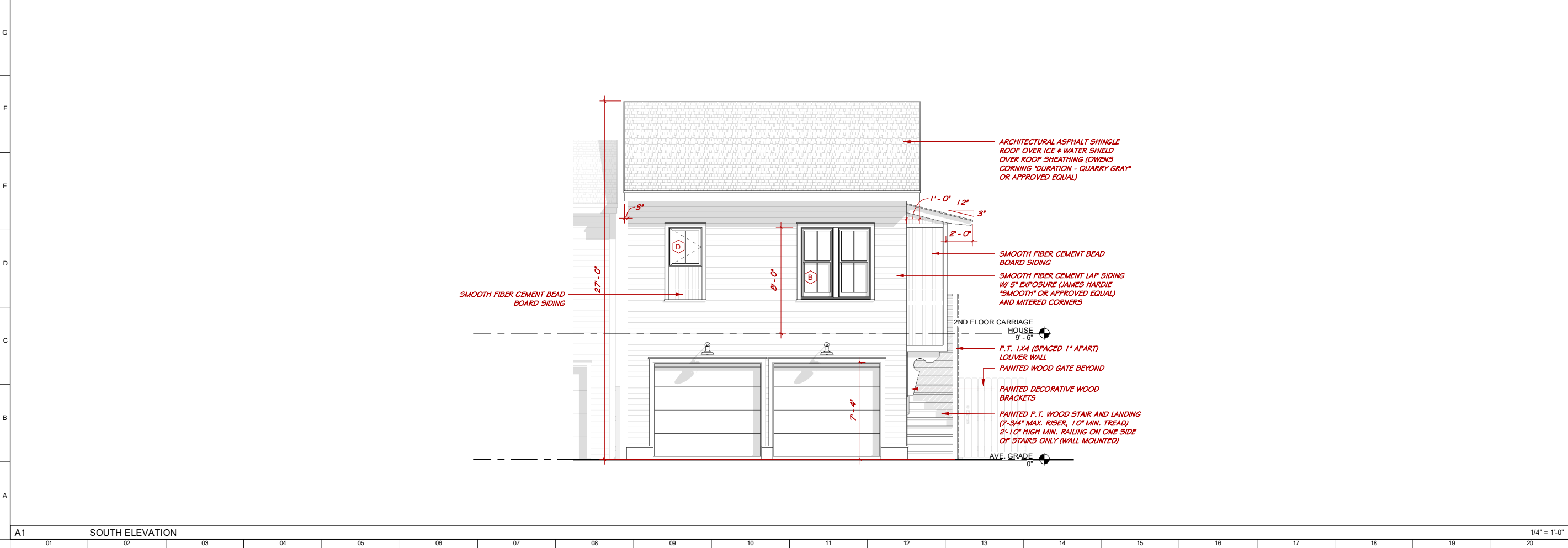
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A102

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H1 NORTH ELEVATION 1/4" = 1'-0"



A1 SOUTH ELEVATION 1/4" = 1'-0"



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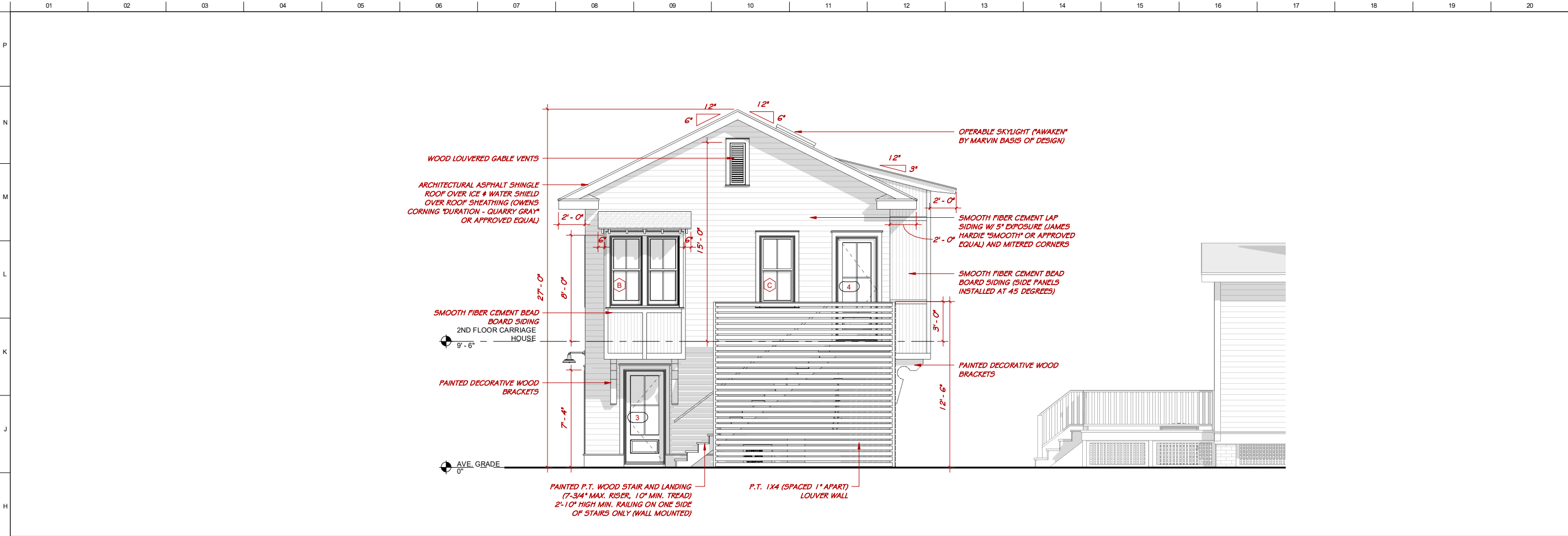
NORTH AND SOUTH ELEVATIONS

PROJECT NO. 2513.00

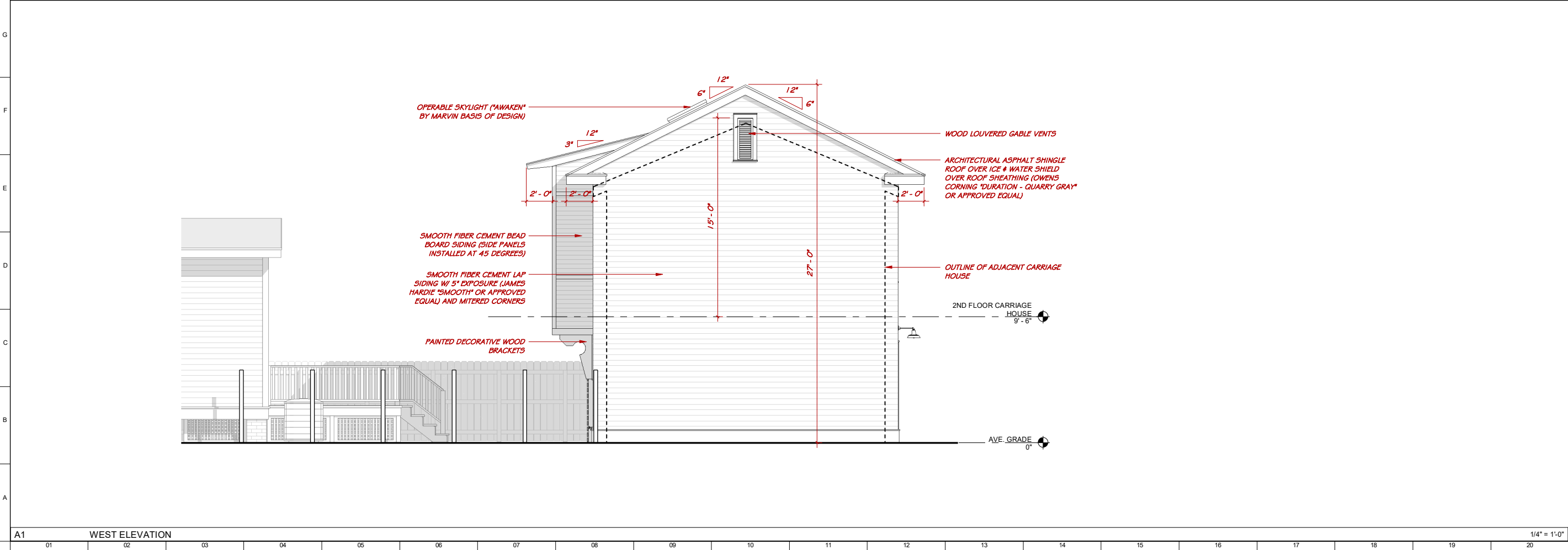
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SHEET NO.

A201



H1 EAST ELEVATION 1/4" = 1'-0"



A1 WEST ELEVATION 1/4" = 1'-0"

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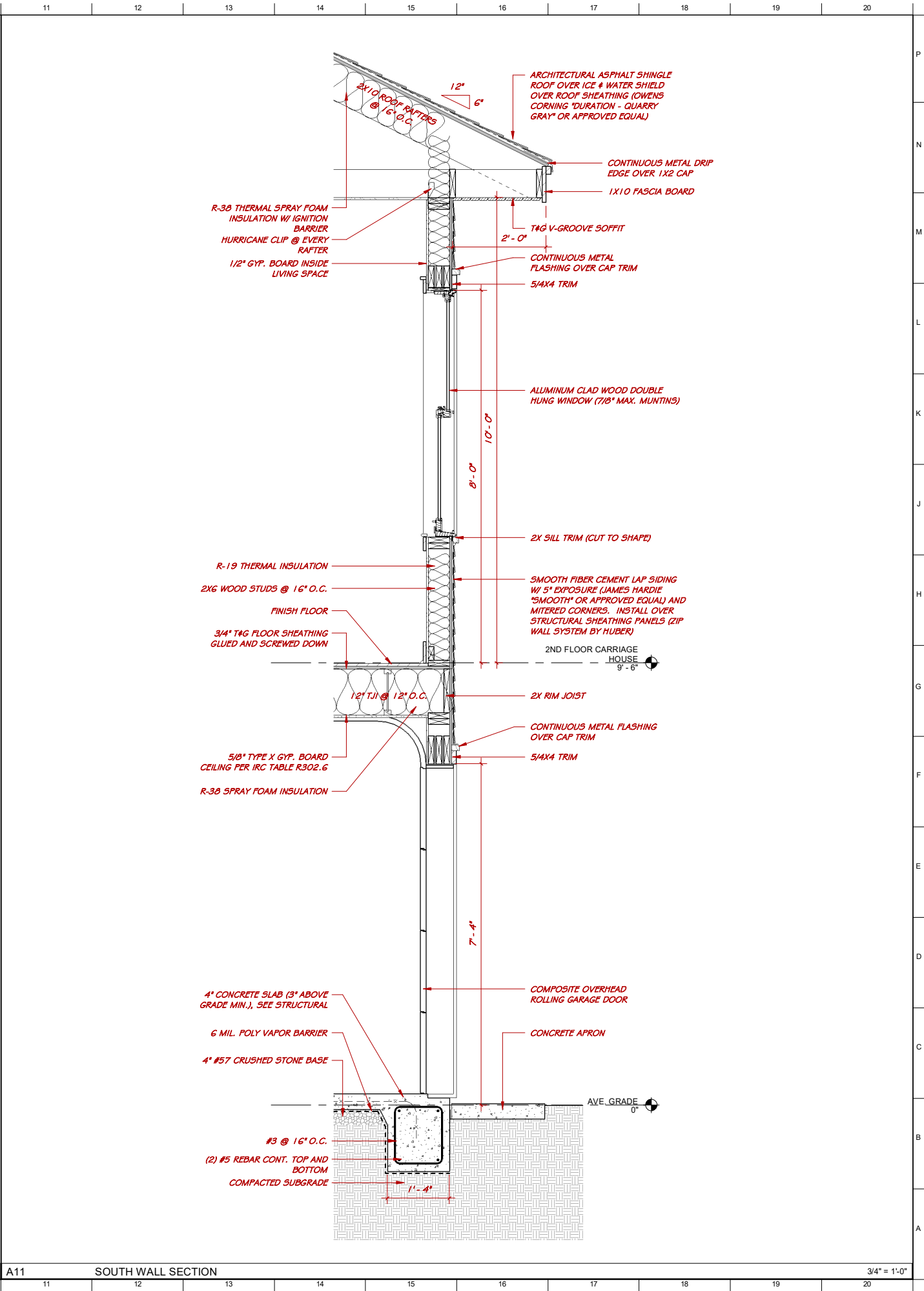
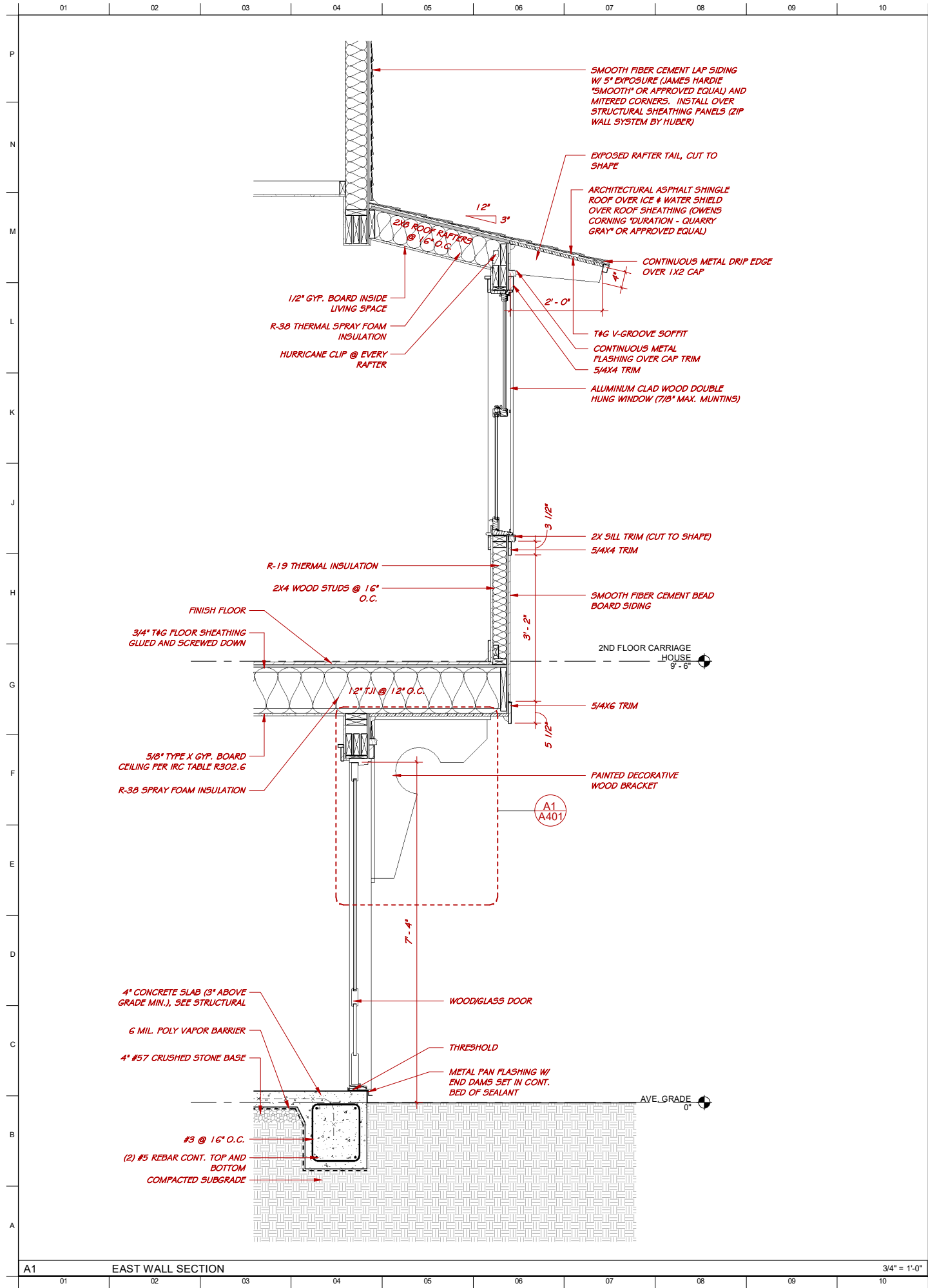
EAST AND WEST
ELEVATIONS

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A202



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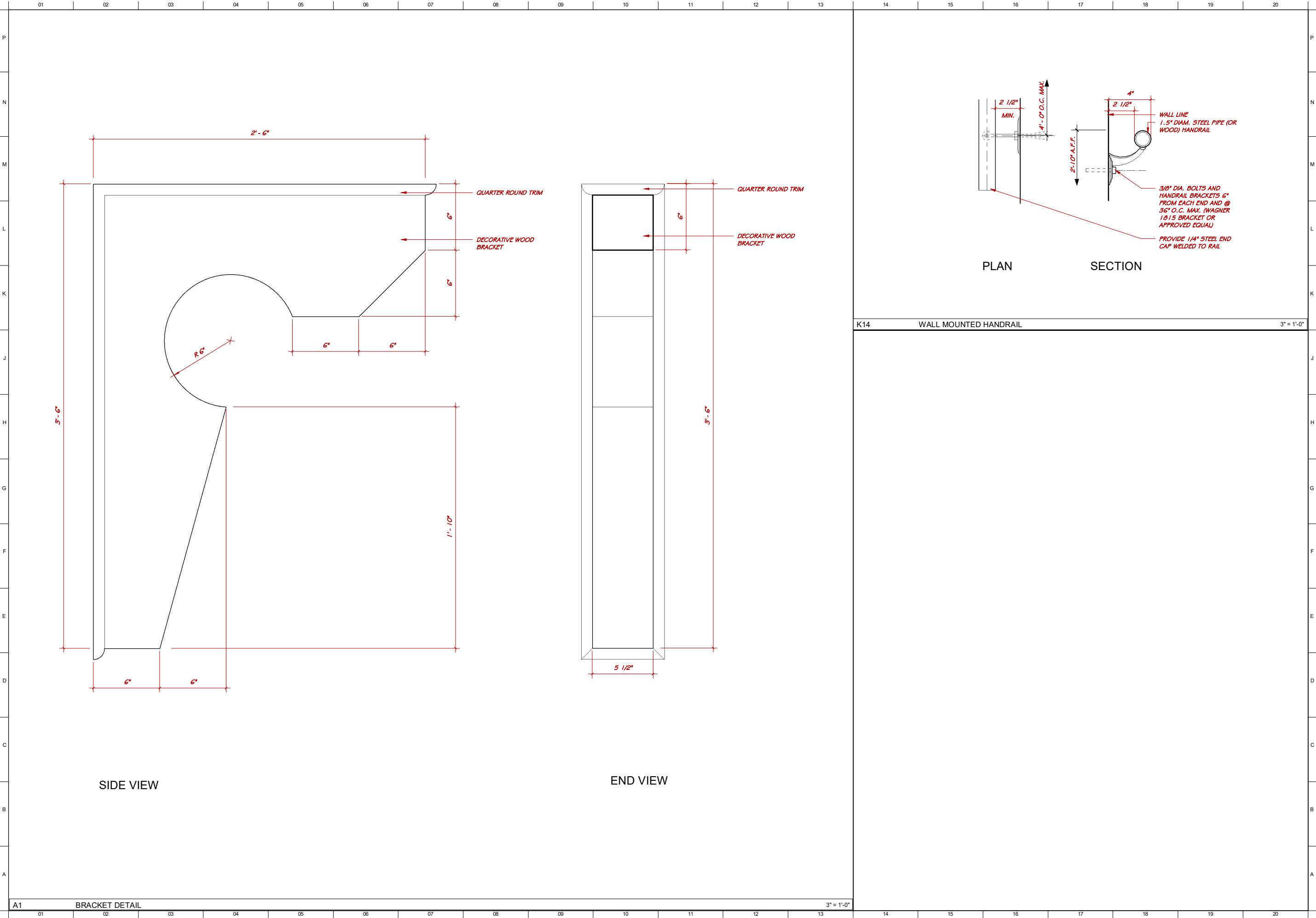
WALL SECTIONS

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DETAILS

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SOUTHWEST

SOUTHEAST

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DIGITAL MODEL

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A701



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DIGITAL MODEL

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A702

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COLOR RENDERING

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A703