

GENERAL NOTES

THESE DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE OWNER WHO WILL BE WORKING CLOSELY WITH A BUILDER AND ARE LIMITED IN SCOPE.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ALL PORTIONS OF THE DESIGN SPECIFICALLY NOT CALLED FOR IN THESE DRAWINGS AND FOR OBSERVATION AND ADMINISTRATION OF THE CONSTRUCTION CONTRACT.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ANY COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET ANY OF THE REQUIRED GOVERNMENT AGENCIES HAVING ANY JURISDICTION OVER ANY PORTION OF THIS PROJECT.

THE WORK OF ANY DESIGN PROFESSIONALS AND OR SUB CONTRACTORS WHICH ARE OR SHOULD BE INVOLVED IN THIS PROJECT SHALL FOLLOW GOOD CONSTRUCTION PRACTICES.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

THESE DRAWINGS REPRESENT FIELD MEASUREMENTS AND DO NOT FULLY REFLECT EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK OR ORDERING MATERIALS, NOTIFY DESIGN TEAM OF ANY DISCREPANCIES.

DRAWINGS INDICATE INTENDED AND INFERRED SCOPE OF WORK. CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGH PLUMBING, WIRING, CARPENTRY, ETC. INCLUDING MODIFICATION OF EXISTING CONDITIONS TO COMPLETE THE ENTIRE SCOPE OF WORK.

CONTRACTOR SHALL COMPLETE WORK IN ACCORDANCE WITH INDUSTRY AND MANUFACTURES WRITTEN REQUIREMENTS. FINISH WORK TO BE COMPLETED IN A PROFESSIONAL QUALITY MANNER.

DRAWINGS, SECTIONS AND DETAILS REPRESENT TYPICAL CONDITIONS. THE CONTRACTOR IS TO REVIEW WITH THE DESIGN TEAM OF NON TYPICAL CONDITIONS THAT REQUIRE A MODIFICATION TO THE DESIGN.

REFERENCES TO SPECIFIC MANUFACTURES PRODUCTS ON THE DRAWINGS ESTABLISH A STANDARD OF QUALITY. PRODUCTS THAT ARE APPROVED AS EQUAL BY THE DESIGN TEAM ARE ACCEPTABLE.

CONTRACTOR SHALL SUBMIT TO OWNER AND DESIGN TEAM SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL OF COLOR, STYLE, AND TEXTURE, PRIOR TO FABRICATION AND OR INSTALLATION.

CONTRACTOR SHALL REMOVE FROM SITE AND DISCARD ALL CONSTRUCTION DEBRIS AT APPROVED DISPOSAL SITE.

NO SMOKING IS TO BE ALLOWED ON THE CONSTRUCTION SITE AT ANY TIME.

CONTRACTOR SHALL LIMIT USE OF PREMISES TO THE WORK INDICATED OR INFERRED.

CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES TO PROTECT THE GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK.

INTERIOR FINISHES IN EXIT ACCESS AREAS TO BE CLASS A, CLASS B IN OTHERS. CONTRACTOR TO VERIFY ALL EXITS MEET CURRENT BUILDING AND SAFETY CODES.

INSULATION SHALL HAVE A SMOKE DEVELOPED RATING OF 450 MAX. CONCEALED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 75 MAX., AND EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 MAX.

CONTRACTOR RESPONSIBLE AND SHALL MAINTAIN EXISTING AND NEW STRUCTURES WATER TIGHT INTEGRITY TROUGH USE OF TARPS AND OR PERMANENT MODIFICATIONS DURING CONSTRUCTION.

CONTRACTOR TO PARK IN DESIGNATED AREAS ONLY.

DUMPSTER LOCATION TO BE DETERMINED BY PROJECT TEAM.

ALL CONSTRUCTION ACTIVITIES OR MOVEMENT TO OCCUR ON OR LIMITED TO OWNERS PROPERTY.

THESE DRAWINGS CAN NOT STAND ALONE AS CONSTRUCTION DOCUMENTS

DOOR OPENING ARE TO BE SET 6" AWAY FROM INTERSECTING WALLS UNLESS OTHERWISE SPECIFIED.

SEE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL CONNECTION TECHNIQUES. CALCULATIONS REQUIRED BY CODE CODE COMPLIANCE. INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION AND TIE DOWN REQUIREMENTS.

SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS. CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE DESIGN TEAMS BASIC LAYOUT AND SELECTIONS SUGGESTED.

SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE ADDITIONAL SITE PLANNING DRAINAGE AND OTHER RELATED SITE WORK REQUIREMENTS.

SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNERS REPRESENTATIVE.

BY APPLYING FOR A BUILDING PERMIT AND OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN THE OWNER AGREES TO LIMIT THE LIABILITY OF THE DESIGN TEAM TO THE OWNER OF THE PROJECT FOR ALL CLAIMS LOSSES DAMAGES OR ANY NATURE. WHATSOEVER OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE DESIGN TEAMS TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION THE CONTRACTOR MUST REQUEST IN WRITING THE CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE A COMPLETE AND ACCURATE REPRESENTATION OF SUCH CONDITIONS.

WHEN THE DESIGN TEAMS DRAWINGS ARE IN CONFLICT WITH THE ENGINEERING AND CONSULTANTS DRAWINGS THE GENERAL CONTRACTOR MUST REQUEST IN WRITING CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING WITH ANY CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

I.R.C. - 2018
BUILDING CODES ICC 600-2014

THE CONTRACT DOCUMENTS INDICATE THE INTENDED OCCUPANCY AND USE OF THE BUILDING AND SYSTEMS. THE PROJECT AS A WHOLE AND ITS ELEMENTS OF THE BUILDING AND SYSTEMS, THE PROJECT AS A WHOLE AND ITS ELEMENTS SHALL COMPLY WITH ALL REGULATIONS AS REQUIRED, INCLUDING ALL LOCAL, STATE, FEDERAL AND OTHER APPLICABLE CODES. (MORE RECENT OR STRINGENT EDITIONS OR AMENDMENTS SHALL HAVE PRECEDENCE). CONTRACTOR SHALL NOTIFY DESIGN TEAM OF NON COMPLIANT DESIGN OR QUESTIONS CONCERNING COMPLIANCE, PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

SOIL CONDITIONS

REFER TO GEO-TECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,000 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

PROJECT AREA

FIRST FLOOR LIVING AREA:	1,731.38 Square feet
SECOND FLOOR LIVING AREA:	1,586.05 Square feet
WINE CELLAR AREA:	291.55 Square feet
MECHANICAL FLOOR AREA:	824.88 Square feet
SIDE COVERED PORCH LOWER AREA:	227.60 Square feet
SIDE COVERED PORCH UPPER AREA:	227.60 Square feet
BACK COVERED PORCH AREA:	147.52 Square feet
GARAGE AREA:	576 Square feet

TOTAL COOLED LIVING AREA:	3,317.43 Square feet
TOTAL FRAMED AREA:	5,612.58 Square feet

(FOR REFERENCE ONLY)
AREAS SUBJECT TO CHANGE WITHOUT NOTICE
ALL CALCULATIONS ARE THE EXTERIOR OF FRAMING

SITE AREA:

SITE AREA: (PER SURVEY)	0.14 Acres 6,250 square feet
BUILDING FOOT PRINT:	2,693.22 square feet
LOT COVERAGE:	43%
DRIVEWAY AREA:	TBD Square feet

DRAWING SYMBOLS

DESIGNATES – C.M.U. WALL	
DESIGNATES – BRICK	
DESIGNATES – 2x4 @ 16" O.C. STUD WALL	2 x 4
DESIGNATES – 2x6 @ 16" O.C. STUD WALL	2 x 6
DESIGNATES – 2x8 @ 16" O.C. STUD WALL	2 x 8
DESIGNATES – UNFINISHED CONCRETE	

DETAIL DESIGNATION – WITH VIEW DIRECTION	
WINDOW DESIGNATION	
DOOR DESIGNATION	
POINT ELEVATION	
ELEVATION CHANGE	
INTERIOR DETAIL VIEW DIRECTION	
DETAIL DESIGNATION	

ABBREVIATIONS

CONCRETE MASONRY UNIT	C.M.U.
¢	¢
CASED OPENING	CO
DOWN	DN.
UP	UP
DESIGN PRESSURE	D.P.
EQUAL	EQ.
WELDED WIRE MESH	W.W.M.
ON CENTER	O.C.

FINISH SYMBOLS

CULTURED MARBLE	
GRANITE	
MARBLE	
LAMINATED TOP	
TILE	
GLASS	
SOLID SURFACE	
CAST IRON	
FIBERGLASS	
STONE	
DRYWALL	

VERIFY ALL FINISH TYPES WITH INTERIOR SELECTION SHEETS

(FOR REFERENCE ONLY)

SEE THE MATERIAL SELECTION SHEET AND ALL INTERIOR DESIGN DRAWINGS FOR OVERALL FINISH NOTES UNLESS OTHERWISE NOTED

ALL SQUARE AND LINEAR FOOTAGE'S ARE FOR PRICING PURPOSES ONLY AND ARE SUBJECT TO CHANGE. VERIFY ALL CALCULATIONS WITH SPECIFICATIONS PRIOR TO USE.

ZONING: CITY OF SAVANNAH
D-R DOWNTOWN – RESIDENTIAL

BUILDING SET BACKS	
FRONT:	0 feet
SIDE – LEFT:	0 feet
SIDE – RIGHT:	0 feet
BACK:	0 feet
HEIGHT MAXIMUM:	PER HEIGHT MAP
MAXIMUM ALLOWED BUILDING LOT COVERAGE	75%
6,250 square feet X 0.75 =	4,687.50 square feet



FRONT EXTERIOR ELEVATION - REDUCED

SCALE: N.T.S
C - 100 - 2

VERMILLION

SINGLE FAMILY RESIDENCE - NEW
512 EAST HUNTINGDON STREET
DOWNTOWN HISTORIC DISTRICT - RES
SAVANNAH - GEORGIA
CITY OF SAVANNAH

DESIGN TEAM

OWNER

VERMILLION

DESIGN TEAM

SAWYER DESIGN STUDIO, L.L.C.,
108 EAST STREET – SUITE 321 – SAVANNAH – GEORGIA
912--704--1955
jeonard@sawyerdd.com

GENERAL CONTRACTOR

JAK HOMES
912--313--9317
anthony.koncul@gmail.com

STRUCTURAL ENGINEER

SURVEYOR

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018
X

FLOOD ZONE PER SURVEY

DRAWING INDEX

1	C – 100	COVER
2	L – 100	SITE PLAN – SURVEY
3	L – 100	SITE PLAN – DETAILS
4	A – 100	FIRST FLOOR PLAN
5	A – 101	SECOND FLOOR PLAN
6	A – 102	WINE CELLAR FLOOR PLAN
7	A – 103	GARAGE FLOOR PLAN
8	A – 104	WINDOW AND DOOR NOTES
9	A – 200	EXTERIOR ELEVATIONS
10	A – 201	EXTERIOR ELEVATIONS
11	A – 202	EXTERIOR ELEVATIONS
12	A – 300	BUILDING SECTION – ROOF PLAN
13	A – 301	BUILDING SECTION
14	A – 302	BUILDING
15	A – 400	WALL DETAILS
16	A – 400	WALL DETAILS
17	A – 400	WALL DETAILS
18	S – 100	FOUNDATION PLAN – FRAMING PLANS
19	S – 101	STRUCTURAL NOTES
20	E – 100	FIRST ELECTRICAL PLANS
21	E – 101	SECOND ELECTRICAL PLANS
22	E – 102	WINE CELLAR ELECTRICAL PLANS

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018
X

FLOOD ZONE PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

VERMILLION

SINGLE FAMILY RESIDENCE – NEW

512 EAST HUNTINGDON STREET
DOWNTOWN HISTORIC DISTRICT – RESIDENTIAL
SAVANNAH – GEORGIA
CITY OF SAVANNAH

STRUCTURAL ENGINEER SEAL

MARKED ITEMS ONLY	
	BUILDER LEVEL DESIGN DRAWINGS – STANDARD
	STRUCTURAL ENGINEERING – UP–LIFT CONSULTATION
	STRUCTURAL ENGINEERING – FRAMING PACKAGE
	ME&P ENGINEERING
	CIVIL ENGINEERING – CERTIFIED DRAINAGE

	INTERIOR DESIGN – SELECTIONS
	CABINETRY DESIGN
	LANDSCAPE DESIGN
	POOL – SPA DESIGN

PROJECT DATES	12.16.2025
	PROJECT INITIATION 02.01.2025
	30% DESIGN REVIEW 03.10.2025
	60% DESIGN REVIEW 04.11.2025
	DESIGN REVIEW 05.05.2025
	C.O.A. REVIEW – PART ONE 11.02.2025
	C.O.A. REVIEW – PART TWO 12.16.2025

COVER 24 x 36

C.O.A. REVIEW

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VERMILLION

SINGLE FAMILY RESIDENCE – NEW

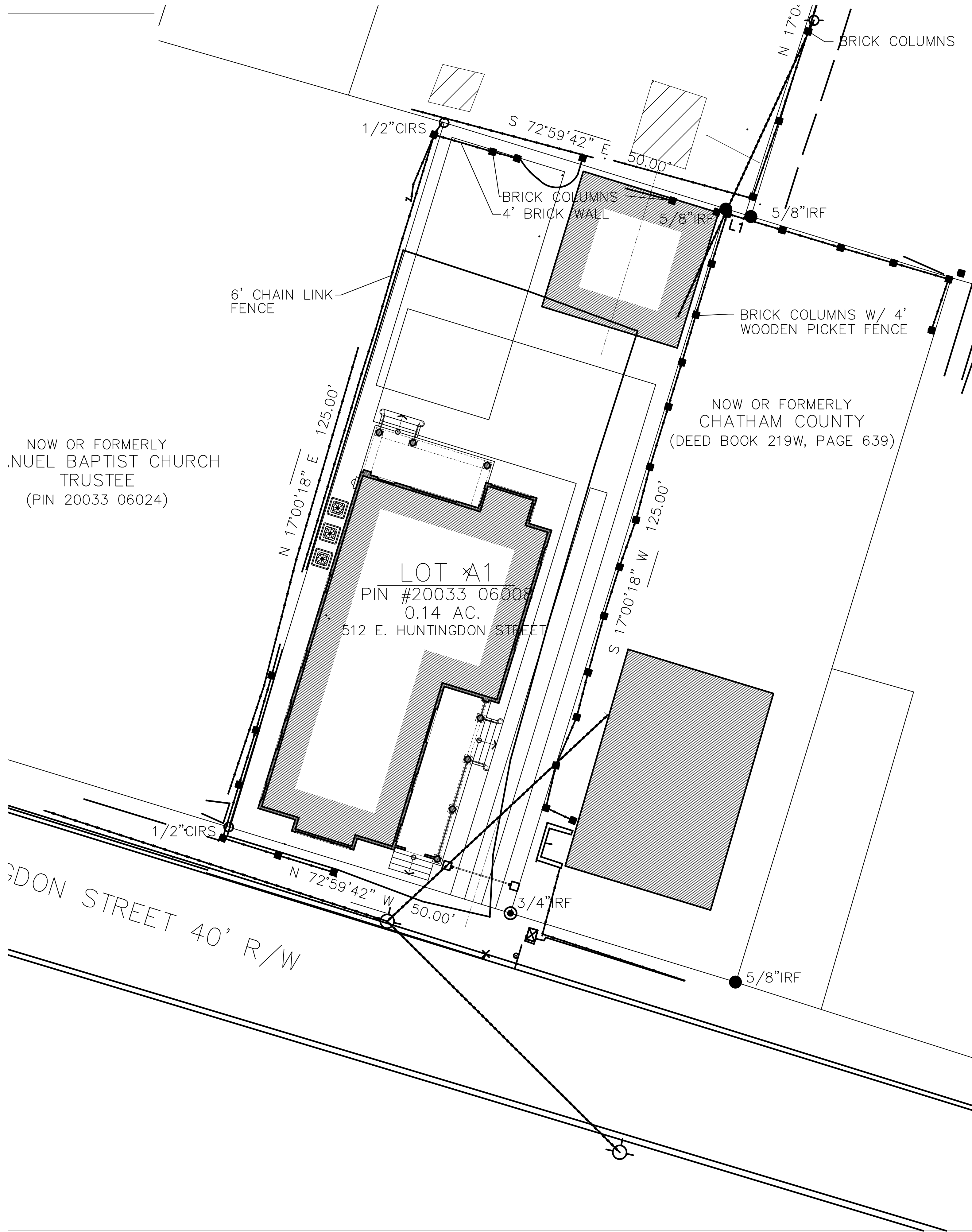
512 EAST HUNTINGDON STREET
DOWNTOWN HISTORIC DISTRICT – RESIDENTIAL
SAVANNAH – GEORGIA
CITY OF SAVANNAH

25 - 019
12.16.2025

REV

C - 100

01 - 22 SINGLE USE ONLY



DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

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DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018

FLOOD ZONE PER SURVEY

X

PROJECT AREA

FIRST FLOOR LIVING AREA:	1,731.38 Square feet
SECOND FLOOR LIVING AREA:	1,586.05 Square feet
SIDE COVERED PORCH AREA - UPPER:	227.60 Square feet
SIDE COVERED PORCH AREA - LOWER:	227.60 Square feet
BACK COVERED AREA:	147.52 Square feet
GARAGE AREA:	576.00 Square feet

TOTAL COOLED LIVING AREA: 3,317.43 Square feet

TOTAL FRAMED AREA: 4,496.15 Square feet

SITE AREA:

SITE AREA: (PER SURVEY)	0.14 ACRES 6,250 square feet
HOUSE FOOT PRINT:	2,117.22 square feet
GARAGE FOOT PRINT:	576.00 Square feet
TOTAL FOOT PRINT:	2,693.22 Square feet

LOT COVERAGE: 43%

ZONING: CITY OF SAVANNAH
D-R DOWNTOWN - RESIDENTIAL

BUILDING SET BACKS	
FRONT:	0 feet
SIDE - LEFT:	0 feet
SIDE - RIGHT:	0 feet
BACK:	0 feet
HEIGHT MAXIMUM:	PER HEIGHT MAP

MAXIMUM ALLOWED BUILDING LOT COVERAGE	75%
6,250 square feet X 0.75 =	4,687.50 square feet

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

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STRUCTURAL INFORMATION

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EXPOSURE CATEGORY "B"

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FLOOD ZONE PER SURVEY

X

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VERMILLION

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CITY OF SAVANNAH

STRUCTURAL ENGINEER SEAL

SITE PLAN - SURVEY

24 x 36

C.O.A. REVIEW

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VERMILLION

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SAVANNAH - GEORGIA
CITY OF SAVANNAH

25 - 019
12.16.2025

REV

L - 100

02 - 22 SINGLE USE ONLY

0 5' 10' 20' 40'

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FLOOD ZONE PER SURVEY

X

FINISHED FIRST FLOOR

THE FINISHED FIRST FLOOR IS TO ALIGN WITH AVERAGE FINISHED FIRST FLOOR HEIGHTS OF THE RESIDENTIAL STRUCTURES TO THE LEFT AND THE RIGHT.

GENERAL PROJECT NOTES

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SINGLE FAMILY RESIDENCE - NEW

512 EAST HUNTINGDON STREET
DOWNTOWN HISTORIC DISTRICT - RESIDENTIAL
SAVANNAH - GEORGIA
CITY OF SAVANNAH

STRUCTURAL ENGINEER SEAL

SITE PLAN - DETAILS

24 x 36

C.O.A. REVIEW

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25 - 019
12.10.2025

REV

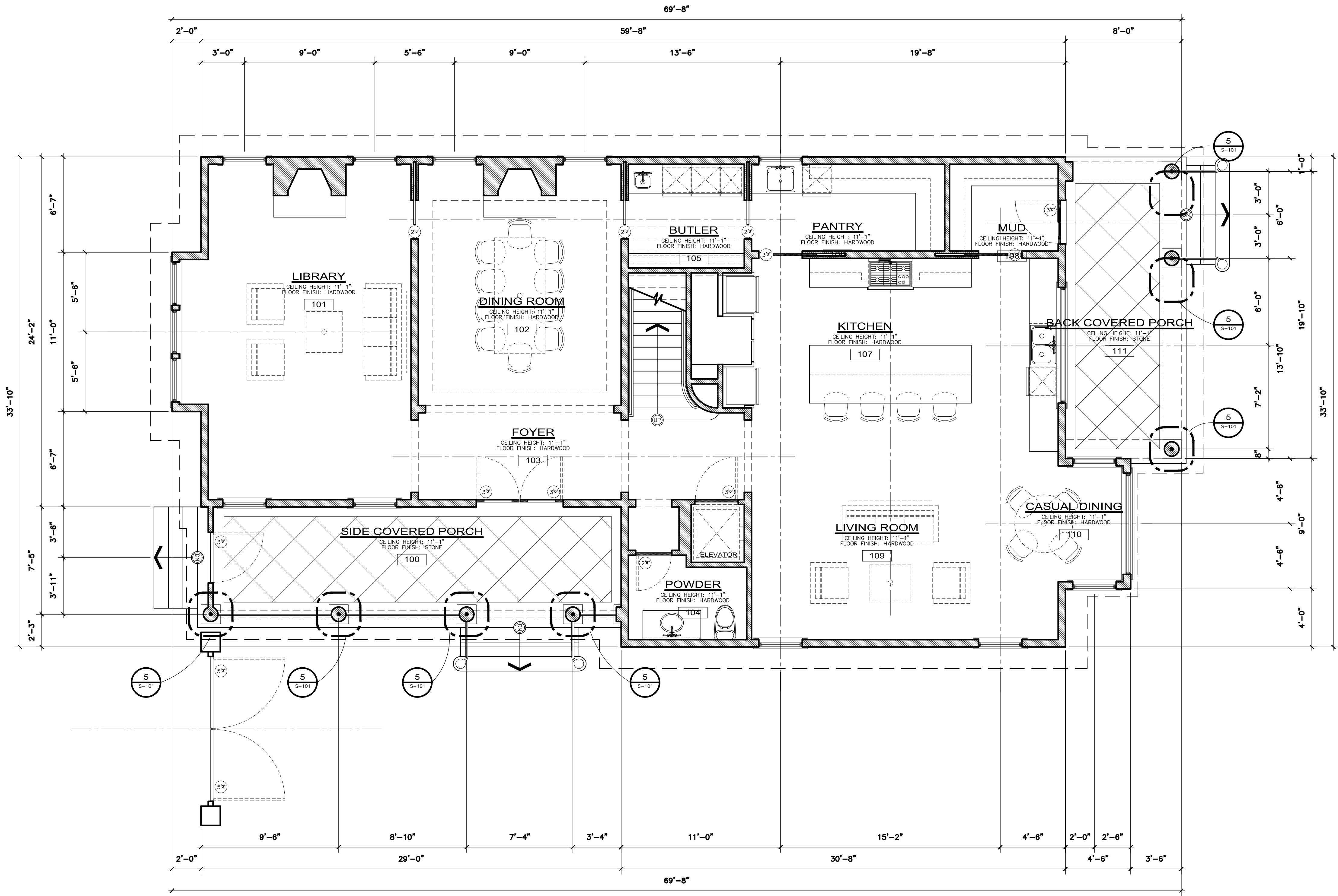
L - 101

03 - 22 SINGLE USE ONLY

SITE PLAN - LOCATION - DETAILS

SCALE: 3/16" = 1'-0"

L - 101 - 1



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EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018

FLOOD ZONE PER SURVEY

X

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE TO THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT.

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT.

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS.

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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018

FLOOD ZONE PER SURVEY

X

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

VERMILLION

SINGLE FAMILY RESIDENCE - NEW

512 EAST HUNTINGDON STREET
DOWNTOWN HISTORIC DISTRICT - RESIDENTIAL
SAVANNAH - GEORGIA
CITY OF SAVANNAH

STRUCTURAL ENGINEER SEAL

FLOOR PLAN

24 x 36

C.O.A. REVIEW

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CITY OF SAVANNAH

25 - 019
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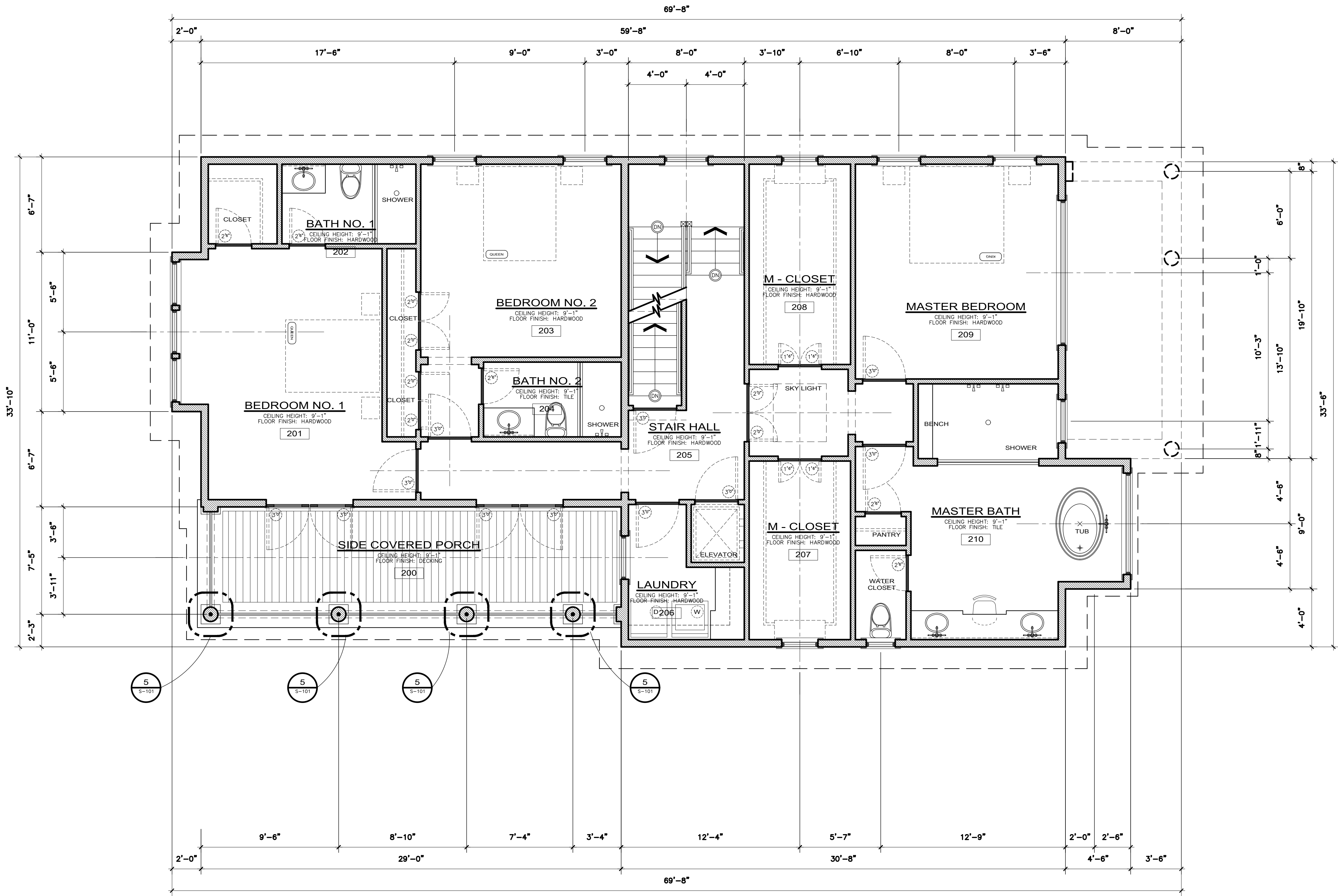
REV

A - 100

04 - 22 SINGLE USE ONLY

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
A - 100 - 1

0 1' 4' 8' 16'



DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018

FLOOD ZONE PER SURVEY

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GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018

FLOOD ZONE PER SURVEY

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VERMILLION

SINGLE FAMILY RESIDENCE - NEW

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SAVANNAH - GEORGIA
CITY OF SAVANNAH

STRUCTURAL ENGINEER SEAL

SECOND FLOOR PLAN

24 x 36

C.O.A. REVIEW

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VERMILLION

SINGLE FAMILY RESIDENCE - NEW

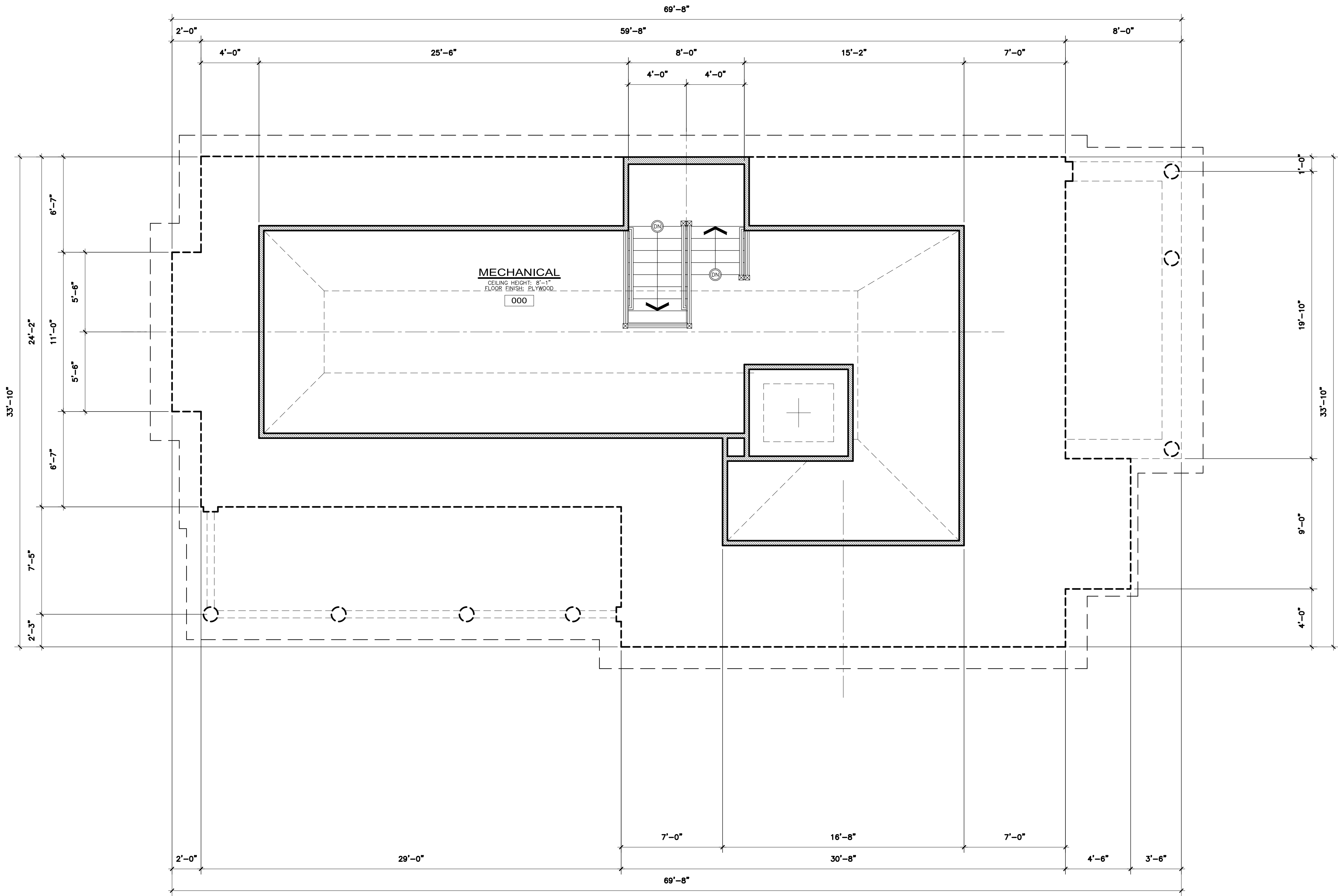
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12.10.2025

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A - 101

05 - 22 SINGLE USE ONLY



DRAWING NOTES

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STRUCTURAL INFORMATION
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DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018

FLOOD ZONE PER SURVEY

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STRUCTURAL ENGINEER SEAL

SECOND FLOOR PLAN

24 x 36

C.O.A. REVIEW



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A - 102

06 - 22 SINGLE USE ONLY

MECHANICAL FLOOR PLAN

SCALE: 1/4" = 1'-0"

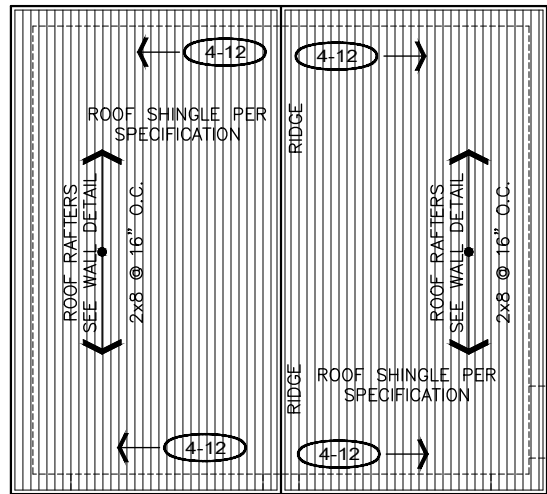
A - 102 - 2

0 1' 4' 8' 16'

ROOF PITCH
4 - 12
SEE NOTES FOR CLARIFICATION

ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET A.S.T.M. 3161D CLASS F PER I.R.C. SECTION 905.2.4.1



DRAWING NOTES

ROOF PLAN - DETAILS

HIP OVERHANGS
ALL ROOF OVERHANGS AT HIPs ARE TO BE 1'-6" UNLESS OTHERWISE NOTED

GABLE OVERHANGS
ALL ROOF OVERHANGS AT GABLE ENDS ARE TO BE 1'-0" UNLESS OTHERWISE NOTED

ROOF PITCH
ALL GABLE END MODIFIED HIPs TO BE 4-12 PITCH UNLESS OTHERWISE NOTED

STRAPPING
ALL ROOF RAFTERS WILL BE 2x8 @16" O.C. WITH A 10'-0" MAXIMUM SPAN WITHOUT BRACING UNLESS OTHERWISE SPECIFIED

RAFTERS
SIMPSON TYPE HURRICANE STRAP AT EACH ROOF RAFTER SEE STRUCTURAL NOTES

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"

SHEATHING
PLYWOOD SHEATHING TO BE CONTINUOUS TO TOP PLATES

PRELIMINARY WATER PROOFING
ALL VALLEYS CRICKETS CHIMNEY TRANSITIONS FRAMED PROTRUSIONS AND EXPOSED DECK EXTENSIONS SHALL BE COVERED WITH GRACE ICE AND WATER SHIELD AND OR EQUAL VERIFY WITH SITE SUPERINTENDENTS FOR LOCATIONS AND SIZE REQUIREMENTS

STRUCTURAL HARDWARE
THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS
ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (01-85) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

DRAWING NOTES

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STRUCTURAL INFORMATION
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X

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VERMILLION

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CITY OF SAVANNAH

STRUCTURAL ENGINEER SEAL

ROOF PLAN
SCALE: 1/8" = 1'-0"
A - 102 - 7

0 1' 8' 16' 32'

MANUFACTURE

ALL WINDOWS AND DOORS ARE SHOW TO TYPICAL SIZES THE GENERAL CONTRACTOR IS TO VERIFY ALL FINAL WINDOW AND DOOR SIZES WITH THE SELECTED WINDOW AND DOOR MANUFACTURE PRIOR TO ORDER AND OR INSTALLATION

EGRESS

THE GENERAL CONTRACTOR IS TO VERIFY ANY AND ALL EGRESS WINDOW LOCATIONS AND FINAL SIZED REQUIREMENTS BASED OFF THE FINAL WINDOW MANUFACTURE SELECTION

ALIGNMENT

ALL WINDOWS WITH TRANSOMS ARE TO ALIGN WITH THE PRIMARY WINDOW HEAD HEIGHT

ALL FINAL TRANSOM WINDOW HEIGHTS ARE NOTED AND ARE NOT TO EXCEED AS TO ALLOW FOR THE INTERIOR TRIM INSTALLATION

SHOP DRAWINGS

ALL WINDOWS AND DOORS ARE TO HAVE SHOP DRAWINGS SIGNED OFF BY THE OWNERS - DESIGN TEAM - GENERAL CONTRACTOR

LOCATION

ALL WINDOW AND DOOR DIMENSIONS HEIGHTS AND LOCATIONS ARE SHOWN FOR REFERENCE ONLY

GENERAL CONTRACTOR IS TO VERIFY ALL FINAL LOCATIONS WITH ELEVATIONS - FLOOR PLANS AND FINAL WINDOW ORDER

DOOR SWING

VERIFY ALL DOOR SWINGS WITH FLOOR PLANS AND ALL LOCAL BUILDING CODES

NOTES

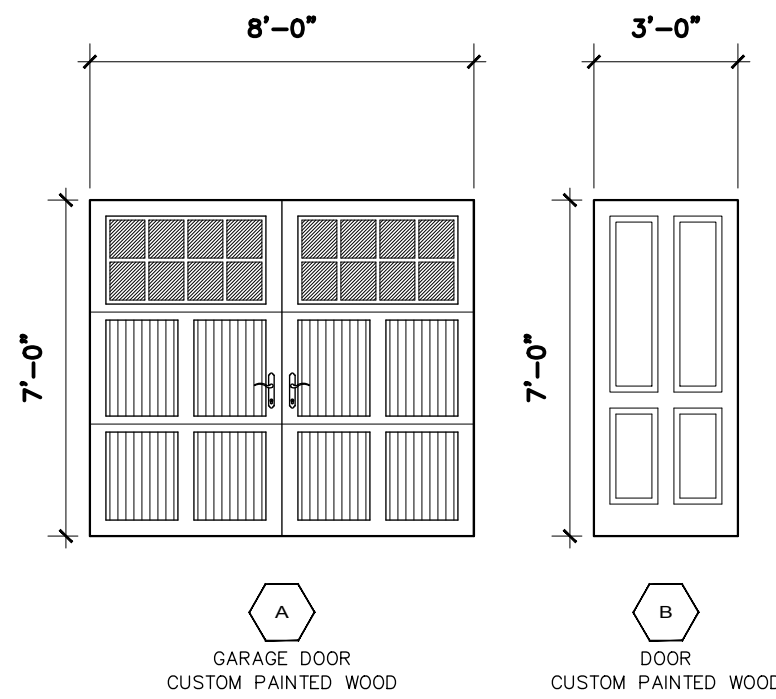
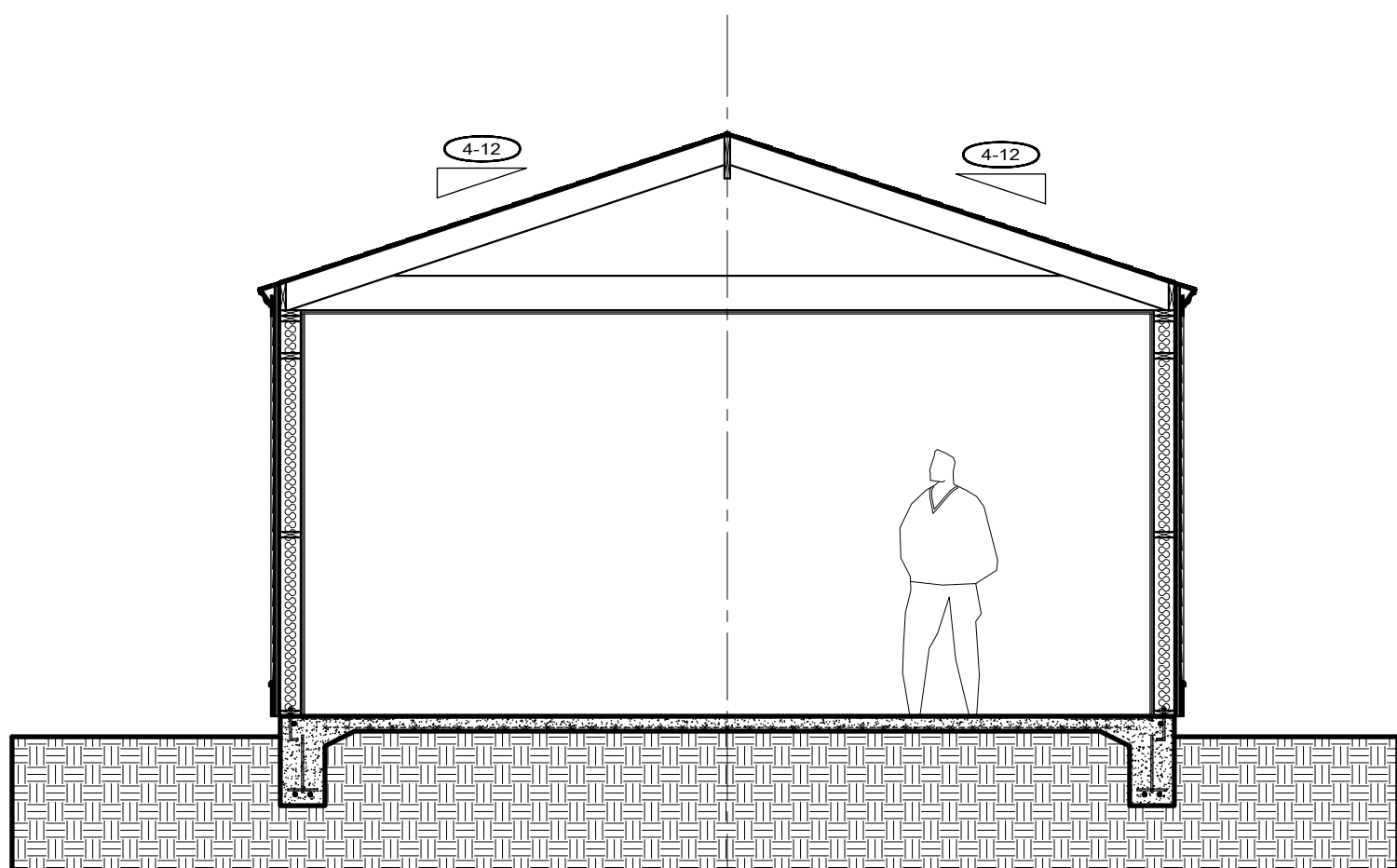
ALL WINDOW AND DOORS AS NOTED ARE SHOWING MAXIMUM PERIMETER SIZES

ALL WINDOWS AND DOOR SIZES AND EGRESS REQUIREMENTS TO BE VERIFIED BY THE BUILD TEAM

FINAL DOOR AND WINDOW ORDER TO BE VERIFIED BY BUILD TEAM AND THE DESIGN TEAM PRIOR TO ORDER

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS
AND SIZES PRIOR TO
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION



BUILDING SECTION
SCALE: 1/4" = 1'-0"
A - 102 - 6

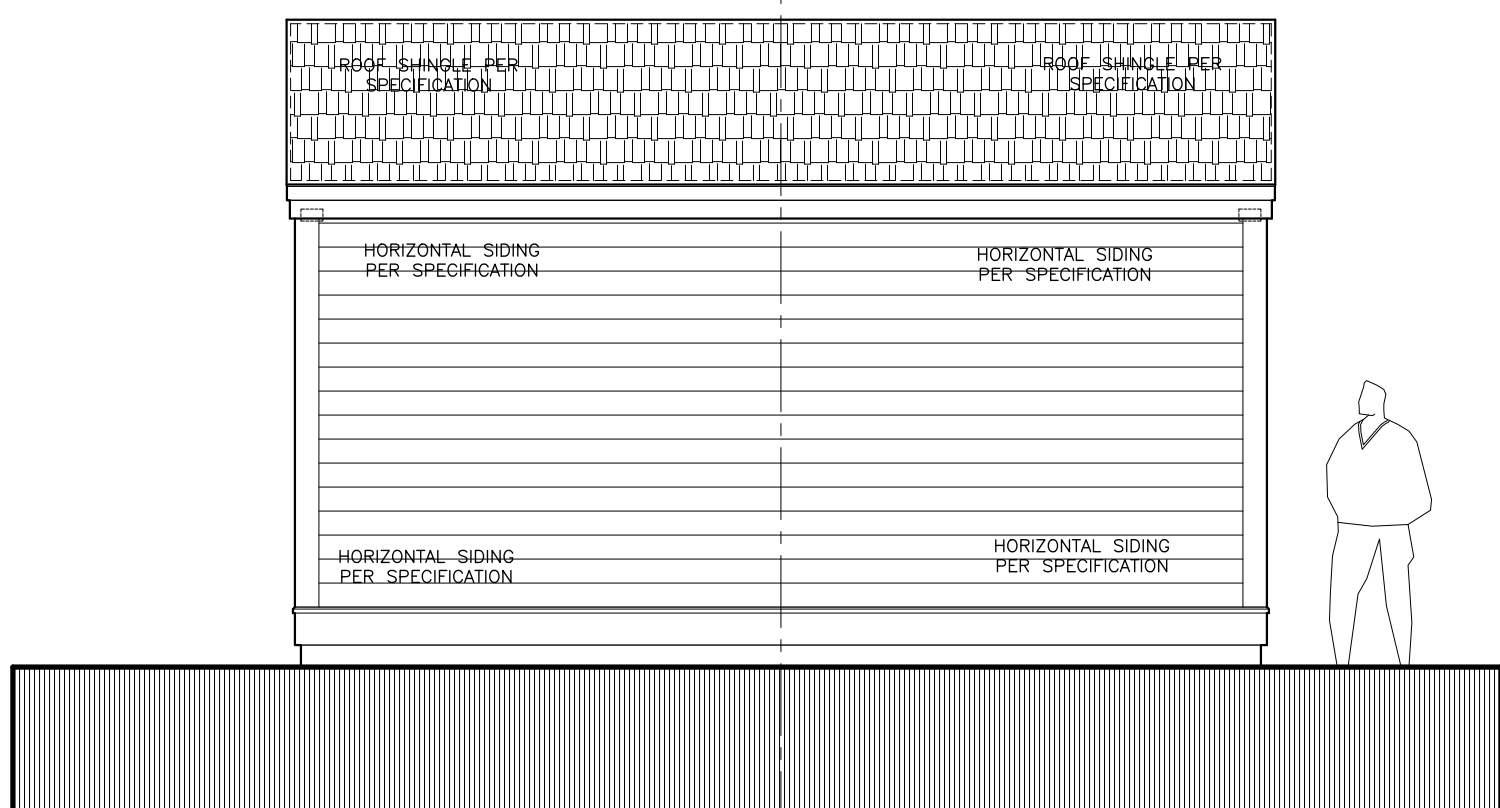
0 1' 4' 8' 16'

WINDOW AND DOOR NOTES
SCALE: 1/4" = 1'-0"
A - 102 - 5

0 1' 4' 8' 16'

GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"
A - 102 - 4

0 1' 4' 8' 16'



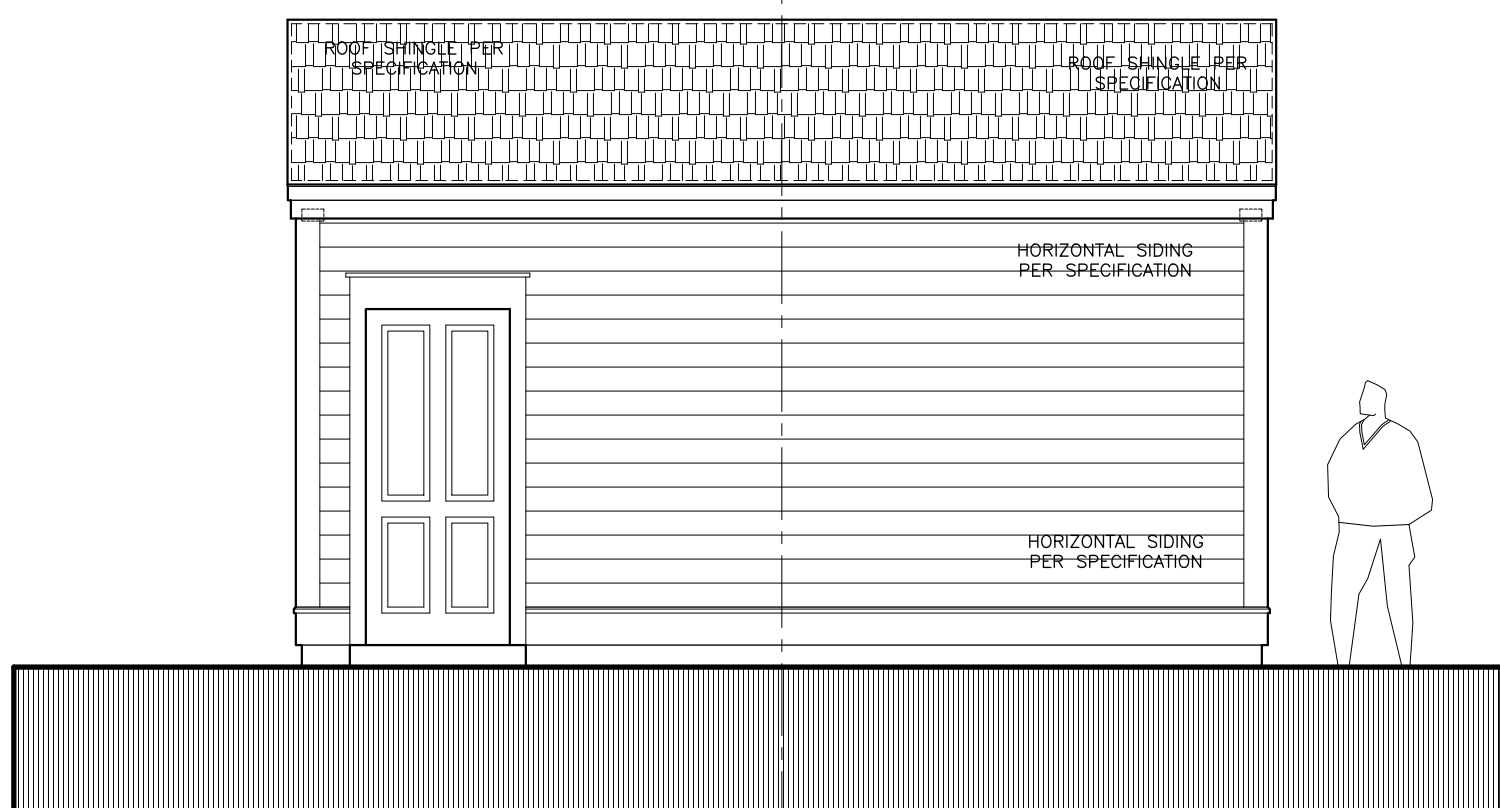
EXTERIOR ELEVATION - RIGHT
SCALE: 1/4" = 1'-0"
A - 102 - 3

0 1' 4' 8' 16'



EXTERIOR ELEVATION - FRONT
SCALE: 1/4" = 1'-0"
A - 102 - 2

0 1' 4' 8' 16'



EXTERIOR ELEVATION - LEFT
SCALE: 1/4" = 1'-0"
A - 102 - 1

0 1' 4' 8' 16'

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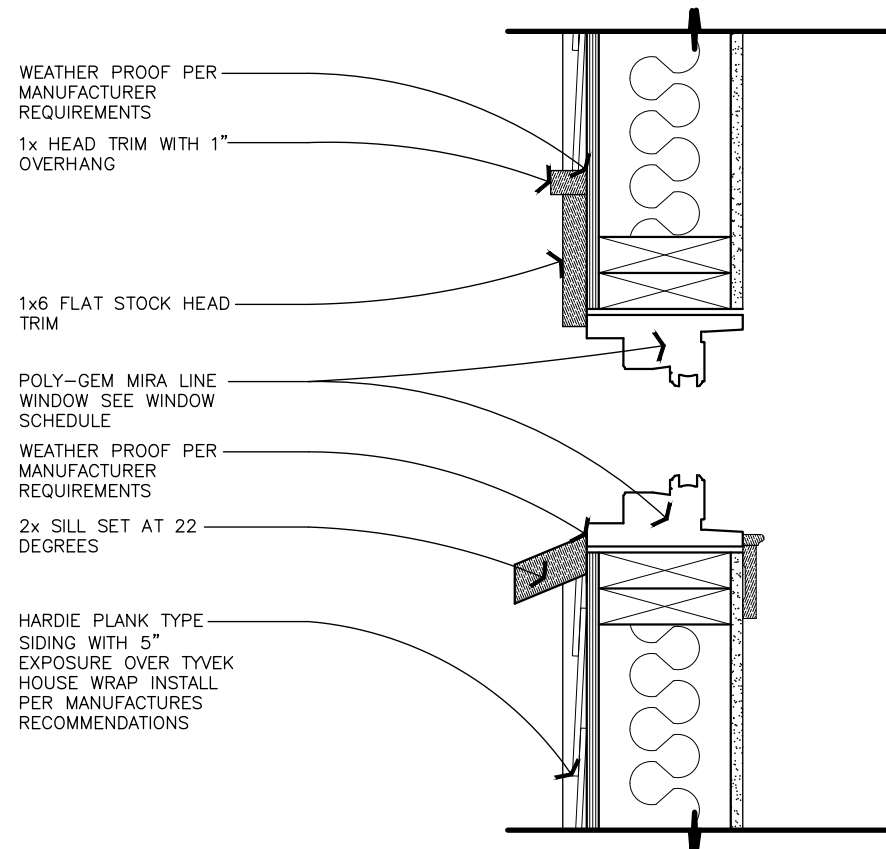
A - 102

07 - 22 SINGLE USE ONLY

WALL DETAIL - WINDOW AND DOOR TRIM

SCALE: 1-1/2" = 1'-0"

A - 103 - 5



LOCATION

ALL WINDOW AND DOOR DIMENSIONS HEIGHTS AND LOCATIONS ARE SHOWN FOR REFERENCE ONLY

GENERAL CONTRACTOR IS TO VERIFY ALL FINAL LOCATIONS WITH ELEVATIONS - FLOOR PLANS AND FINAL WINDOW ORDER

EGRESS

THE GENERAL CONTRACTOR IS TO VERIFY ANY AND ALL EGRESS WINDOW LOCATIONS AND FINAL SIZED REQUIREMENTS BASED OFF THE FINAL WINDOW MANUFACTURE SELECTION

ALIGNMENT

ALL WINDOWS WITH TRANSOMS ARE TO ALIGN WITH THE PRIMARY WINDOW HEAD HEIGHT

ALL FINAL TRANSOM WINDOW HEIGHTS ARE NOTED AND ARE NOT TO EXCEED AS TO ALLOW FOR THE INTERIOR TRIM INSTALLATION

SHOP DRAWINGS

ALL WINDOWS AND DOORS ARE TO HAVE SHOP DRAWINGS SIGNED OFF BY THE OWNERS - DESIGN TEAM - GENERAL CONTRACTOR

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS
AND SIZES PRIOR TO
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

DOOR SWING

VERIFY ALL DOOR SWINGS WITH FLOOR PLANS AND ALL LOCAL BUILDING CODES

NOTES

ALL WINDOW AND DOORS AS NOTED ARE SHOWING MAXIMUM PERIMETER SIZES

ALL WINDOWS AND DOOR SIZES AND EGRESS REQUIREMENTS TO BE VERIFIED BY THE BUILD TEAM

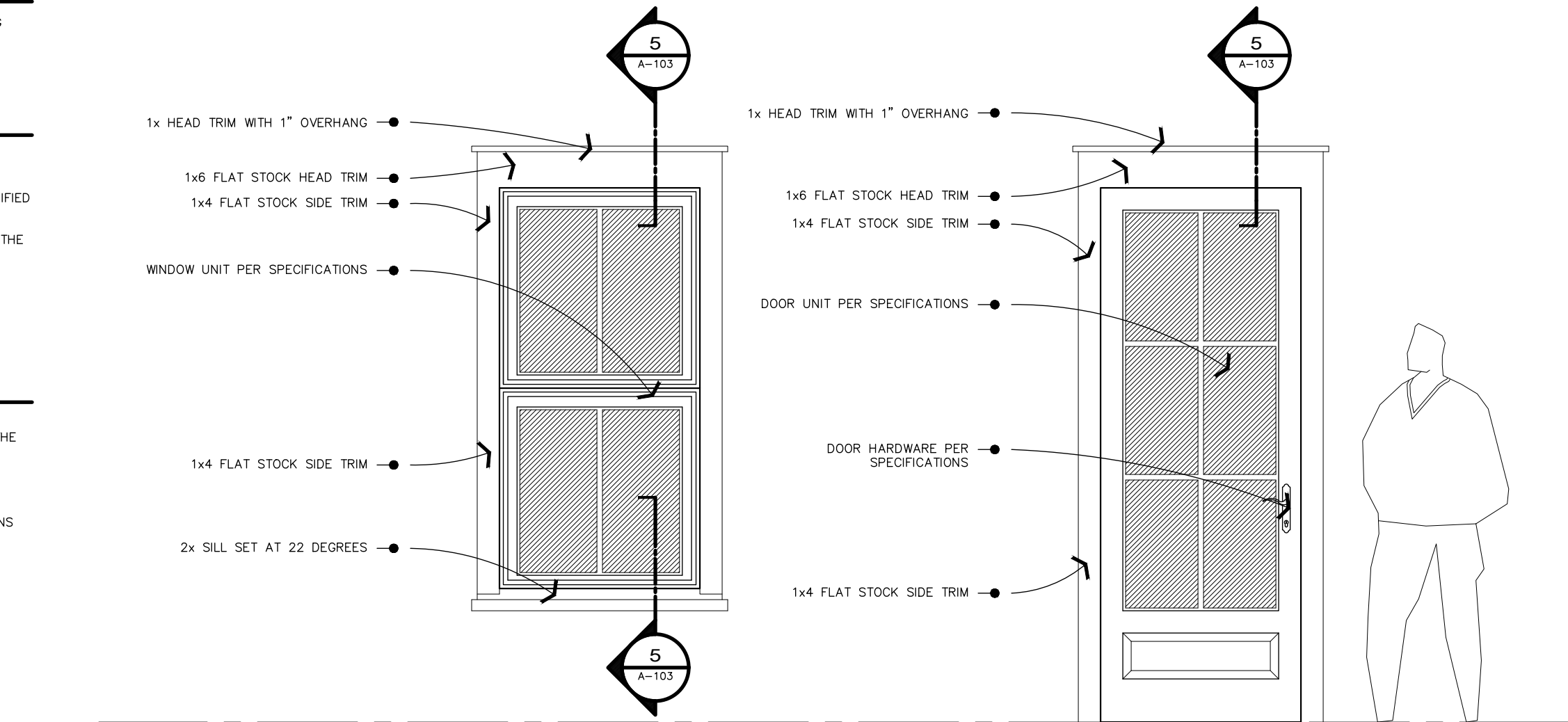
FINAL DOOR AND WINDOW ORDER TO BE VERIFIED BY BUILD TEAM AND THE DESIGN TEAM PRIOR TO ORDER

MANUFACTURE

ALL WINDOWS AND DOORS ARE SHOW TO TYPICAL SIZES THE GENERAL CONTRACTOR IS TO VERIFY ALL FINAL WINDOW AND DOOR SIZES WITH THE SELECTED WINDOW AND DOOR MANUFACTURE PRIOR TO ORDER AND OR INSTALLATION

ALL NEW WINDOWS ARE TO BE THE APPROVED C.O.A. SIERRA PACIFIC DOUBLE HUNG WITH A 2 OVER 2 GRID PATTERN WITH 7/8 INCH WIDE SIMULATED PUTTY-GLAZING DIVIDED LIGHTS - VERIFY ALL LIGHT PATTERNS WITH EXTERIOR ELEVATIONS

SIERRA PACIFIC



WINDOW AND DOOR TRIM

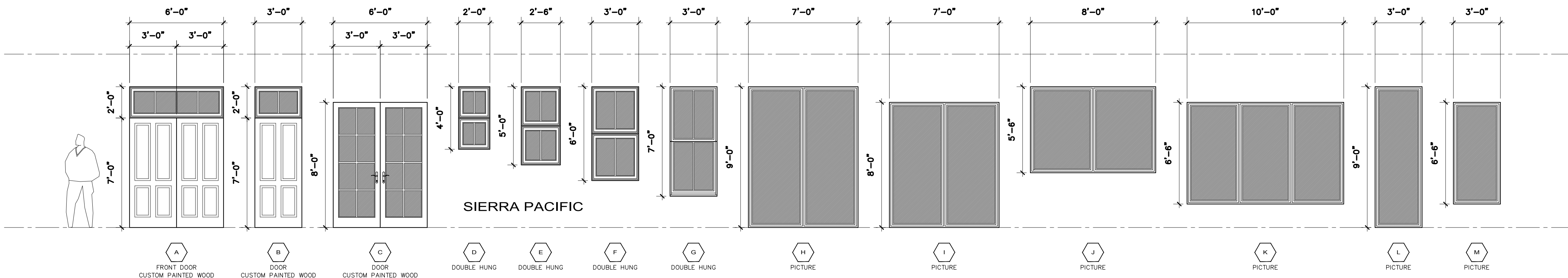
SCALE: 1/2" = 1'-0"

A - 103 - 4

0 3" 6" 1'

0 1' 2' 3'

HEAD LOCATIONS ARE SHOWN FOR REFERENCE ONLY - VERIFY WITH EXTERIOR ELEVATIONS



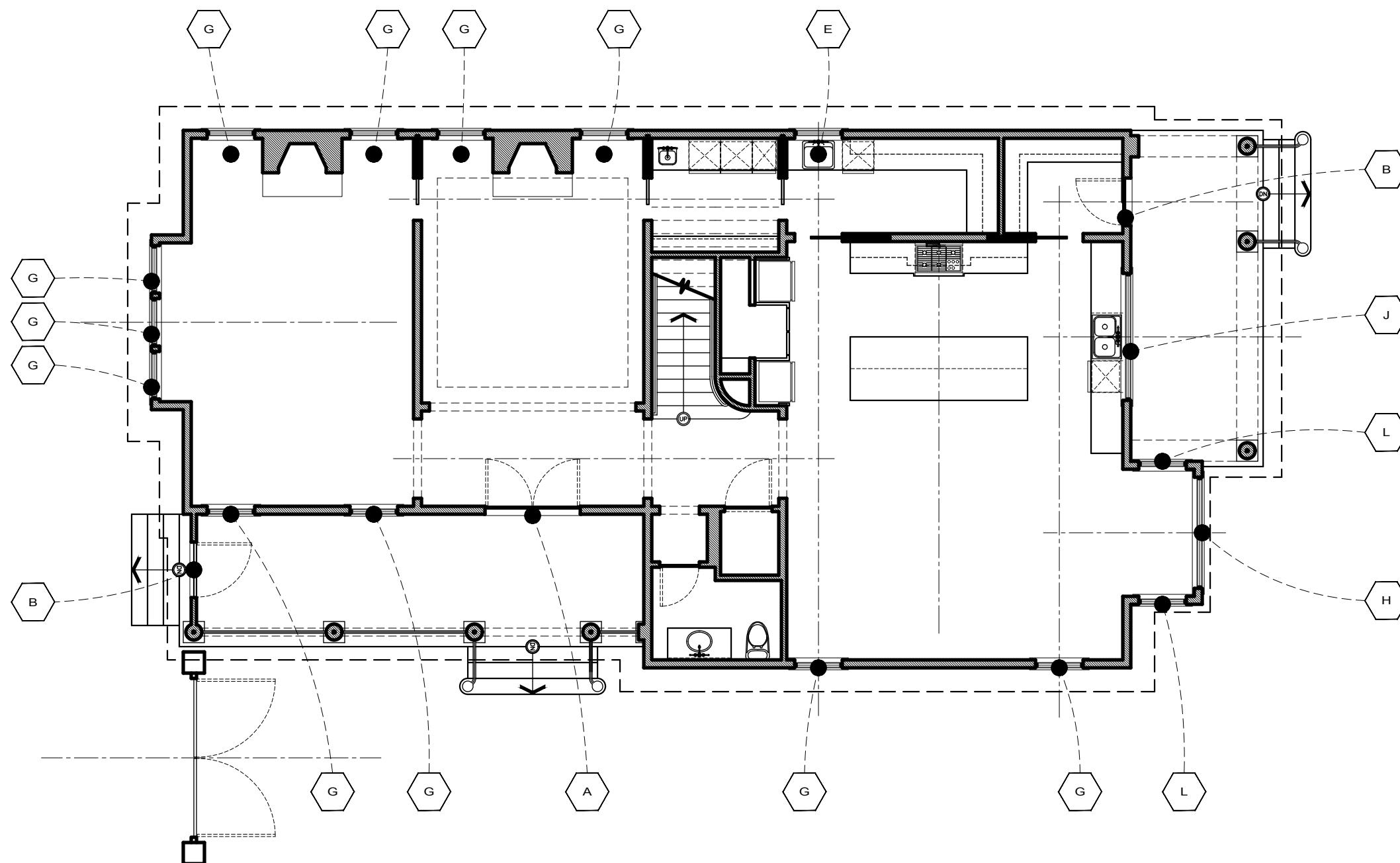
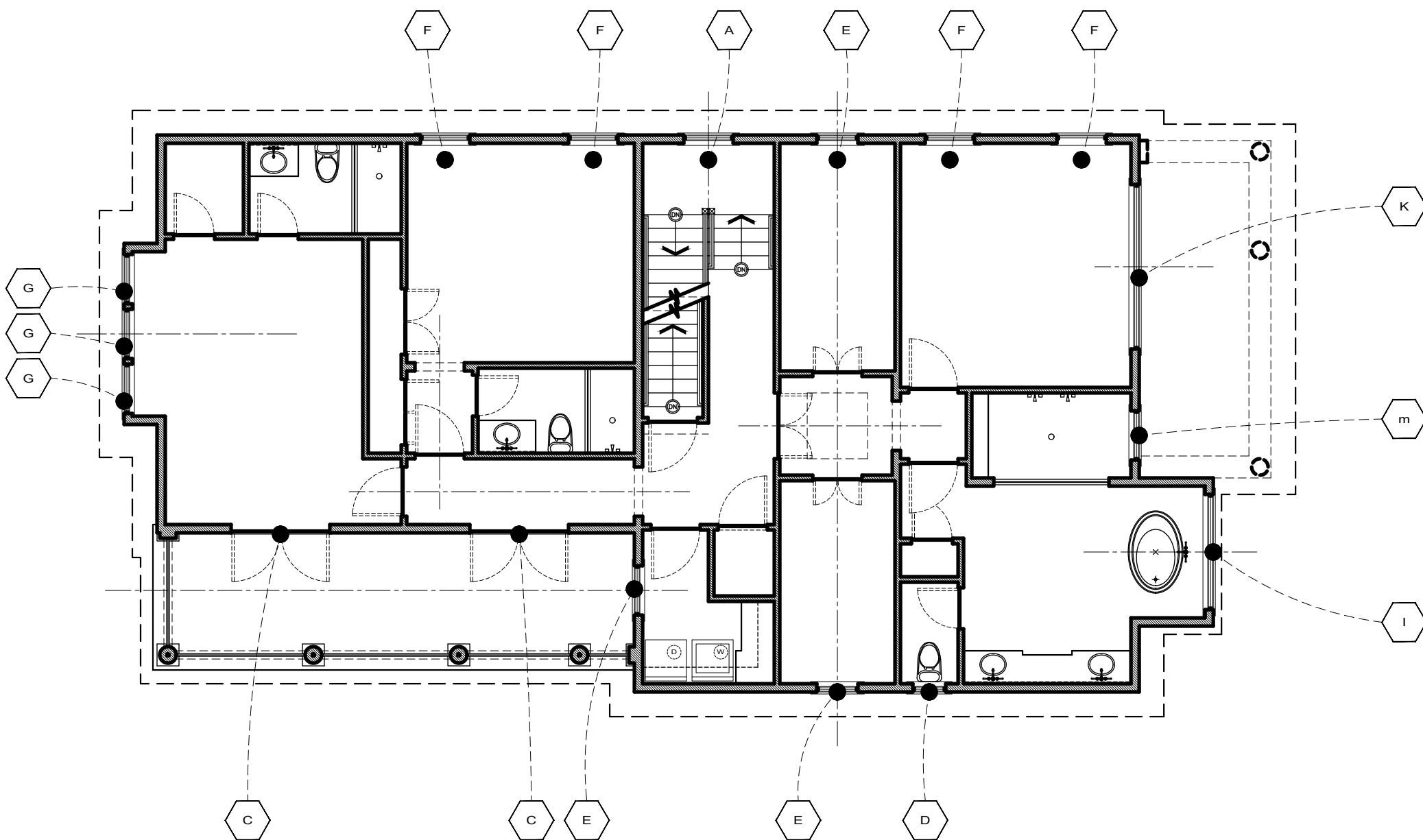
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOW AND DOOR NOTES

SCALE: 1/4" = 1'-0"

A - 103 - 3



SECOND FLOOR PLAN - WINDOW AND DOOR NOTES

SCALE: 1/4" = 1'-0"

A - 103 - 2

0 1' 8' 16' 32'

FIRST FLOOR PLAN - WINDOW AND DOOR NOTES

SCALE: 1/4" = 1'-0"

A - 103 - 1

0 1' 8' 16' 32'

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
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DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

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FLOOD ZONE PER SURVEY

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2014

I.R.C. - 2018

X

FLOOD ZONE PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

VERMILLION

SINGLE FAMILY RESIDENCE - NEW

512 EAST HUNTINGDON STREET
DOWNTOWN HISTORIC DISTRICT - RESIDENTIAL
SAVANNAH - GEORGIA
CITY OF SAVANNAH

STRUCTURAL ENGINEER SEAL

WINDOW AND DOOR NOTES

24 x 36

C.O.A. REVIEW

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12.10.2025

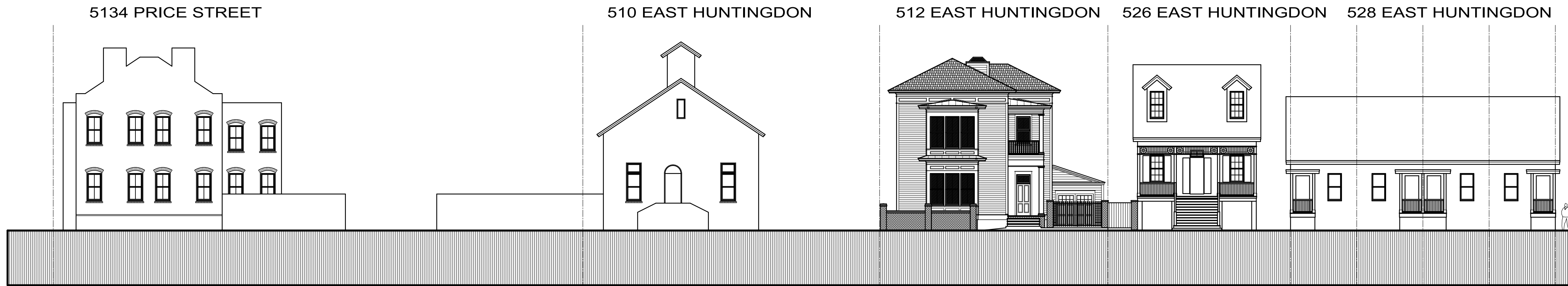
REV

A - 103

08 - 22 SINGLE USE ONLY



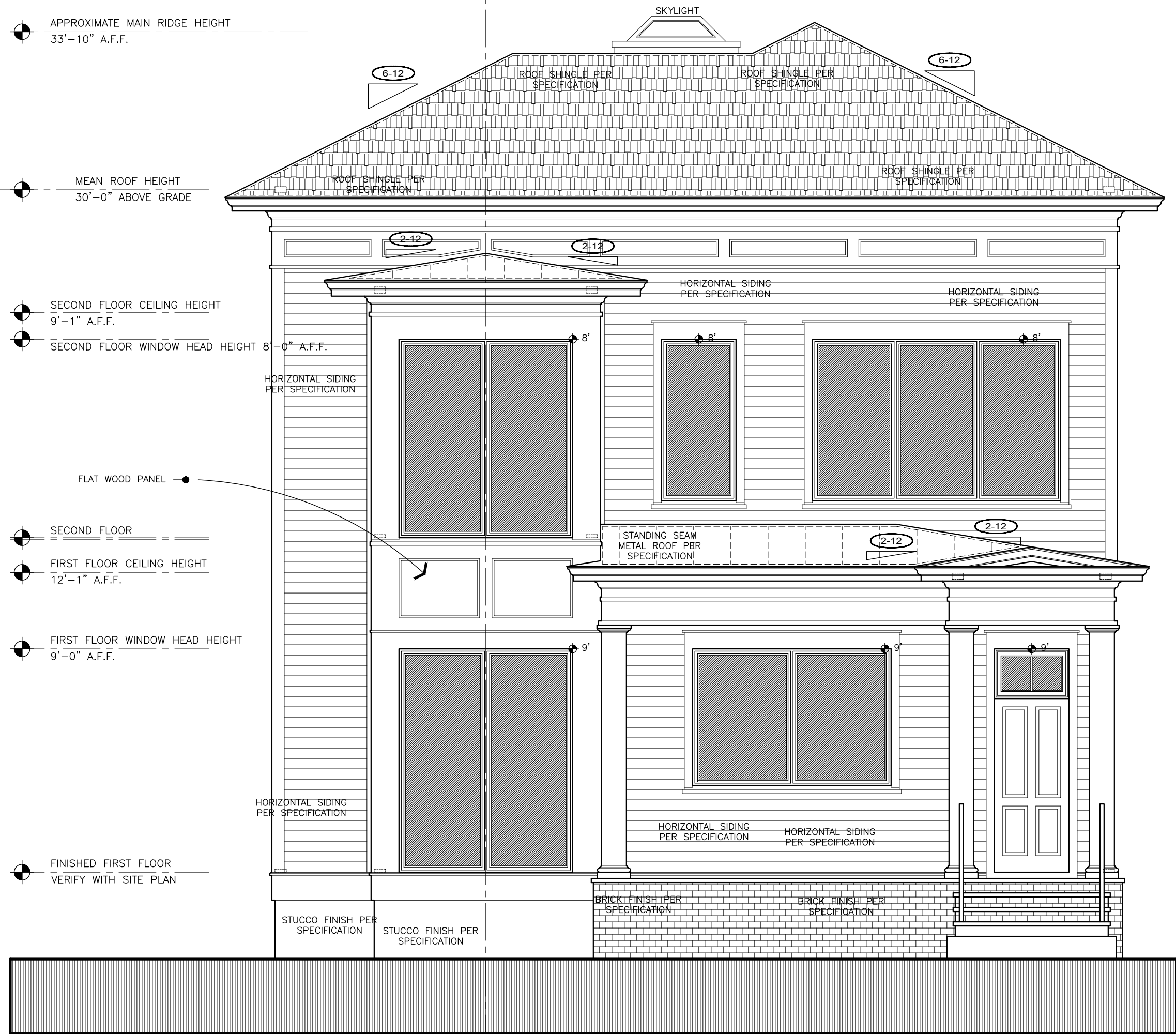
OPPOSITE SIDE OF THE STREET



STREET SCAPE
SCALE: 1/16" = 1'-0"
A - 200 - 3

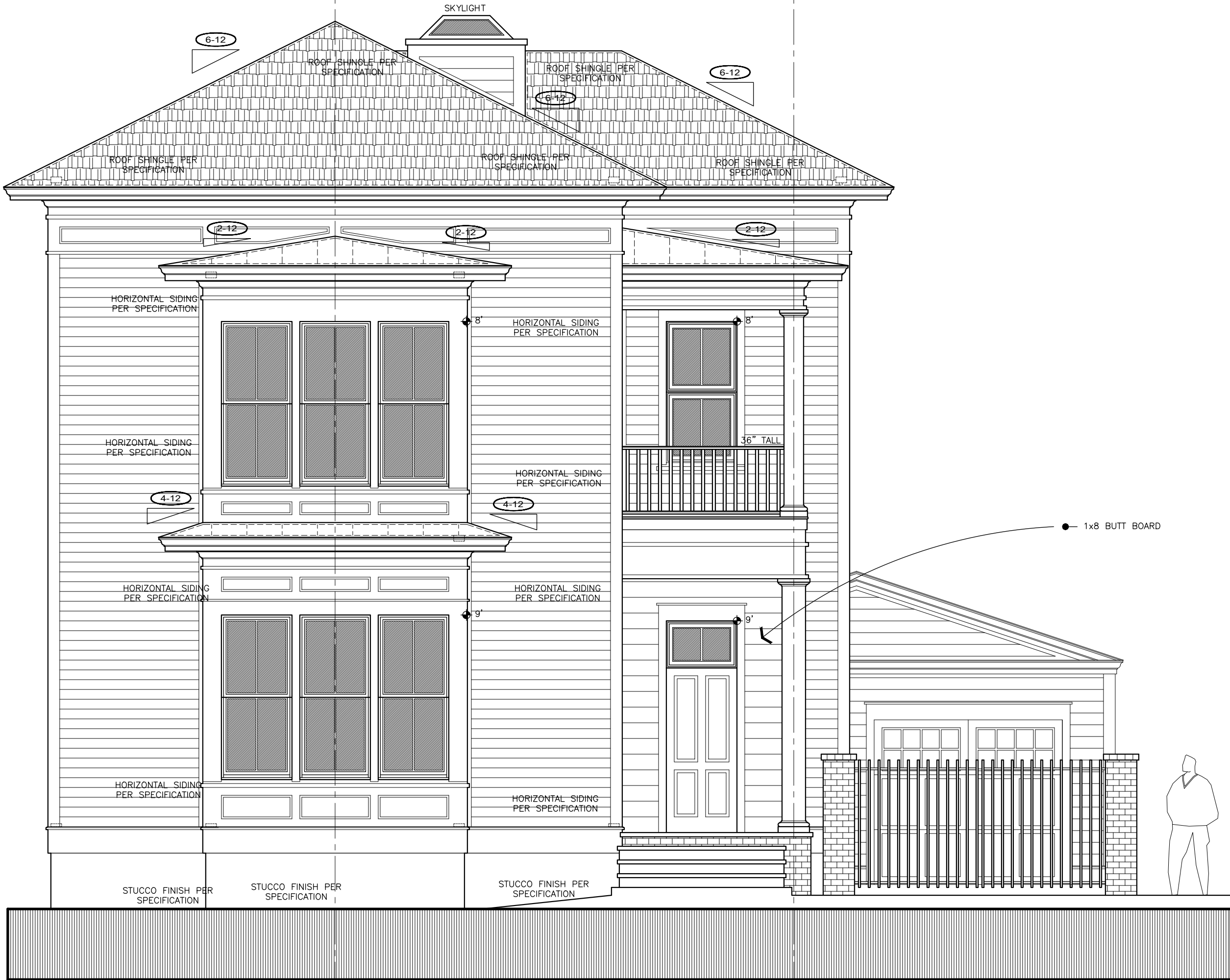
RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS



EXTERIOR ELEVATION - BACK
SCALE: 1/4" = 1'-0"
A - 200 - 2

0 1' 4' 8' 16'



EXTERIOR ELEVATION - FRONT
SCALE: 1/4" = 1'-0"
A - 200 - 1

0 1' 4' 8' 16'

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
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DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018

FLOOD ZONE PER SURVEY

X

GENERAL PROJECT NOTES

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VERMILLION

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CITY OF SAVANNAH

STRUCTURAL ENGINEER SEAL

EXTERIOR ELEVATIONS

24 x 36

C.O.A. REVIEW

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A - 200

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DRAWING NOTES

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DESIGN LOADS
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FLOOD ZONE PER SURVEY X

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REV

A - 201

10 - 22 SINGLE USE ONLY

RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

APPROXIMATE MAIN RIDGE HEIGHT
33'-10" A.F.F.

MEAN ROOF HEIGHT
30'-0" ABOVE GRADE

SECOND FLOOR CEILING HEIGHT
9'-1" A.F.F.

SECOND FLOOR WINDOW HEAD HEIGHT 8'-0" A.F.F.

SECOND FLOOR

FIRST FLOOR CEILING HEIGHT
12'-1" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT
9'-0" A.F.F.

FINISHED FIRST FLOOR
VERIFY WITH SITE PLAN



EXTERIOR ELEVATION - RIGHT
SCALE: 1/4" = 1'-0"
A - 201 - 1

0 1' 4' 8' 16'

RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

- APPROXIMATE MAIN RIDGE HEIGHT
33'-10" A.F.F.
- MEAN ROOF HEIGHT
30'-0" ABOVE GRADE
- SECOND FLOOR CEILING HEIGHT
9'-1" A.F.F.
- SECOND FLOOR WINDOW HEAD HEIGHT 8'-0" A.F.F.
- SECOND FLOOR
- FIRST FLOOR CEILING HEIGHT
12'-1" A.F.F.
- FIRST FLOOR WINDOW HEAD HEIGHT
9'-0" A.F.F.
- FINISHED FIRST FLOOR
VERIFY WITH SITE PLAN



EXTERIOR ELEVATION - LEFT
SCALE: 1/4" = 1'-0"
A - 202 - 1

DRAWING NOTES

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VERMILLION

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SAVANNAH - GEORGIA
CITY OF SAVANNAH

STRUCTURAL ENGINEER SEAL

EXTERIOR ELEVATIONS

24 x 36

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A - 202

11 - 22

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BRICK

431 OLD SAVANNAH PRINCESS COLUMBIA 2 - HANSON BRICK

HAND RAILS

CAST IRON
SHERWIN WILLIAMS - SW 6258 TRICORN BLACK

MORTAR

ARGOS OYSTER

ROOF - SHINGLE

ELK PRESTIQUE
WEATHERED WOOD

COVERED PORCH

LOWER
24x24 BLUE STONE

ROOF - METAL

STANDING SEAM GALVALUM - WITH 1" TALL SEAM
BLACK

COVERED PORCH

UPPER
DECKING
T&G 1x4 K.D.A.T. WITH PICTURE FRAME

SIDING

HARDIE PLANK SMOOTH FINISH TYPE SIDING 5" EXPOSURE
PAINT
SHERWIN WILLIAMS - SW 7008 ALABASTER

STAIR TREADS

2" BLUE STONE

COLUMNS

PAINT
SHERWIN WILLIAMS - SW 7008 ALABASTER

TRIM

5/4" HARDIE TRIM TYPE COMPOSITE PLANKS
WITH SMOOTH FINISH
PAINT
SHERWIN WILLIAMS - SW 7008 ALABASTER

STUCCO

ARGOS OYSTER
TRADITIONAL HARDCOAT FINIAH

WINDOWS

SIERRA PACIFIC
DARK BRONZE

FRONT DOOR

WOOD
PAINTED
SHERWIN WILLIAMS - SW 6258 TRICORN BLACK

DOOR

WOOD
PAINTED
SHERWIN WILLIAMS - SW 6258 TRICORN BLACK

- ROOF SHINGLE - WEATHERED WOOD
- SOFFIT AND FASICA - SW 7008 ALABASTER
- FREEZE BOARD - SW 7008 ALABASTER
- STANDING SEAM - BLACK
- WINDOW TRIM - SW 7008 ALABASTER
- CAST IRON
- COLUMNS - SW 7008 ALABASTER
- BODY - SW 7008 ALABASTER
- COVERED PORCH TRIM - SW 7008 ALABASTER
- CORNER TRIM - SW 7008 ALABASTER
- COLUMNS - SW 7008 ALABASTER
- 2" BLUESTONE TREADS
- 431 OLD SAVANNAH PRINCESS COLUMBIA 2 - HANSON BRICK
- CAST IRON - SW 6258 TRICORN BLACK
- 431 OLD SAVANNAH PRINCESS COLUMBIA 2 - HANSON BRICK

- ROOF SHINGLE - WEATHERED WOOD
- SOFFIT AND FASICA - SW 7008 ALABASTER
- FREEZE BOARD - SW 7008 ALABASTER
- STANDING SEAM - BLACK
- SOFFIT AND FASICA - SW 7008 ALABASTER
- COLUMNS - SW 7008 ALABASTER
- BODY - SW 7008 ALABASTER
- WINDOW TRIM - SW 7008 ALABASTER
- CAST IRON - SW 6258 TRICORN BLACK
- STANDING SEAM - BLACK
- SOFFIT AND FASICA - SW 7008 ALABASTER
- CORNER TRIM - SW 7008 ALABASTER
- COLUMNS - SW 7008 ALABASTER
- WINDOW TRIM - SW 7008 ALABASTER
- BODY - SW 7008 ALABASTER
- CAST IRON - SW 6258 TRICORN BLACK
- 431 OLD SAVANNAH PRINCESS COLUMBIA 2 - HANSON BRICK

- ROOF SHINGLE - WEATHERED WOOD
- SOFFIT AND FASICA - SW 7008 ALABASTER
- FREEZE BOARD - SW 7008 ALABASTER
- STANDING SEAM - BLACK
- SOFFIT AND FASICA - SW 7008 ALABASTER
- BODY - SW 7008 ALABASTER
- WINDOW TRIM - SW 7008 ALABASTER
- CORNER TRIM - SW 7008 ALABASTER
- WATER TABLE TRIM - SW 7008 ALABASTER
- HARDCOAT STUCCO - ARGOS OYSTER

- ROOF SHINGLE - WEATHERED WOOD
- SOFFIT AND FASICA - SW 7008 ALABASTER
- FREEZE BOARD - SW 7008 ALABASTER
- BODY - SW 7008 ALABASTER
- WINDOW TRIM - SW 7008 ALABASTER
- CORNER TRIM - SW 7008 ALABASTER
- SOFFIT AND FASICA - SW 7008 ALABASTER
- WINDOW TRIM - SW 7008 ALABASTER
- COLUMNS - SW 7008 ALABASTER
- BODY - SW 7008 ALABASTER
- CAST IRON - SW 6258 TRICORN BLACK
- WATER TABLE TRIM - SW 7008 ALABASTER
- 431 OLD SAVANNAH PRINCESS COLUMBIA 2 - HANSON BRICK

- ROOF SHINGLE - WEATHERED WOOD
- SOFFIT AND FASICA - SW 7008 ALABASTER
- FREEZE BOARD - SW 7008 ALABASTER
- STANDING SEAM - BLACK
- SOFFIT AND FASICA - SW 7008 ALABASTER
- BODY - SW 7008 ALABASTER
- CORNER TRIM - SW 7008 ALABASTER
- STANDING SEAM - BLACK
- SOFFIT AND FASICA - SW 7008 ALABASTER
- BODY - SW 7008 ALABASTER
- WINDOW TRIM - SW 7008 ALABASTER
- CORNER TRIM - SW 7008 ALABASTER
- WATER TABLE TRIM - SW 7008 ALABASTER
- HARDCOAT STUCCO - ARGOS OYSTER

DRAWING NOTES
ROOF PLAN - DETAILS

HIP OVERHANGS

ALL ROOF OVERHANGS AT HIPs ARE TO BE 1'-6" UNLESS OTHERWISE NOTED.

GABLE OVERHANGS

ALL ROOF OVERHANGS AT GABLE ENDS ARE TO BE 1'-0" UNLESS OTHERWISE NOTED.

ROOF PITCH

ALL GABLE END MODIFIED HIPs TO BE 4-12 PITCH UNLESS OTHERWISE NOTED.

STRAPPING

ALL ROOF RAFTERS WILL BE 2x8 @16" O.C. WITH A 10'-0" MAXIMUM SPAN WITHOUT BRACING UNLESS OTHERWISE SPECIFIED.

RAFTERS

SIMPSON TYPE HURRICANE STRAP AT EACH ROOF RAFTER SEE STRUCTURAL NOTES.

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH

EXPOSURE CATEGORY "B"

SHEATHING

PLYWOOD SHEATHING TO BE CONTINUOUS TO TOP PLATES.

PRELIMINARY WATER PROOFING

ALL VALLEYS, CRICKETS, CHIMNEY TRANSITIONS, FRAMED PROTRUSIONS AND EXPOSED DECK EXTENSIONS SHALL BE COVERED WITH GRACE ICE AND WATER SHIELD AND OR EQUAL. VERIFY WITH SITE SUPERINTENDENTS FOR LOCATIONS AND SIZE REQUIREMENTS.

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.).

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-85) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS. ISOLATE UNLIKE MATERIALS IF NECESSARY.

ROOF PITCH
4 - 12 & 6 - 12
SEE NOTES FOR CLARIFICATION

ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET A.S.T.M. 3161D CLASS F PER I.R.C. SECTION 905.2.4.1.

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION.

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

ICC 600-2014
I.R.C. - 2018

X

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES.

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET, ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT.

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT.

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION.

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

ICC 600-2014
I.R.C. - 2018

X

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

ROOF PLAN
SCALE: 1/8" = 1'-0"
A - 300 - 4

0 1' 8' 16' 32'

RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS.

APPROXIMATE MAIN RIDGE HEIGHT
33'-10" A.F.F.

MEAN ROOF HEIGHT
30'-0" ABOVE GRADE

SECOND FLOOR CEILING HEIGHT
9'-1" A.F.F.
SECOND FLOOR WINDOW HEAD HEIGHT 8'-0" A.F.F.

SECOND FLOOR
FIRST FLOOR CEILING HEIGHT
12'-1" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT
9'-0" A.F.F.

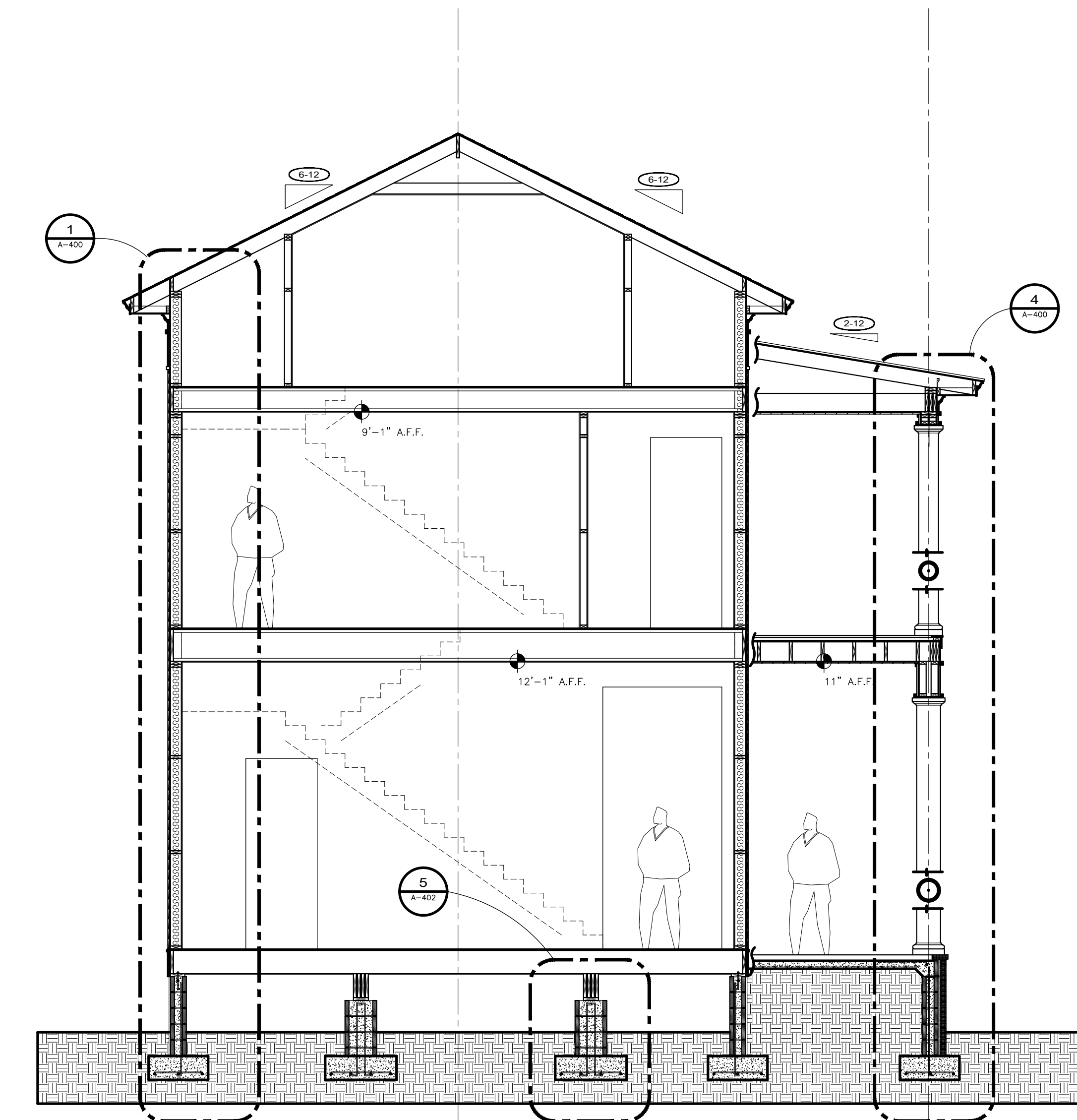
FINISHED FIRST FLOOR
VERIFY WITH SITE PLAN

BUILDING SECTION
SCALE: 1/4" = 1'-0"
A - 300 - 2

0 1' 4' 8' 16'

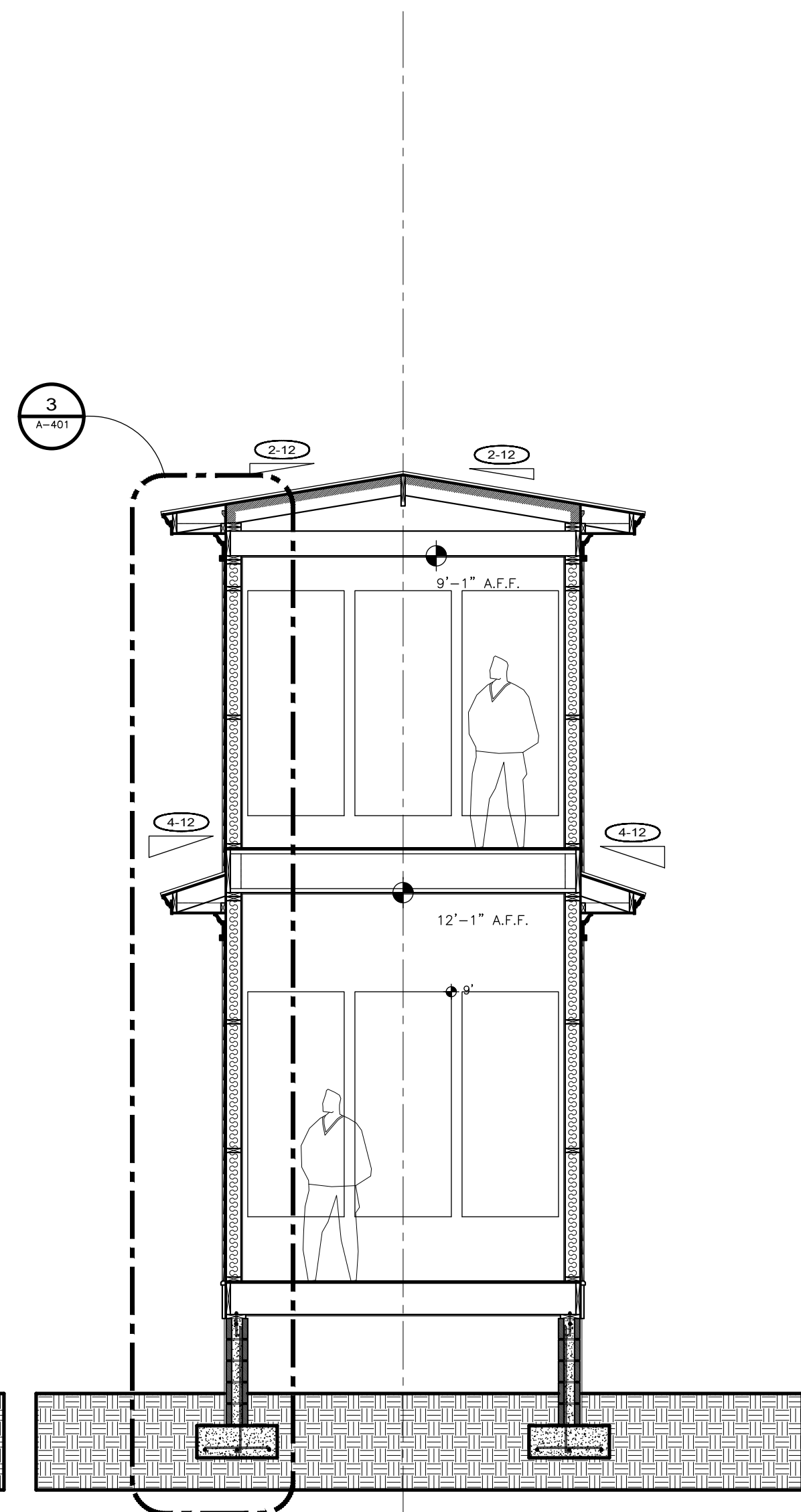
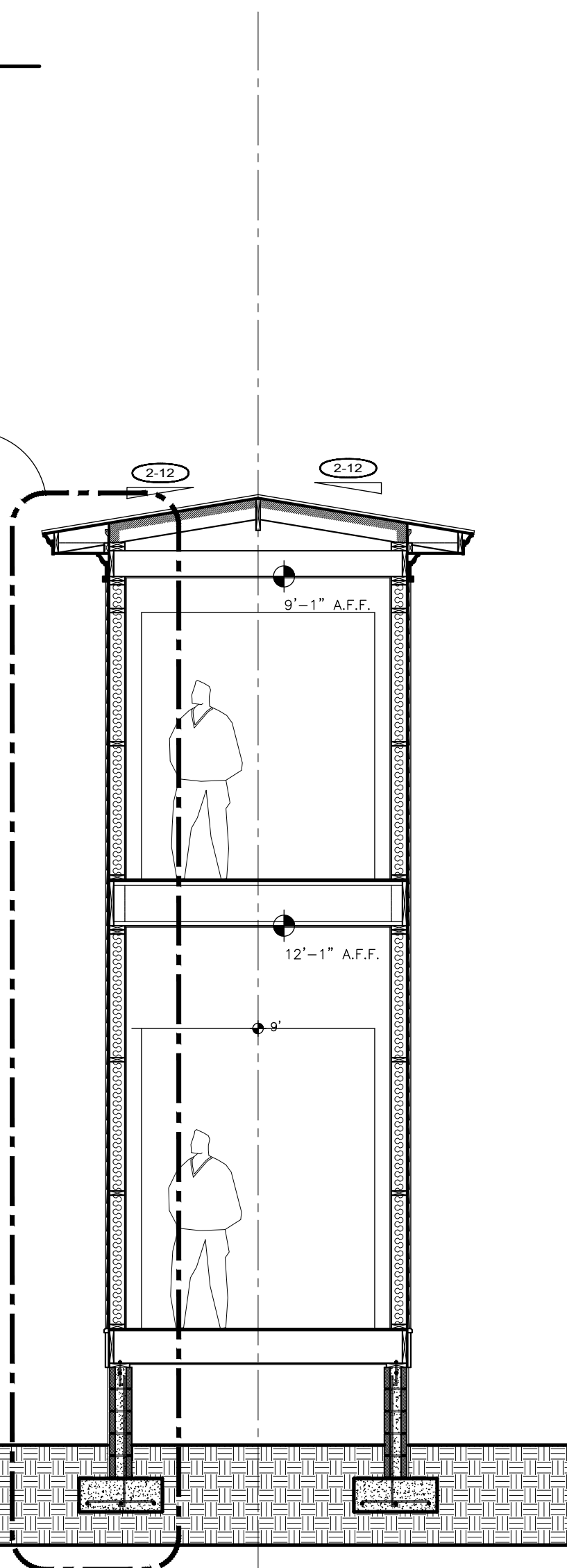
BUILDING SECTION
SCALE: 1/4" = 1'-0"
A - 300 - 1

0 1' 4' 8' 16'



BUILDING SECTION
SCALE: 1/4" = 1'-0"
A - 300 - 3

0 1' 4' 8' 16'

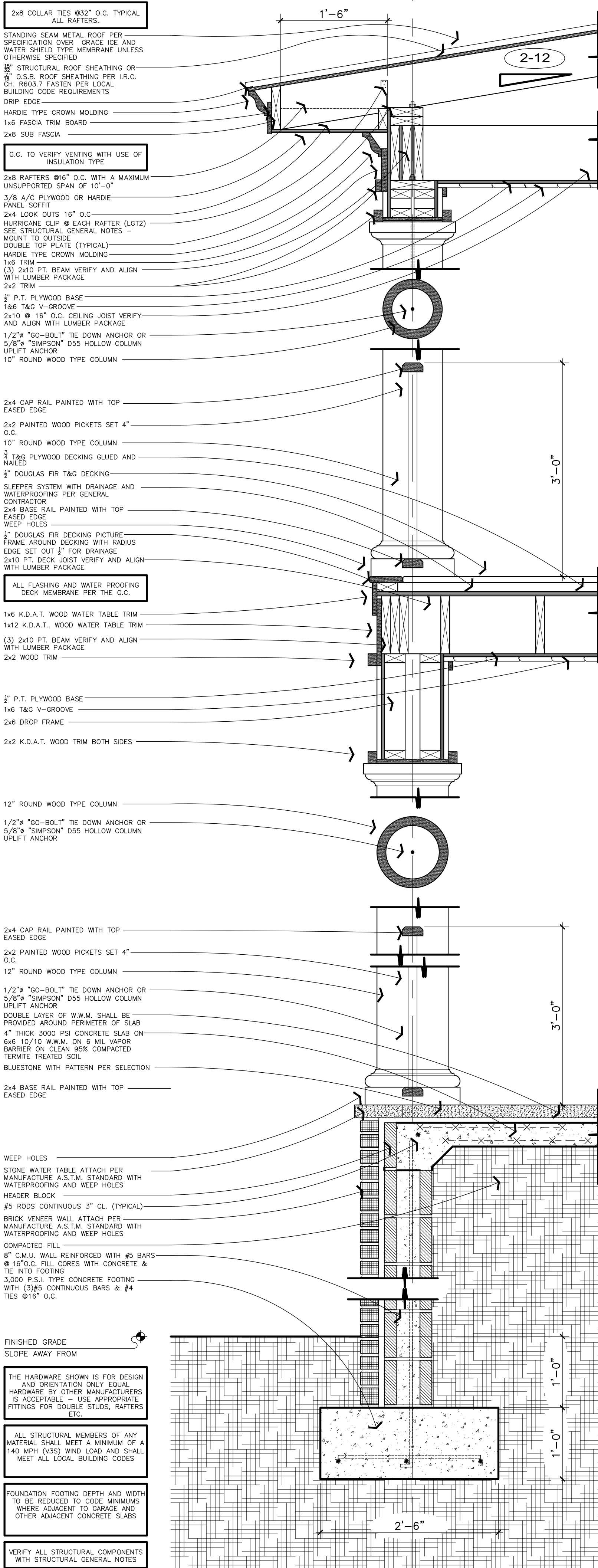


VERMILLION
SINGLE FAMILY RESIDENCE - NEW
512 EAST HUNTINGDON STREET
DOWNTOWN HISTORIC DISTRICT - RESIDENTIAL
SAVANNAH - GEORGIA
CITY OF SAVANNAH
25 - 019
12.10.2025
REV

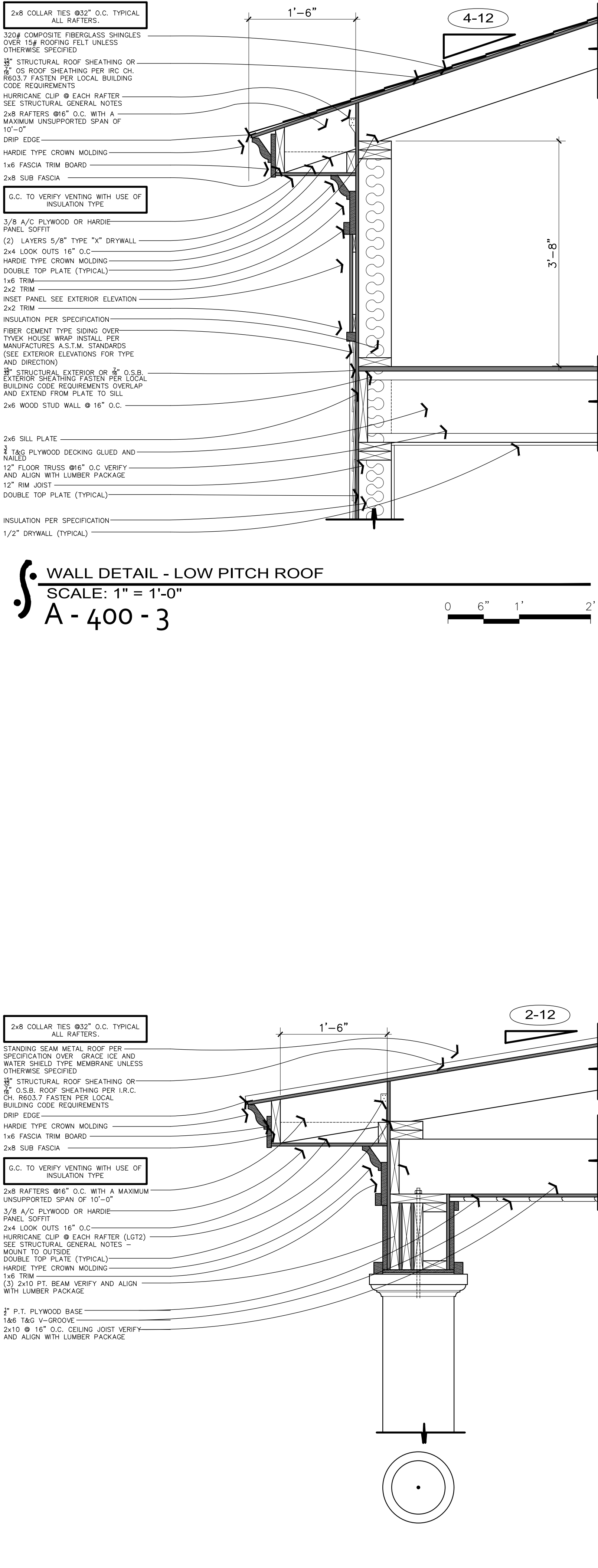
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A - 300
13 - 22
SINGLE USE ONLY

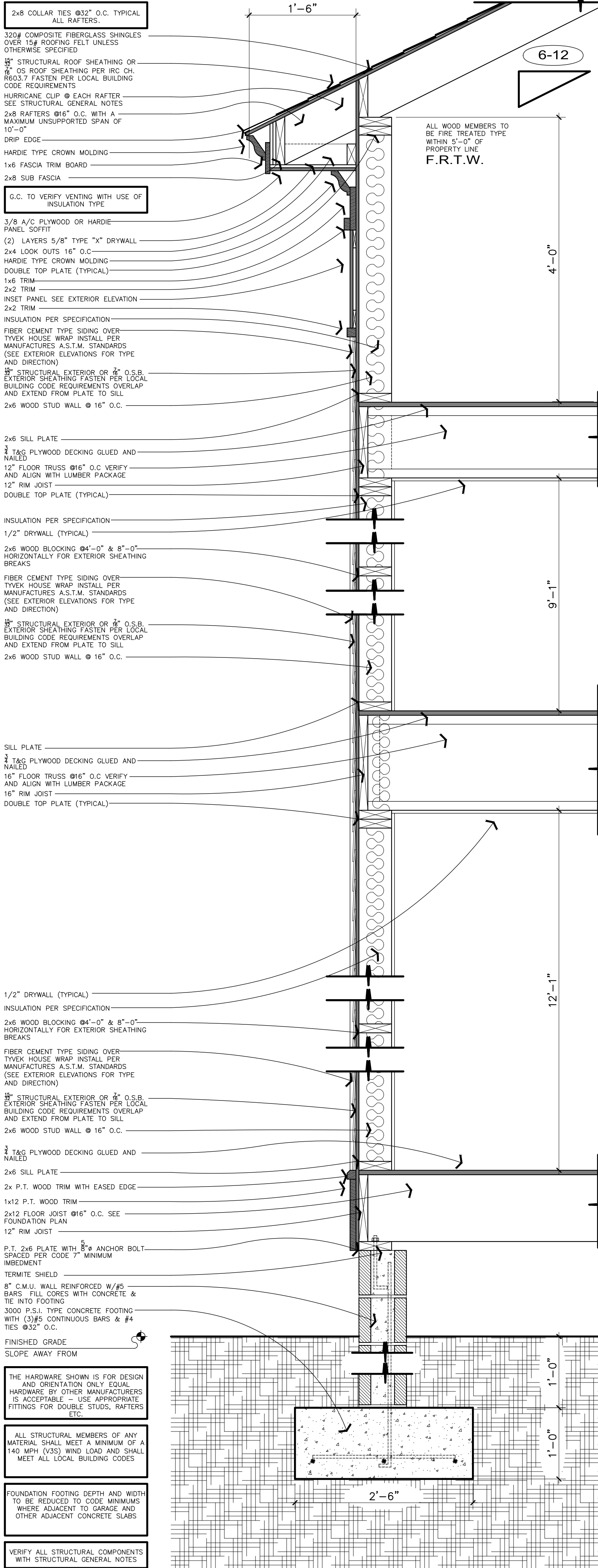
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WALL DETAIL - SIDE COVERED PORCH
SCALE: 1" = 1'-0"
A - 400 - 4



WALL DETAIL - BACK COVERED PORCH
SCALE: 1" = 1'-0"
A - 400 - 2



WALL DETAIL - TYPICAL
SCALE: 1" = 1'-0"
A - 400 - 1

DRAWING NOTES
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.
STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION
DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V33 = 140 MPH
EXPOSURE CATEGORY "B"
FLOOD ZONE PER SURVEY
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I.R.C. - 2018
X

GENERAL PROJECT NOTES

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CITY OF SAVANNAH

STRUCTURAL ENGINEER SEAL

WALL DETAILS 24 x 36

C.O.A. REVIEW

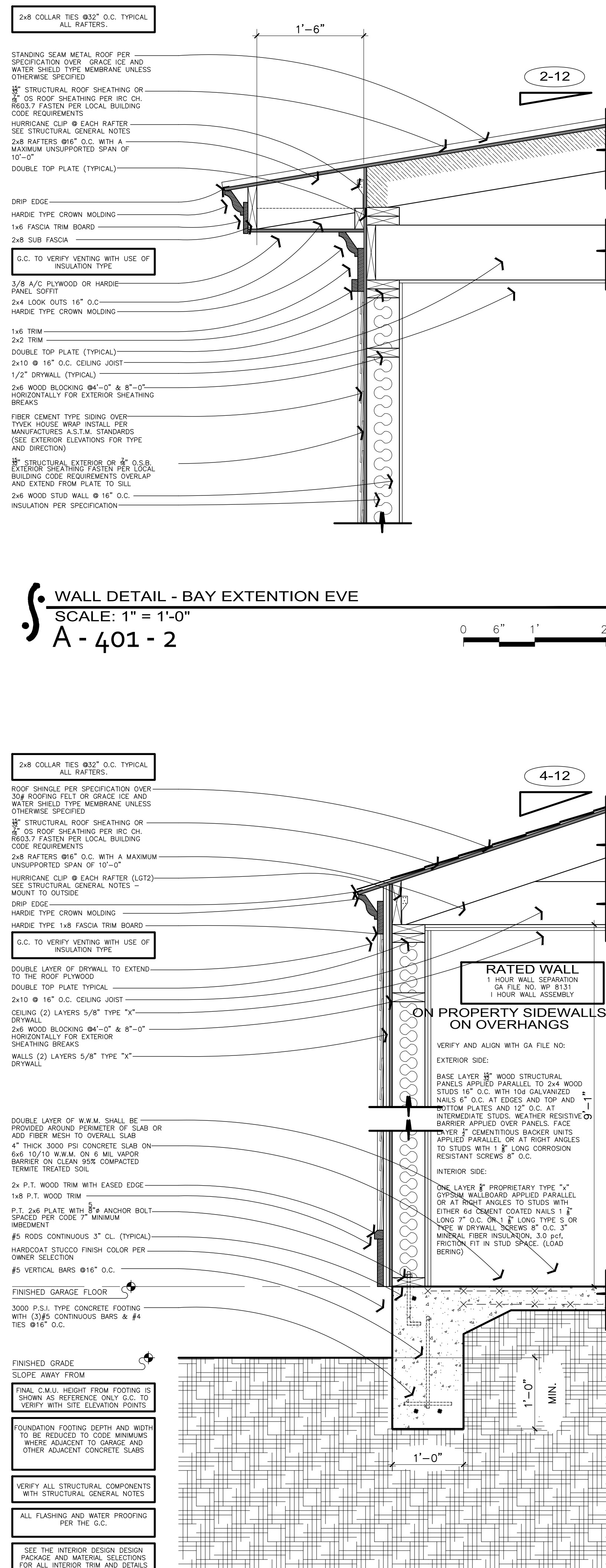
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