

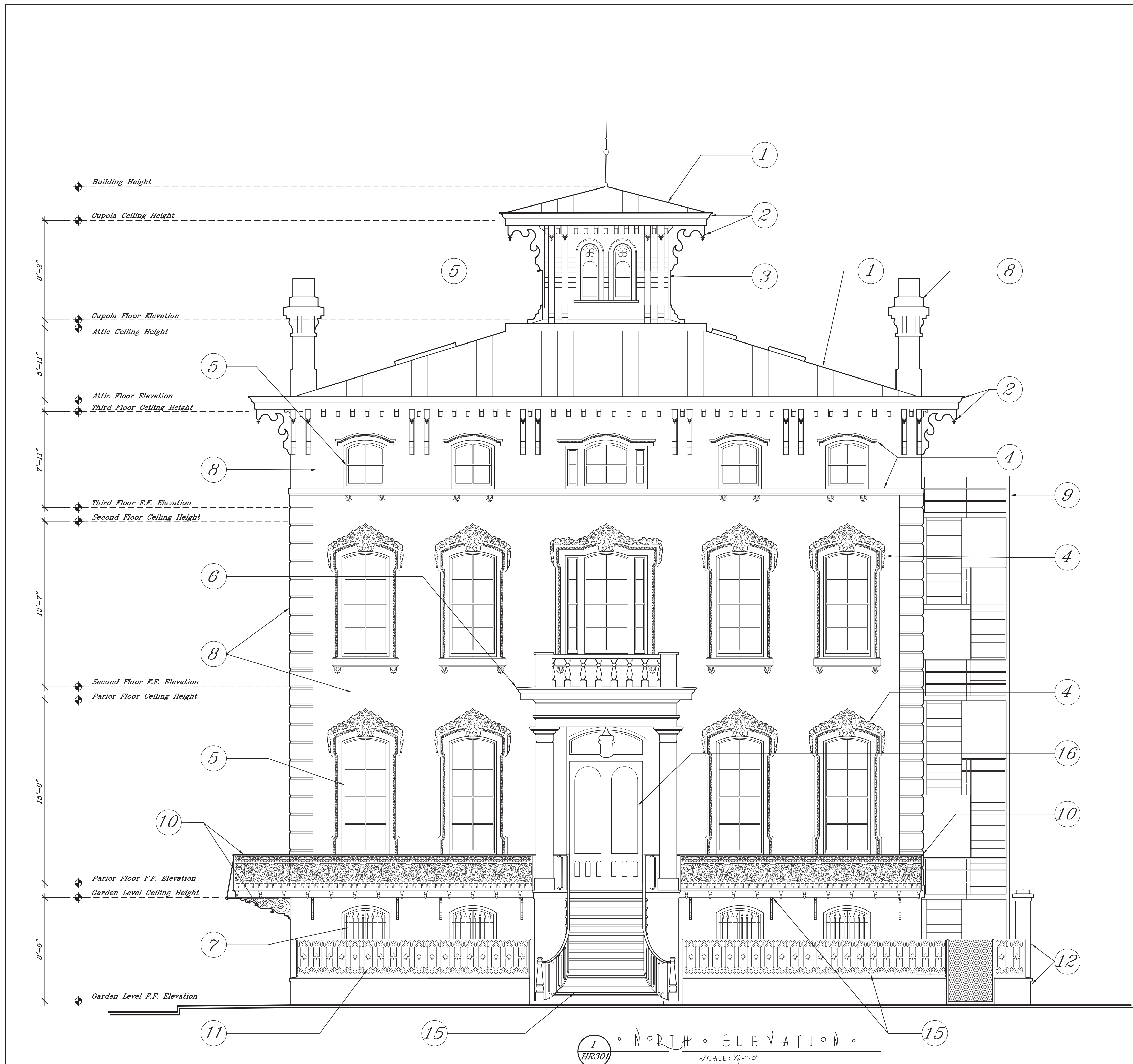
The Noble Hardee House

3 West Gordon Street
Savannah, Georgia 31401

Exterior Stabilization and Repair

Written Project Description

This application is submitted for the exterior stabilization and repair of the Noble Hardee House, located at 3 West Gordon Street in Savannah's National Landmark Historic District. The project includes a new roof, repairs to brick masonry and stucco, historic ironwork, windows and doors, and historic garden walls and fences. Minor alterations include the restoration of a historic window on the west elevation at the 3rd floor that had been previously removed, converting an existing window to a door on the third floor porch on the rear elevation, and restoring a door that existed historically on the second floor porch on the rear elevation. All work will be performed in accordance with National Park Service Standards and Guidelines for Historic Preservation.



Exterior Repair and Renovation Notes

- Roof:** Remove existing temporary roof membrane and any remaining non-historic substrates down to existing historic roof deck. Install new standing seam zinc-coated copper roof with traditional crimped-seam ridges. Replace existing non-historic downspouts with new zinc coated copper downspouts. Reference NPS Preservation Brief # 4, "Roofing for Historic Buildings".
- Cornices and Brackets:** Identify and repair all damage to existing wooden cornices, brackets and running trim. Material badly damaged beyond repair is to be replaced in-kind with new material matching existing original material, configuration and millwork profiles as necessary. Stabilize and repair lightly damaged material in-situ. Prime and paint to match existing.
- Cupola Siding:** Identify and repair all damage to existing wood cupola siding and running trim. Material damaged beyond repair is to be replaced in-kind with new material matching existing original siding in materiality, profile, and configuration. Stabilize and repair lightly damaged material in-situ to the greatest extent possible. Prime and paint to match existing.
- Cast Iron Enframements:** Repair and restore existing cast iron window enframements in-situ. Apply rust converter and matte clear coat finish. No color changes are currently proposed. Reference NPS Preservation Brief #27, "The Maintenance and Repair of Architectural Cast Iron".
- Windows:** Repair and restore all historic windows. Material damaged beyond repair to be removed and replaced using in-kind materials, profiles and configuration. If any existing sashes are damaged beyond reasonable repair, replacement sashes are to be fabricated, matching the historic sashes in profile, material, and configuration. Non-historic glass is to be removed and replaced with new to match existing. Reference NPS Preservation Brief #9, "The Repair of Historic Wooden Windows".
- Portico and Porches:** Repair and restore historic porches and portico. Material damaged beyond repair is to be replaced in-kind, matching existing original materials, profiles and configurations. Stabilize and repair lightly damaged material in situ to the greatest extent possible. Material that requires removal for underlying structural repairs shall be replaced in-kind to match original. Prime and paint to match existing.
- Miscellaneous Metals:** Remove all corrosion from metal surfaces, prime and paint with appropriate rust inhibiting coating. Non-historic security grills are to be removed and replaced with new to match existing historic iron grills.
- Brick masonry and Exterior Plaster:** Repair/re-point all damaged brick masonry on exterior walls and chimneys. Any new brick shall match existing historic brick in materiality, dimensions, and material properties. All new mortar shall be formulated to match existing historic mortar in composition, based upon a careful analysis of existing historic material. Repair existing stucco in damaged areas. Final finish shall match existing exposed finish in texture, appearance and color, with composition and properties compatible with historic material. Reference Preservation briefs #2, "Repointing Mortar Joints in Historic Masonry Buildings" and #22, "The Preservation and Repair of Historic Stucco."
- Fire Escape:** Remove all corrosion from metal surfaces, prime and paint with appropriate rust inhibiting coating.
- Iron Balconies and Ornamental Railings:** Remove and store balconies and railings as required for exterior masonry repairs. Repair any severely corroded areas using in-kind materials and methods. Prepare metal surface, prime and paint with appropriate rust inhibiting coating and re-install in original configuration. Reference NPS Preservation Brief #27, "The Maintenance and Repair of Architectural Cast Iron."
- Front Garden Railings:** Remove and store historic iron railings to allow for repair of brownstone copings. Repair any severely corroded areas using in-kind materials and methods. Prepare metal surface, prime and paint with appropriate rust inhibiting coatings. Re-install restored railings in their original configuration. Reference NPS Preservation Brief #27, "The Maintenance and Repair of Architectural Cast Iron."
- Garden Walls:** Repair/re-point all damaged brick masonry on exterior garden walls. Any new brick shall match existing historic brick in materiality, dimensions, and material properties. All new mortar shall be formulated to match existing historic mortar in composition, based upon a careful analysis of existing historic material. Repair existing exterior plaster in damaged areas. New exterior plaster shall match existing historic material based upon a careful analysis of existing plaster. Final finish shall match historic material in texture, appearance, composition and color. Reference Preservation Briefs #2, "Repointing Mortar Joints in Historic Masonry Buildings" and #22, "The Preservation and Repair of Historic Stucco."
- West Elevation Third Floor Window:** Remove existing non-historic fire escape door and replace with new window matching the existing original double hung windows in materiality, profiles, and appearance.
- Third Floor Balcony Door:** Remove and store existing double hung window and frame. Enlarge masonry opening to accommodate new door in the same location. New door and casing shall match existing adjacent historic wood doors on third floor rear balcony. Prime and paint to match. Repair all brick surfaces and exterior plaster with new material to match existing. Reference Preservation Briefs #2, "Repointing Mortar Joints in Historic Masonry Buildings" and #22, "The Preservation and Repair of Historic Stucco."
- Brownstone Steps Coping and Banding:** Repair and restore historic brownstone steps, banding and wall coping. Material damaged beyond repair is to be replaced with new material to match existing.
- Historic Doors and Transoms:** Repair and restore historic wood doors and transoms. Any new material is to match existing in material properties, profiles and configurations. Prime and paint to match existing.

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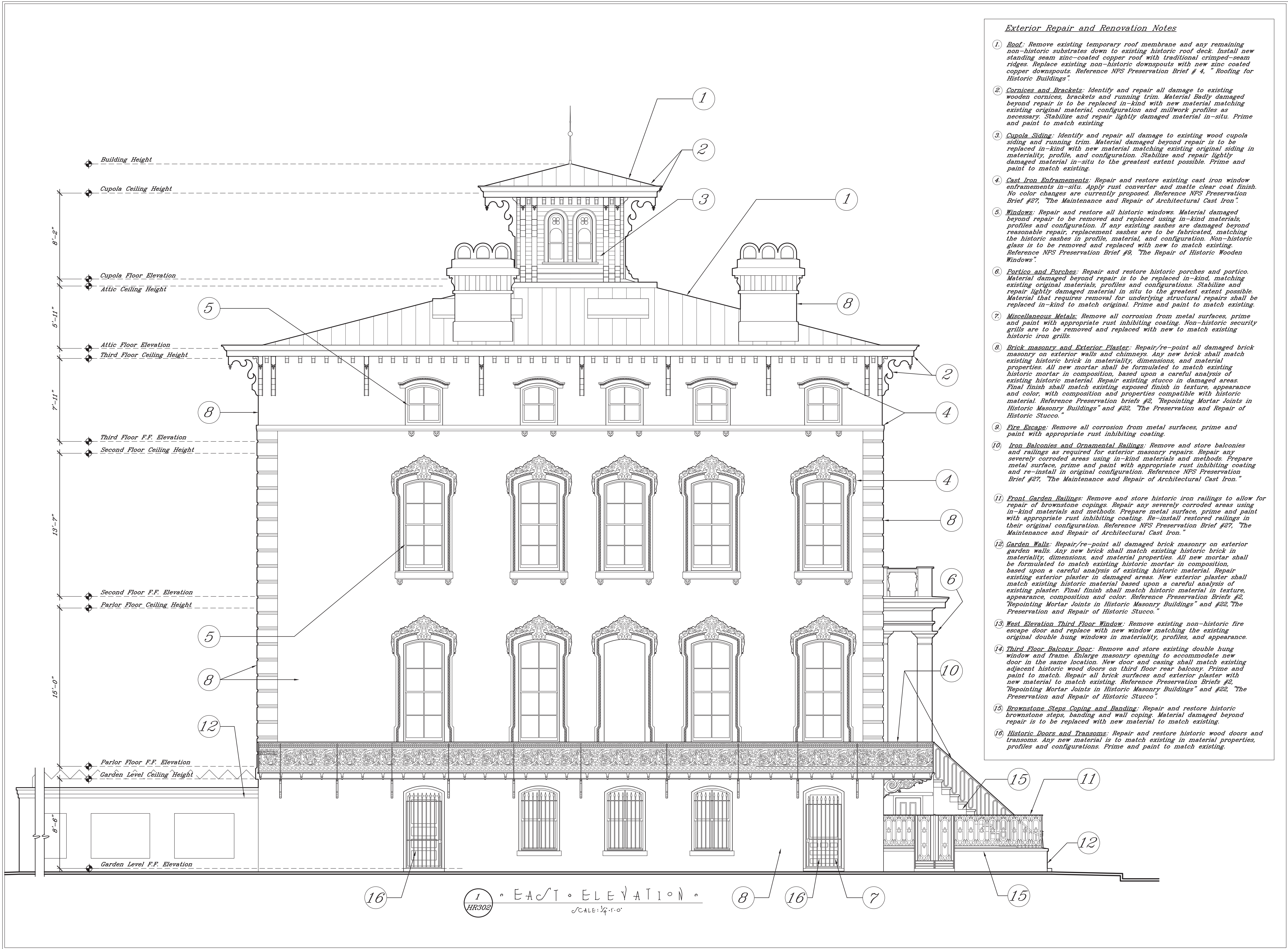
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Exterior Repairs and Restoration
3 W. GORDON STREET
The Noble Hardee Mansion
SAVANNAH, GEORGIA

Date of Publication:

Sheet:

HR301



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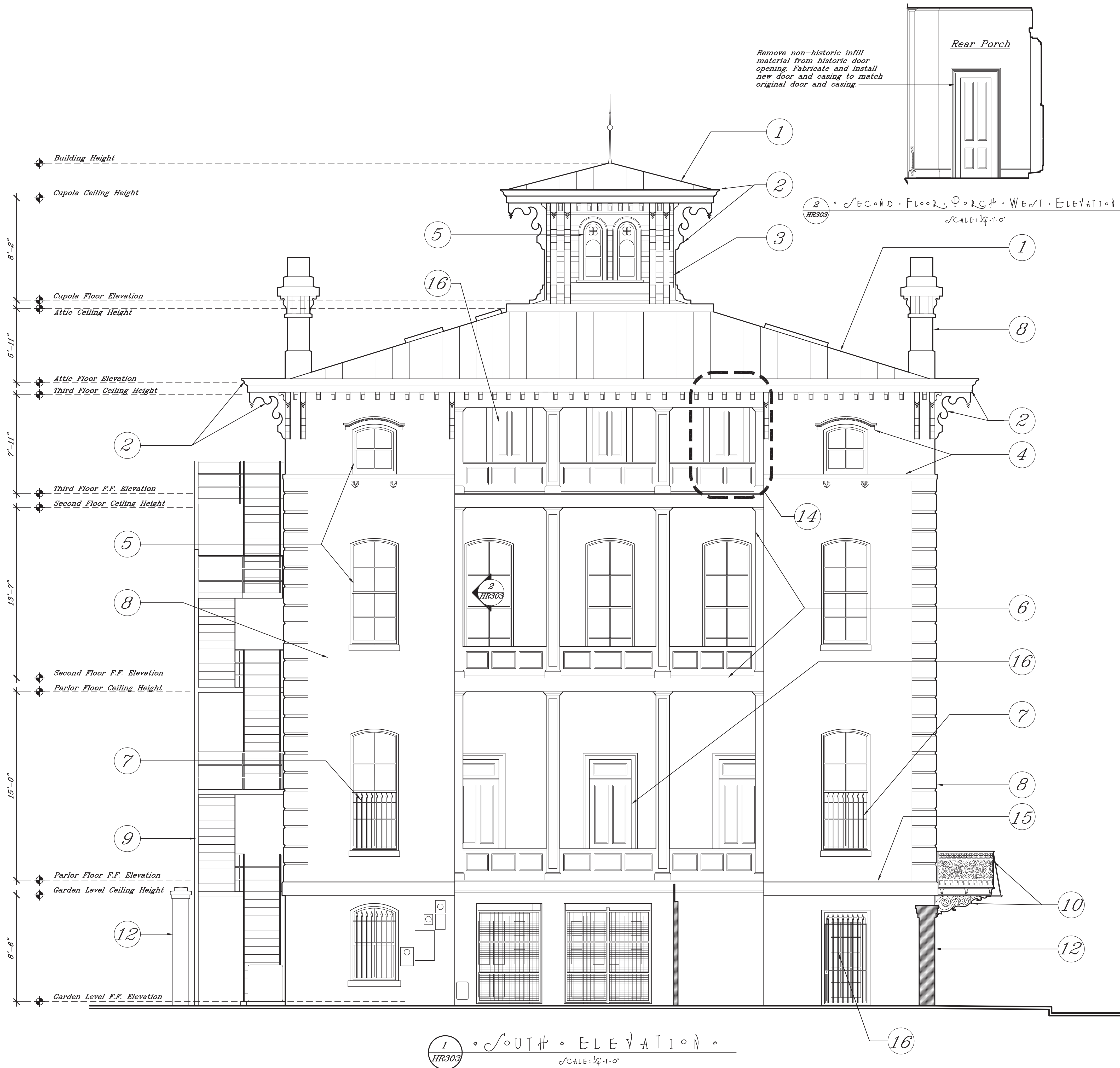
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Exterior Repairs and Restoration
3 W. GORDON STREET
The Noble Hardee Mansion
SAVANNAH, GEORGIA

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HR302



Exterior Repair and Renovation Notes

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Exterior Repairs and Restoration

3 W. GORDON STREET

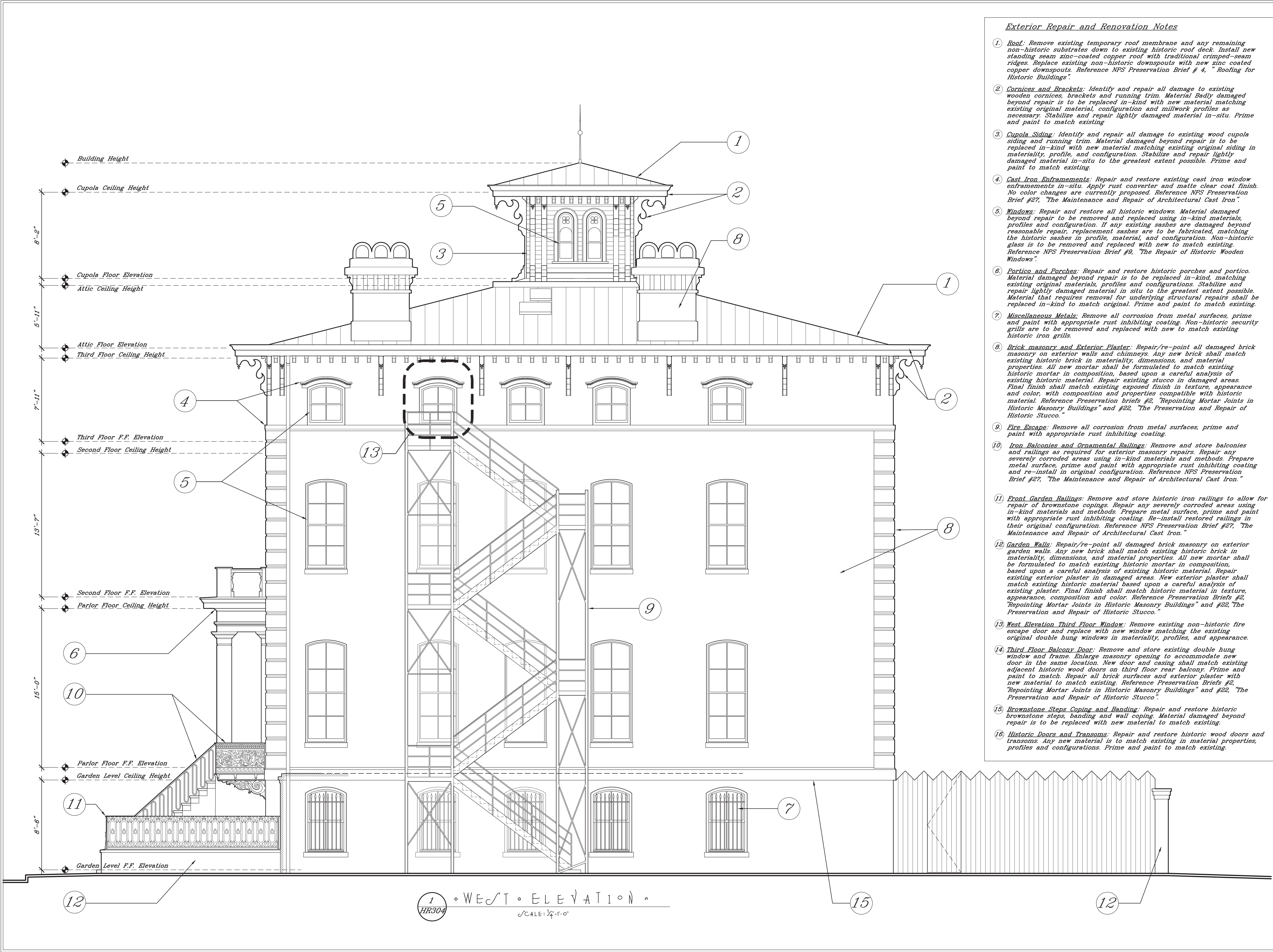
The Noble Hardee Mansion

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HR303



Exterior Repair and Restoration Notes

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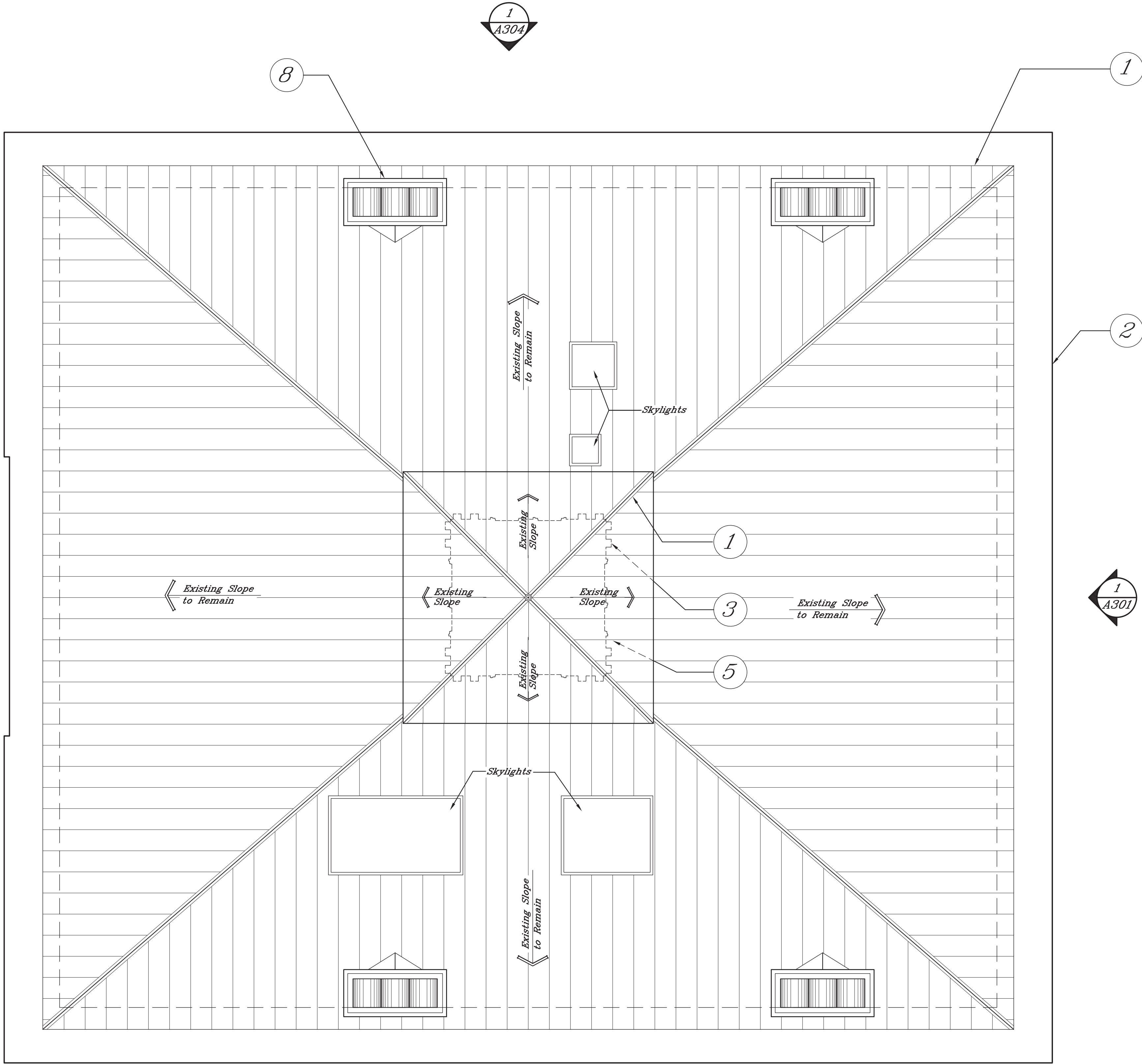
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1
A106
• ROOF • PLAN •
SCALE: 1/4" = 1'-0"

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14. **Third Floor Balcony Door:** Remove and store existing double hung window and frame. Enlarge masonry opening to accommodate new door in the same location. New door and casing shall match existing adjacent historic wood doors on third floor rear balcony. Prime and paint to match. Repair all brick surfaces and exterior plaster with new material to match existing. Reference Preservation Briefs #2, "Repointing Mortar Joints in Historic Masonry Buildings" and #22, "The Preservation and Repair of Historic Stucco".
15. **Brownstone Steps Coping and Banding:** Repair and restore historic brownstone steps, banding and wall coping. Material damaged beyond repair is to be replaced with new material to match existing.
16. **Historic Doors and Transoms:** Repair and restore historic wood doors and transoms. Any new material is to match existing in material properties, profiles and configurations. Prime and paint to match existing.

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Exterior Repairs and Restoration

3 W. GORDON STREET

The Noble Hardee Mansion

SAVANNAH, GEORGIA

Date of Publication:

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A106



View from West Gordon Street



View from West Gordon Street



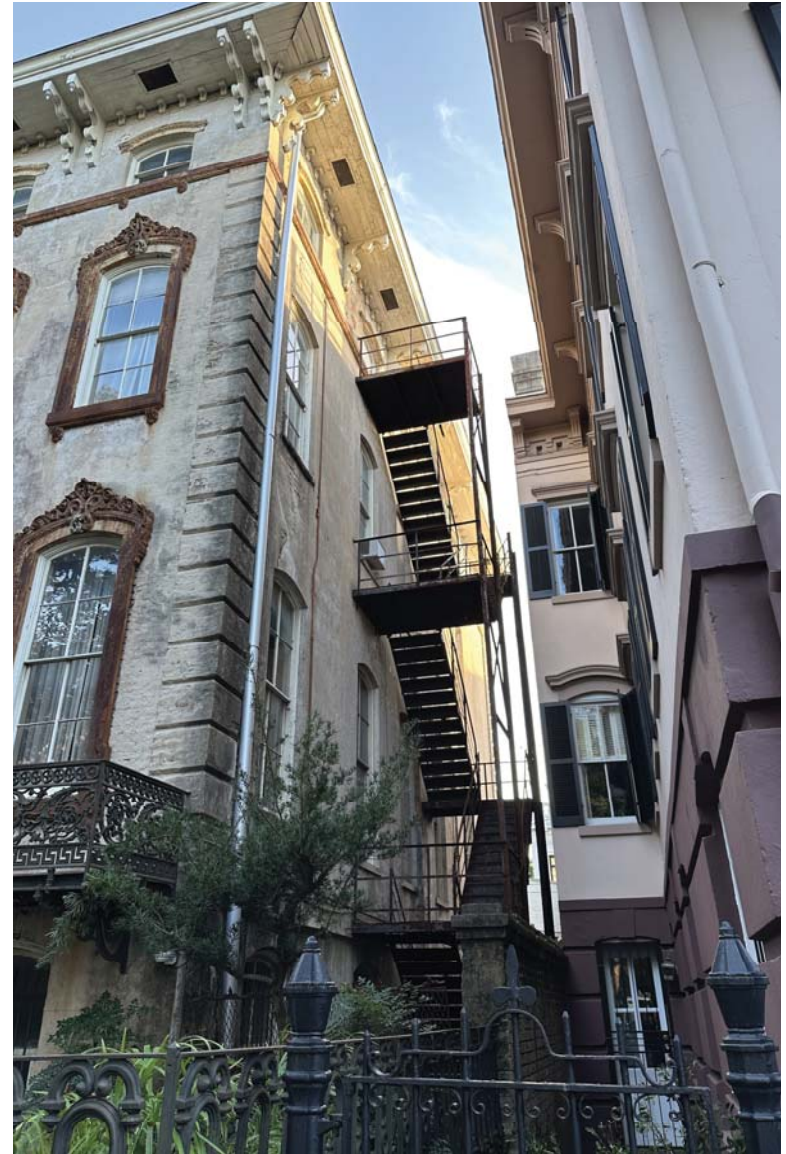
View from Bull Street



View from Bull Street



View of West Elevation from West Gordon Lane side.



View of West Elevation from Gordon Street side.



View of South Elevation from West Gordon Lane



View of South Elevation from Bull Street