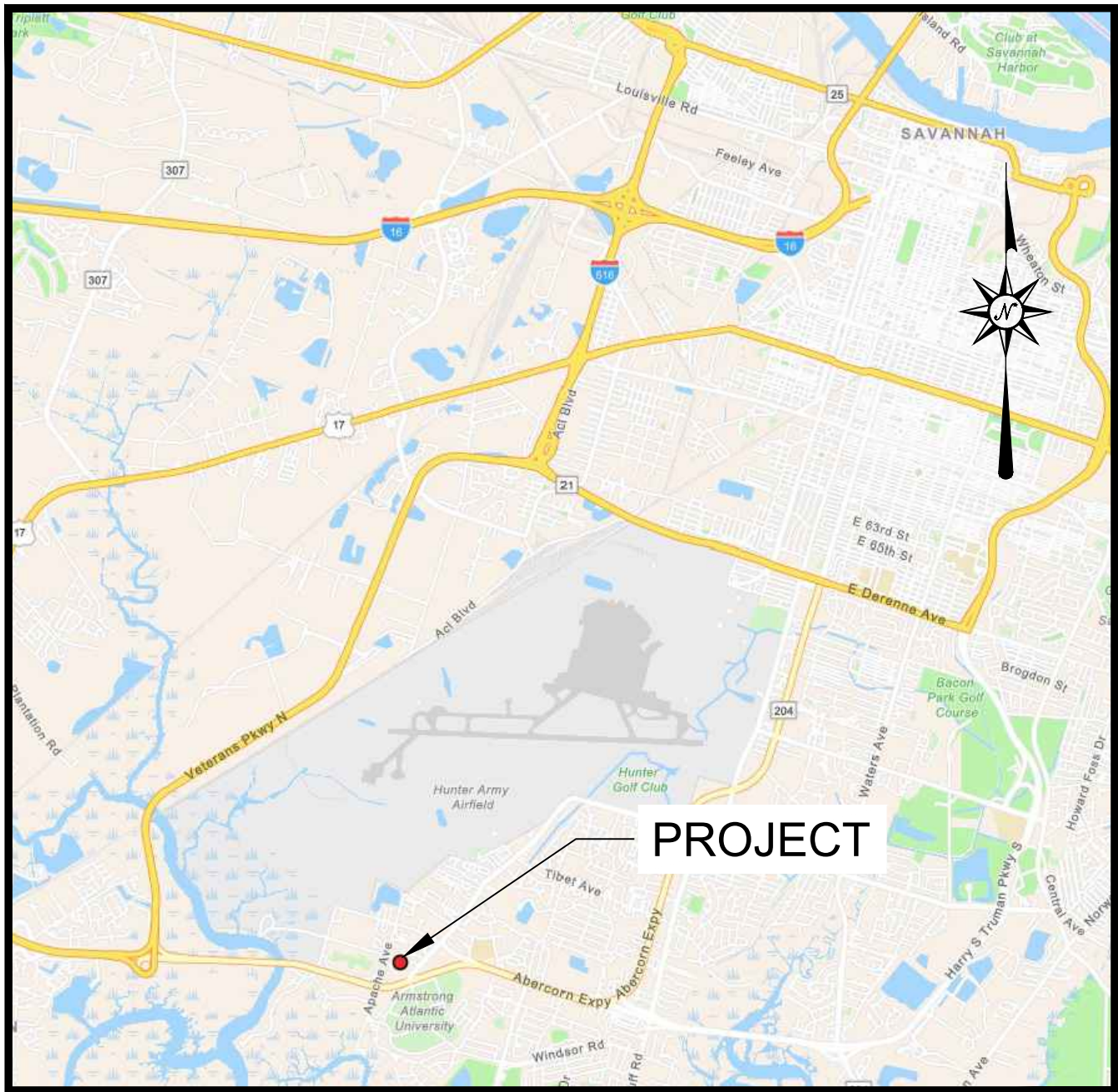


RAMSEY RUN APARTMENTS EXPANSION

1029 SHAWNEE AVE

SAVANNAH, GA 31405



SAVANNAH, GEORGIA

VICINITY SKETCH

NOT TO SCALE

SHEET INDEX

SHEET NO.	REV.	DESCRIPTION
C0	R1	COVER SHEET
S1	R0	SUBDIVISION RECORD MAP
S2	R1	EXISTING CONDITIONS
C1	R1	SITE LAYOUT PLAN
C2	R1	GRADING PLAN
C3	R1	UTILITY PLAN
C4	R1	SECTIONS AND DETAILS
C5	R1	SECTIONS AND DETAILS
C6	R1	SECTIONS AND DETAILS

LEGEND

P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING
(A)	ACTUAL
(R)	RECORD DEED
○ CRF	CAPPED REBAR FOUND
□ CMF	CONCRETE MONUMENT FOUND
SECT.	SECTION
T-	TOWNSHIP
R-	RANGE
R.O.W.	RIGHT-OF-WAY
⊙	SANITARY SEWER MANHOLE
- S -	UNDERGROUND SEWER LINE
- X -	FENCE
-//-	HOG WIRE FENCE
-□-	WOOD FENCE
- 278 -	EXISTING CONTOUR
X 270.66	EXISTING SPOT ELEVATION
- 278 -	PROPOSED CONTOUR
284.10	PROPOSED SPOT ELEVATION
- - -	FLOW LINE
- - -	PROPOSED FENCE
- - -	SETBACK LINE
- - -	TREE CLEARING LIMIT
- - -	PROPOSED STORM SEWER
- - -	PROPOSED ASPHALT PAVEMENT
- - -	PROPOSED CONCRETE PAVEMENT
- - -	PROPOSED RIP RAP
- - -	PROPOSED SOD

General Notes:

- A boundary and topographic survey is available and was prepared by others
- It shall be the obligation of the contractor to satisfy themselves as to the accuracy of the survey and existing utilities by personal examination of the site and the existing conditions. If the contractor disagrees with the survey or the existing conditions, they must notify in writing the Owner in advance of bidding or it is taken that the contractor accepts the survey or existing conditions as shown.
- Contractor shall protect all property corners and benchmark. If destroyed during construction, contractor shall replace at his expense.
- Contractor is responsible for any and all damage caused to existing improvements on site or off site due to the construction of this project. Contractor shall repair or replace any damaged existing improvements at his expense. Repairs shall be equal to or better than the existing conditions.
- Handicap symbols, signs, and ramps shall be installed in accordance with local, state, and ADA requirements. Maximum slope in handicap areas shall not exceed 2% in any direction.
- Contractor shall contact 811 AND all local utilities to locate all utilities within the work area prior to starting construction. Any conflicts shall be reported to the owner and engineer prior to starting construction. Contractor is responsible for fixing any utilities damaged during construction.
- Contractor shall obtain all permits and approvals prior to beginning construction.
- The Engineer, AML Consulting, LLC, shall not have authority over the contractor's work and/or responsibilities. The Engineer is not responsible for methods or procedures of construction selected by the contractor, or for safety precautions incident to the work of the contractor, or for any failure of the contractor to comply with laws, rules, regulations, ordinances, or codes applicable to the contractor furnishing and performing the work.

Demolition Notes:

- Contractor shall protect all property corners and benchmarks. If destroyed during construction, contractor shall replace at his expense.
- Contractor shall have all utilities located on and adjacent to the site prior to beginning work. All utilities shown are approximate.
- All existing improvements (paving, curb, sidewalks, inlets, etc.) Shall be demolished inside the demolition limits unless specified otherwise. All improvements outside demolition limits shall remain unless specified otherwise. Unless otherwise notes, demolition includes the removal of existing pavement, building footings, storm sewer, and underground utilities that are not in service. Existing utilities to remain operational shall be protected during construction.
- Contractor shall safeguard all existing utilities within adjacent

right-of-way and demolition limits.

- All demolition of existing improvements shall be hauled off and disposed of in a legal manner. Demolished concrete and paving shall not be incorporated into fill material.
- Contractor shall sawcut all existing paving at demolition limits shown on plan. Contractor shall assure a smooth, straight line cut. Concrete work (i.e., sidewalks and curbs and gutter) shall be removed beginning at closest construction joint or at property line, whichever is closer.
- All excavations on site shall be backfilled and compacted according to project specifications.
- For work in or near or within ROW, provide traffic control devices in accordance with GDOT standard drawings and specifications.
- All existing underground improvements (storm sewer, sanitary sewer, etc.) may not be shown. Contractor shall report to owner and engineer improvements found during construction for evaluation.
- Utilities taken out of service shall be completely removed from building areas and capped and plugged 2' below subgrade elevation in all other areas.

Site Layout Notes:

- All dimensions are to face of curb, edge of surfacing, edge of pavement (EOP), or as noted.
- Directional arrows and parking spaces striping shall be white. Handicap parking striping shall be blue, and symbol shall be white unless local codes indicate otherwise.
- All radii are 3' unless otherwise noted.
- Tie proposed drives to existing pavement, matching grade and assuring smooth transition.
- All signage shall be constructed in engineer grade retro-reflectivity or greater, according to the latest MUTCD (manual on uniform traffic control devices) standards.
- All street markers shall have 6-inch lettering.
- All paving within the ROW shall conform to City of Savannah standard specifications.
- The Public Works director or City Engineer shall be contacted 48 hours prior to any construction regarding roadways and/or storm drainage systems that will be placed on right-of-way.
- The Public Works Director, City Engineer, or his/her designees shall be responsible for inspecting and approving all roadways and storm drain systems, including curbs & gutters, valley gutters, manholes, signs, etc. that are installed within the right-of-way.

Site Preparation Notes:

A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED FOR THIS SITE. THE BELOW SITE PREPARATION RECOMMENDATIONS ARE FOR REFERENCE ONLY.

- In all areas to receive engineered fill, pavements, and structures (including storm sewer facilities and equipment pads), all trees, roots, topsoil and deleterious materials shall be removed. Topsoil shall be stripped and grubbed, and all unsuitable materials encountered shall be removed. Any material to be removed shall be hauled from the site in a legal manner.
- All buried structures encountered such as foundations, utility lines, septic tanks, etc. shall be removed and backfilled in accordance with requirements.
- Materials disturbed during clearing operations shall be stabilized in place or, if necessary, undercut to undisturbed materials and backfilled with properly compacted, approved structural fill.
- Areas that will receive fill supporting pavement or building structures shall be carefully proofrolled in the presence of a geotechnical representative with a heavy (40,000 # minimum), rubber-tired vehicle at the following times:
 - After an area has been stripped, and undercut if required, prior to the placement of any fill.
 - After grading an area to the finished subgrade elevation in a structure, building, or pavement area.
 - After areas have been exposed to any precipitation, and/or have been exposed for more than 48 hours.
- Requirements for structural fill placement shall be in accordance with the geotechnical engineer's recommendations. At a minimum, contractor shall place fill in loose lifts not to exceed 8" and compact with heavy compaction equipment to 98% maximum dry density as defined by ASTM D698 within +/- 2% of optimum moisture content for cohesive soils. For cohesionless soils with greater than 12% passing the #200 sieve, +/- 3% of optimum moisture content as defined above. For cohesionless soils with less than 12% passing the #200 sieve shall be compacted in accordance with the geotechnical engineer's recommendations.
- Maximum particle size for structural fill shall not exceed 4". Blast rock or shot rock may not be utilized as structural fill unless specified by the geotechnical engineer.
- Density testing shall be performed at a rate of one test per lift in 2,500 sf of fill in pavement areas, structures, and building areas, and one test per lift in 5,000 sf in all other areas with a minimum of three tests per lift. Trench backfill shall be tested at a rate of one test per 200 linear feet of trench backfill with a minimum of two tests per trench.
- Completed lifts of compacted material shall be proof-rolled with a loaded tandem axle on-road dump truck or equivalent to ensure stability.
- All areas to receive topsoil shall receive 4" depth of clean topsoil free of gravel, rocks, sticks, roots, or deleterious material.
- A geotechnical report has not been provided for this project.

Storm Drainage Notes:

- Roadway pipe material shall meet the requirements as set forth in the current edition of the Georgia Department of Transportation Standard Specifications for Highway Construction. RCP Material shall be class 3 (or as noted) reinforced concrete and must meet or exceed GDOT Standard Specifications.
- Reinforced concrete drainage structures shall be constructed in accordance with standard drawings and specifications provided by the Georgia Department of Transportation specifications and procedures.
- Pipe shall be laid and backfilled in accordance with Georgia Department of Transportation specifications and procedures.
- All PVC polyethylene storm drainage pipe shall be corrugated exterior smooth interior with o-ring gasketed bell-spigot joints watertight joints, ADS N-12, Contech A-2000, or approved equal. Compacted stone backfill required for PVC or other flexible storm sewer pipe under pavements.
- All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.

Utility Notes:

- Contractor is cautioned that all utilities on site may not be shown, and the utilities shown are approximate.
- The minimum horizontal clearance between water supply lines and sanitary sewer lines is 10 feet. The minimum vertical clearance between water supply lines and sanitary sewer lines is 2 feet.
- All utility trenches shall be backfilled with suitable fill and compacted per ASTM D-698 to 98% the maximum dry density within ±2% of optimum moisture content in 6" loose lifts.
- Where unsuitable soils are encountered for bedding or backfilling purposes, soil or a well graded stone shall be used to bed and backfill the utility.
- Water services shall be ductile iron pipe class 350 for 3" and greater and type k copper for all pipe less than 3".
- Backflow prevention shall be provided by the contractor on domestic water service, irrigation, and fire protection systems in accordance with the water authority requirements, specifications and procedures.
- Contractor shall install concrete thrust blocking at all tees, taps, and bends for 4" and large water lines.



Know what's below

Call before you dig

REVISION:	DATE:
ISSUED FOR REVIEW	12-9-25
SUBDIVISION, PICKLE BALL, WATER & SAN SEWER	2-16-26

AML

ENGINEERING & DEVELOPMENT SERVICES

P.O. BOX 43881 VESTAVIA, AL 35243

205-329-3934, AMLENG.COM

COVER SHEET

RAMSEY RUN APARTMENT EXPANSION

1029 SHAWNEE ST.

SAVANNAH, GA 31405

JARS LLC

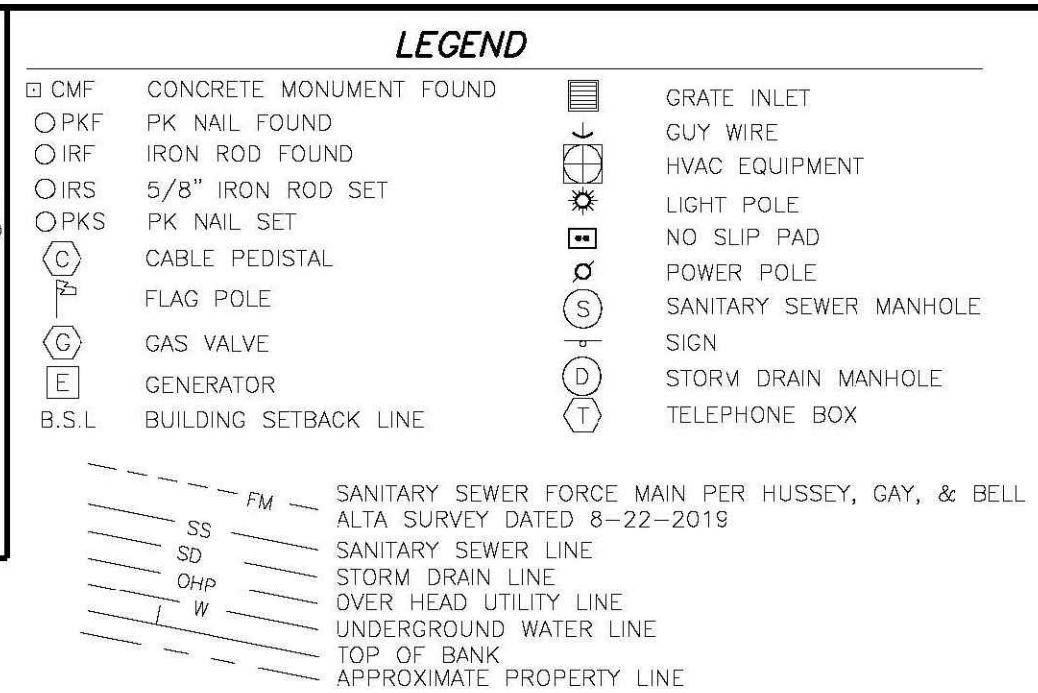
PRELIMINARY

NOT FOR

CONSTRUCTION

PROJECT NO:	JAR01
DATE:	12-9-25
DWG. NO. - REV.	

C0-R1

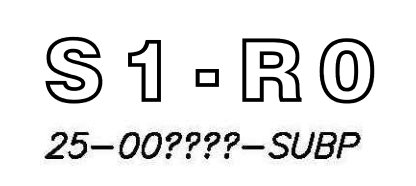


VICINITY MAP
NOT TO SCALE

1. ALL COORDINATES AND BEARINGS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, NAD 83, EAST ZONE.
2. ACCORDING TO THE FLOOD INSURANCE RATE MAP 13031002560, REVISED 08/16/2018, THIS PROPERTY LIES IN ZONE X, NOT A 100 YEAR FLOOD HAZARD AREA.
3. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
4. THIS PROPERTY IS SERVED BY CITY OF SAVANNAH WATER AND SEWER SYSTEMS.
5. THE BUILDING SETBACKS SHOWN WERE TAKEN FROM CITY OF SAVANNAH DEPARTMENT STANDARD SPECIFICATIONS FOR THE CITY OF SAVANNAH, <https://online.enr.complus.com/regis/savannah-ca/AUTOTABS.ASPX>. THE SETBACKS REFLECT THOSE REQUIRED FOR A SINGLE FAMILY DETACHED HOME. ZONING REQUIREMENTS CHANGE DEPENDING ON SEVERAL VARIABLES. THE SETBACKS SHOWN ARE FOR INFORMATION PURPOSES ONLY AND SHOULD NOT BE RELIED UPON WITHOUT CONFIRMING WITH THE CITY OF SAVANNAH AND THE METROPOLITAN PLANNING COMMISSION.
6. THE BUILDING SETBACK LINES, EASEMENTS, AND/OR BUFFERS, IF SHOWN HEREON, HAVE BEEN TAKEN FROM REFERENCE # 1 AND PLATS PROVIDED BY THE CLIENT. IT SHALL BE THE RESPONSIBILITY OF THE USER OF THIS DRAWING TO VERIFY ANY AND ALL BUILDING SETBACK LINES, EASEMENTS AND BUFFERS WITH THE PROPER AUTHORITIES BEFORE BEGINNING THE DESIGN OR CONSTRUCTION OF IMPROVEMENTS TO THE SITE. THIS SURVEYOR AND THIS FIRM ASSUME NO RESPONSIBILITY FOR THE DESIGN, PLACEMENT, STAKING, POSITIONING OR LAYOUT OF ANY PROPOSED STRUCTURE OR IMPROVEMENT TO THE SITE.
7. THE PUBLIC RECORDS REFERENCED WERE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
8. THE PARCEL TRACT TAX PARCEL NUMBER OF THIS PROPERTY IS 20845 01011.
9. THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND AVAILABLE DOCUMENTS. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
10. THIS DIVISION CONTAINS TOTAL AREA OF 6.919 ACRES
11. CARLSON BRX7 GPS RECEIVER ON THE EGPS NETWORK WAS USED TO ESTABLISH STATE PLANE COORDINATES AND BENCHMARK ONLY. THE CARLSON BRX7 GPS RECEIVER ON THE EGPS NETWORK HAS ADJUSTED REAL TIME KINEMATIC RELATIVE POSITIONAL ACCURACY OF HORIZONTAL 0.033+1PPM AND VERTICAL 0.049+1PPM.
12. IMPROVEMENTS EXIST ON PARCEL B THAT ARE NOT SHOWN FOR CLARITY PURPOSES.

STEPHEN CHAPIN FOR
RAMSEY RUN APARTMENTS, LLC, OWNER

JAMES CRAIG BREWER GA RLS# 3022 DATE



PROJECT #:	250646
FIELD DATE:	8/13/2025
PLAT DATE:	9/2/2025
LAST REVISED:	N/A
DRAWN BY:	JET
SCALE:	1"=40'
SHEET: 1 OF 1	

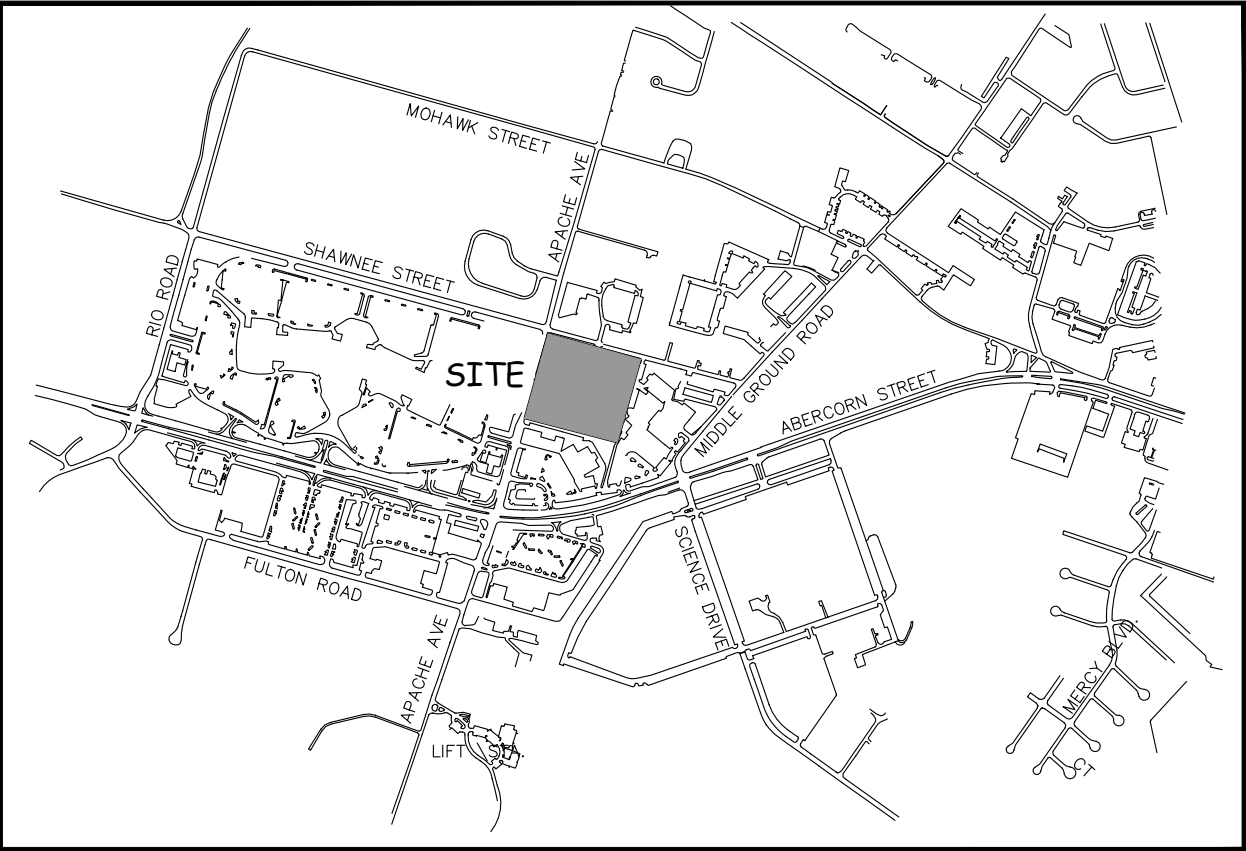
*PARCEL B, OF A RECOMBINATION OF THE SOUTHERN 20' OF LOT 66,
ALL OF LOTS 67, 68 & 69, FOREST RIVER FARMS SUBDIVISION
SIXTH G.M. DISTRICT, CITY OF SAVANNAH CHATHAM COUNTY, GEORGIA*

PREPARED FOR:

RAMSEY RUN APARTMENTS, LLC

PREPARED FOR:
IN APART

PREPARED FOR:
RAMSEY RUN APARTMENTS, LLC



EXISTING CONDITIONS
INFORMATION TAKEN FROM
SURVEY PROVIDED BY:
HUSSEY GAY BELL
329 COMMERCIAL DRIVE
SAVANNAH, GA 31406
912.354.4626

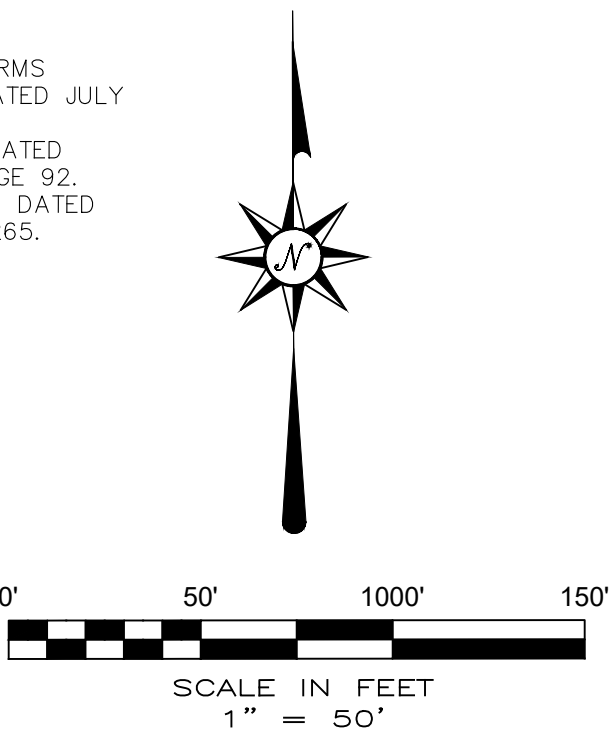
SURVEYOR'S NOTES:

1. IN THE SURVEYOR'S OPINION, IN ACCORDANCE WITH F.I.R.M. MAP NO. 13051C 0256G EFFECTIVE DATE AUGUST 16, 2018, THIS PROPERTY IS LOCATED IN "ZONE X" WHICH IS OUTSIDE OF THE 100 YEAR FLOOD PLAIN.
2. NO GUARANTEE, EITHER STATED OR IMPLIED IS MADE THAT THIS PROPERTY IS NOT SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTIONS, RESTRICTIONS, SUB-SURFACE CONDITIONS, OR ANY OTHER MATTERS OF TITLE THAT ARE NOT VISIBLE, NOT DISCLOSED, OR NOT DISCOVERED BY THE TITLE EXAMINATION.
3. THE SURVEY DOES NOT ADDRESS ANY WETLAND OR ENVIRONMENTAL ISSUES.
4. WETLANDS, IF ANY ON SITE, ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. ANY DISTURBANCE OF THESE PROTECTED AREAS, WITHOUT PROPER AUTHORIZATION AND PERMIT, IS SUBJECT TO PENALTY BY LAW.
5. PROPERTY IDENTIFICATION NUMBER: 2-0845-01-011.
6. THIS SITE WAS PREVIOUSLY ZONED PUD-M (PLANNED UNIT DEVELOPMENT, MULTI-FAMILY) AT THE TIME OF THE SURVEY.
7. UNDERGROUND FEATURES ARE SHOWN IN ACCORDANCE WITH THE FIELD LOCATION OF THE ABOVE GROUND, VISIBLE APPURTENANCES, HOWEVER, NO GUARANTEE CAN BE MADE AS TO EXACT LOCATION OR THAT ALL UNDERGROUND FEATURES ARE SHOWN. NO SUB-SURFACE LOCATION WAS PERFORMED.

8. SITE IS SERVED BY CITY OF SAVANNAH, GEORGIA SANITARY SEWER AND WATER SYSTEM.
9. THE LOCATIONS OF THE APPARENT POINTS OF ENTRY OF WATER, ELECTRIC, AND NATURAL GAS SERVICE AND THE POINT OF EXIT OF SANITARY SEWER SERVICE IS BASED ON VISIBLE ABOVE-GROUND APPURTENANCES (MANHOLES, POLES, VALVES, ETC.) AND DATA FROM PREVIOUS SURVEYS, MAPS & DEEDS OF RECORD AND NO GUARANTEE CAN BE MADE AS TO THEIR EXACTNESS. ALSO, ALTHOUGH TELEPHONE AND CABLE TELEVISION SERVICE BOXES WERE OBSERVED ON SITE, NO POINT OF ENTRY COULD BE DETERMINED.
10. APARTMENT BUILDINGS ARE THREE STORY FRAME, APPROXIMATELY 33 FEET HIGH.
11. THERE IS A TOTAL OF 228 PARKING SPACES ON SITE, 217 REGULAR AND 11 HANDICAP.
12. NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED DURING THE SURVEY.
13. THERE ARE NO PARTY WALLS ON SITE.

REFERENCE:

1. LIMITED WARRANTY DEED BY AND BETWEEN THE CEDARS, LTD. AND RAMSEY RUN APARTMENTS, LLC, DATED OCTOBER 27, 2004, RECORDED IN DEED BOOK 278-I, PAGE 21.
2. MINOR SUBDIVISION PLAT OF A PORTION OF FOREST RIVER FARMS BY HUSSEY, GAY, BELL, & DEYOUNG, CONSULTING ENGINEERS, DATED JULY 10, 2006, RECORDED IN SUBDIVISION MAP BOOK 36-S, PAGE 91.
3. PLAT OF FOREST RIVER FARMS SUBDIVISION BY M.H. FLOYD, DATED OCTOBER 1, 1945, RECORDED IN SUBDIVISION MAP BOOK "A", PAGE 92.
4. PLAT OF A PORTION OF FOREST RIVER FARMS BY S.P. KEHOE, DATED NOVEMBER, 1964, RECORDED IN PLAT RECORD BOOK "P", PAGE 265.



LEGAL DESCRIPTION
PARCEL "B"

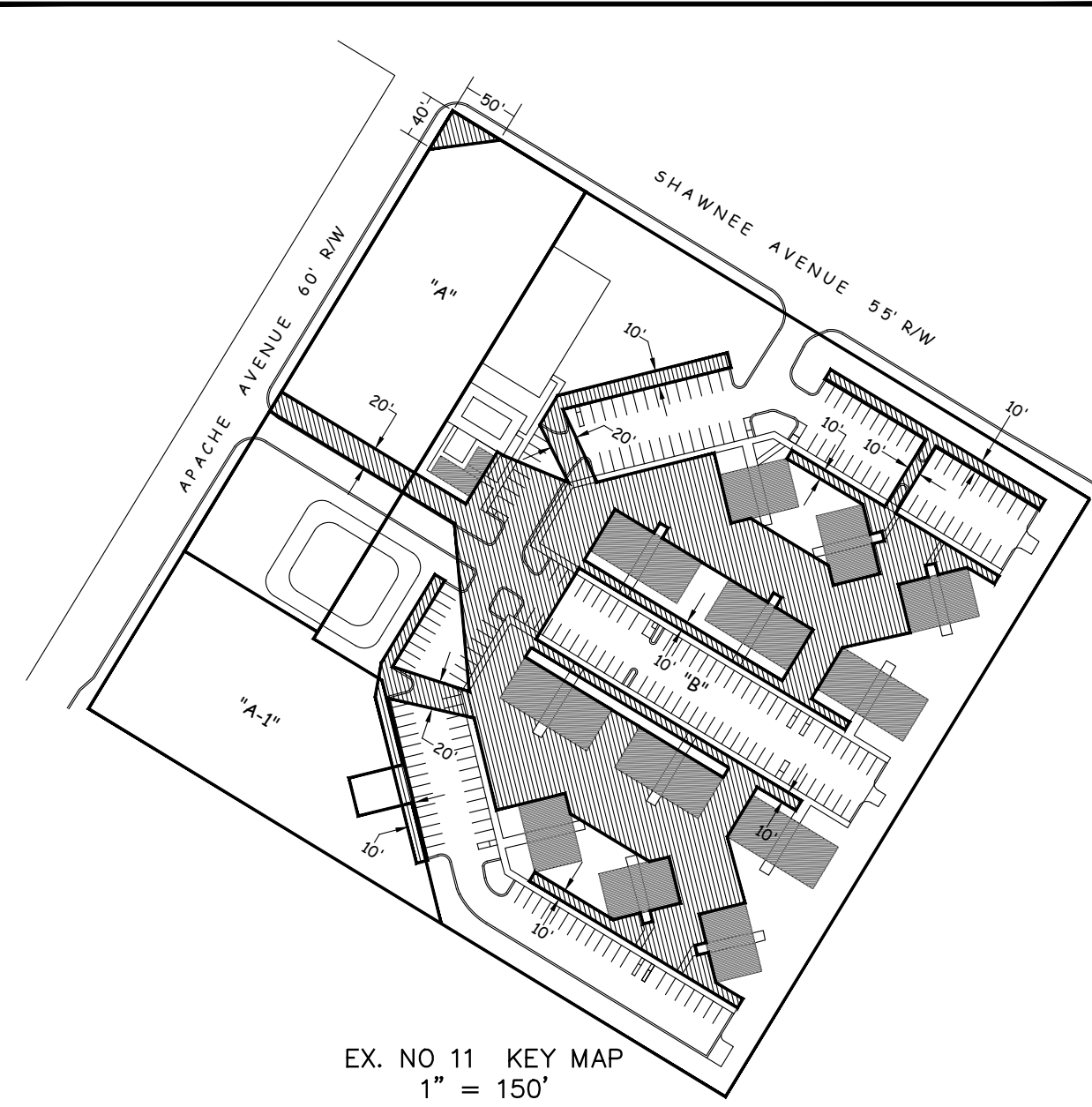
ALL THAT CERTAIN LOT, TRACT, OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE CITY OF SAVANNAH AND IN THE SIXTH G.M. DISTRICT OF THE COUNTY OF CHATHAM, STATE OF GEORGIA AND BEING SHOWN AS PARCEL "B", A 6.94 ACRE PARCEL ON THAT MAP OR PLAT ENTITLED "MINOR SUBDIVISION/RECOMBINATION OF THE SOUTHERN 20' OF LOT 66, AND ALL OF LOTS 67, 68, AND 69, FOREST RIVER FARMS SUBDIVISION, SIXTH G.M. DISTRICT, SAVANNAH, CHATHAM COUNTY, GEORGIA" PREPARED FOR RAMSEY RUN APARTMENTS, LLC BY JAMES M. SIMS, GRLS NO 2280, HUSSEY, GAY, BELL, & DEYOUNG, INC., DATED JULY 10, 2006 AND RECORDED IN SUBDIVISION MAP BOOK 36-S, FOLIO 91, CHATHAM COUNTY, GEORGIA, RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE EASTERN RIGHT OF WAY LINE OF APACHE AVENUE, A 60' PUBLIC RIGHT OF WAY, FORMERLY KNOWN AS EAST AVENUE, AND THE SOUTHERN RIGHT OF WAY LINE OF SHAWNEE AVENUE, A 55' PUBLIC RIGHT OF WAY, FORMERLY KNOWN AS SECOND AVENUE; THENCE EXTEND ALONG SAID SOUTHERN RIGHT OF WAY LINE OF SHAWNEE AVENUE, S74°40'00"E, A DISTANCE OF 138.00 FEET TO A 5/8" IRON PIN, WHICH IS THE **POINT OF BEGINNING** OF THE HERINAFTER DESCRIBED PROPERTY; THENCE CONTINUE S74°40'00"E, ALONG SAID SOUTHERN RIGHT OF WAY LINE, A DISTANCE OF 522.66 FEET TO AN OLD 3"x3" CONCRETE MARKER; THENCE S 15°20'00"W, A DISTANCE OF 620.00 FEET TO A 1/2" IRON PIN; THENCE N 74°40'00"W, A DISTANCE OF 294.72 FEET TO A 5/8" IRON PIN; THENCE N 29°41'10"W, A DISTANCE OF 110.00 FEET TO A 5/8" IRON PIN; THENCE S 60°18'50"W, A DISTANCE OF 49.00 FEET TO A 5/8" IRON PIN; THENCE N 60°18'50"E, A DISTANCE OF 49.00 FEET TO A 5/8" IRON PIN; THENCE N 29°41'10"W, A DISTANCE OF 77.00 FEET TO A 5/8" IRON PIN; THENCE N 74°40'00"W, A DISTANCE OF 71.22 FEET TO A 5/8" IRON PIN; THENCE N 15°20'00"E, A DISTANCE OF 463.38 FEET TO THE **POINT OF BEGINNING**.

TOGETHER WITH EASEMENT RIGHTS BENEFITING THE PROPERTY CONTAINED IN THAT EASEMENT AGREEMENT BY AND BETWEEN RAMSEY RUN APARTMENTS, LLC AND CHRISTOPHER WOODS, LLC DATED AS OF JANUARY 30, 2007 AND RECORDED IN DEED BOOK 320-V, PAGE 285, CHATHAM COUNTY RECORDS AND ALSO THAT EASEMENT AGREEMENT BY AND AMONG RAMSEY RUN APARTMENTS, LLC, CHRISTOPHER WOODS, LLC AND TROTTER GENERAL, LLC DATED JANUARY 20, 2011 AND RECORDED IN DEED BOOK 367-H, PAGE 301, CHATHAM COUNTY RECORDS; RE-RECORDED IN DEED BOOK 369-R, PAGE 574, CHATHAM COUNTY RECORDS; AND AS AMENDED BY THAT CERTAIN EASEMENT AGREEMENT DATED JANUARY 20, 2011 AND RECORDED IN DEED BOOK 370-J, PAGE 867, CHATHAM COUNTY RECORDS.

EXCEPTIONS FROM SCHEDULE B-PART B OF FIDELITY NATIONAL TITLE INSURANCE COMPANY
COMMITMENT NO. 16304-30, EFFECTIVE DATE JUNE 27, 2019:

9. SUCH STATE OF FACTS AS SHOWN ON PLATS RECORDED IN SUBDIVISION MAP BOOK 36-S, PAGE 91 AND SUBDIVISION MAP BOOK 42-S, PAGE 44. (AFFECTS SUBJECT PROPERTY AND SHOWN HEREON)
10. EASEMENT IN FAVOR OF SAVANNAH ELECTRIC AND POWER COMPANY DATED APRIL 12, 1982 AND RECORDED IN DEED BOOK 118-P, PAGE 864. (AFFECTS SUBJECT PROPERTY AND SHOWN HEREON)
11. EASEMENT IN FAVOR OF SAVANNAH ELECTRIC AND POWER COMPANY DATED JANUARY 18, 1990 AND RECORDED IN DEED BOOK 147-G, PAGE 573, AS RE-RECORDED IN DEED BOOK 183-K, PAGE 272 AND REFERENCED PLAT RECORDED IN PLAT BOOK 4-P, PAGE 11. (AFFECTS SUBJECT PROPERTY AND SHOWN HEREON-THE PLAT REFERRED TO, PB 11-P, PG. 100 IS INCORRECT, THE EASEMENT LAYOUT WAS FOUND ON PB 4-P, PG. 11)
12. EASEMENT AGREEMENT BETWEEN RAMSEY RUN APARTMENTS, LLC AND CHRISTOPHER WOODS, LLC, DATED JANUARY 30, 2007 AND RECORDED IN DEED BOOK 320-V, PAGE 285. (AFFECTS SUBJECT PROPERTY AND SHOWN HEREON TO THE EXTENT PLOTTABLE)
13. EASEMENT AGREEMENT BY AND AMONG RAMSEY RUN APARTMENTS, LLC, CHRISTOPHER WOODS, LLC AND TROTTER GENERAL, LLC, DATED JANUARY 20, 2011 AND RECORDED IN DEED BOOK 367-H, PAGE 301, RE-RECORDED IN DEED BOOK 369-R, PAGE 574 AND AS AMENDED BY THAT CERTAIN EASEMENT AGREEMENT DATED JANUARY 20, 2011 AND RECORDED IN DEED BOOK 370-J, PAGE 867. (AFFECTS SUBJECT PROPERTY AND SHOWN HEREON TO THE EXTENT PLOTTABLE)
14. GRANT OF EASEMENT BETWEEN COMCAST OF GEORGIA/SOUTH CAROLINA, INC. AND RAMSEY RUN APARTMENTS, LLC, DATED MAY 16, 2011 AND RECORDED IN DEED BOOK 371-J, PAGE 1. (EASEMENT "IN GROSS" AFFECTS SUBJECT PROPERTY AND APPEARS TO BE "BLANKET")
15. EASEMENT FROM RAMSEY RUN APARTMENTS, LLC TO GEORGIA POWER COMPANY, DATED JANUARY 6, 2012 AND RECORDED IN DEED BOOK 375-W, PAGE 521. (AFFECTS SUBJECT PROPERTY AND SHOWN HEREON)



LEGEND SYMBOLOLOGY	
IP = 5/8" IRON PIN SET	GRATE INLET
CMF = CONCRETE MONUMENT FOUND - 3' X 3'	SANITARY SEWER MANHOLE
IPF = IRON PIN FOUND	SIGN
GAS VALVE	POWER POLE
STORM MANHOLE	LIGHT POLE
FIRE HYDRANT	ELECTRIC TRANSFORMER
FLAG POLE	AIR COND. UNIT
CLEANOUT (SANITARY)	CABLE TV BOX
CURB INLET	POB = POINT OF BEGINNING POC = POINT OF COMMENCING



REVISION:	DATE:
ISSUED FOR REVIEW	12-9-25
SUBDIVISION, PICKLE BALL, WATER & SAN SEWER	2-18-26

ENGINEERING & DEVELOPMENT SERVICES

P.O. BOX 43081 VESTAVIA, AL 35243

205.329.3934, AMLENG.COM

EXISTING CONDITIONS PLAN

RAMSEY RUN APARTMENT EXPANSION

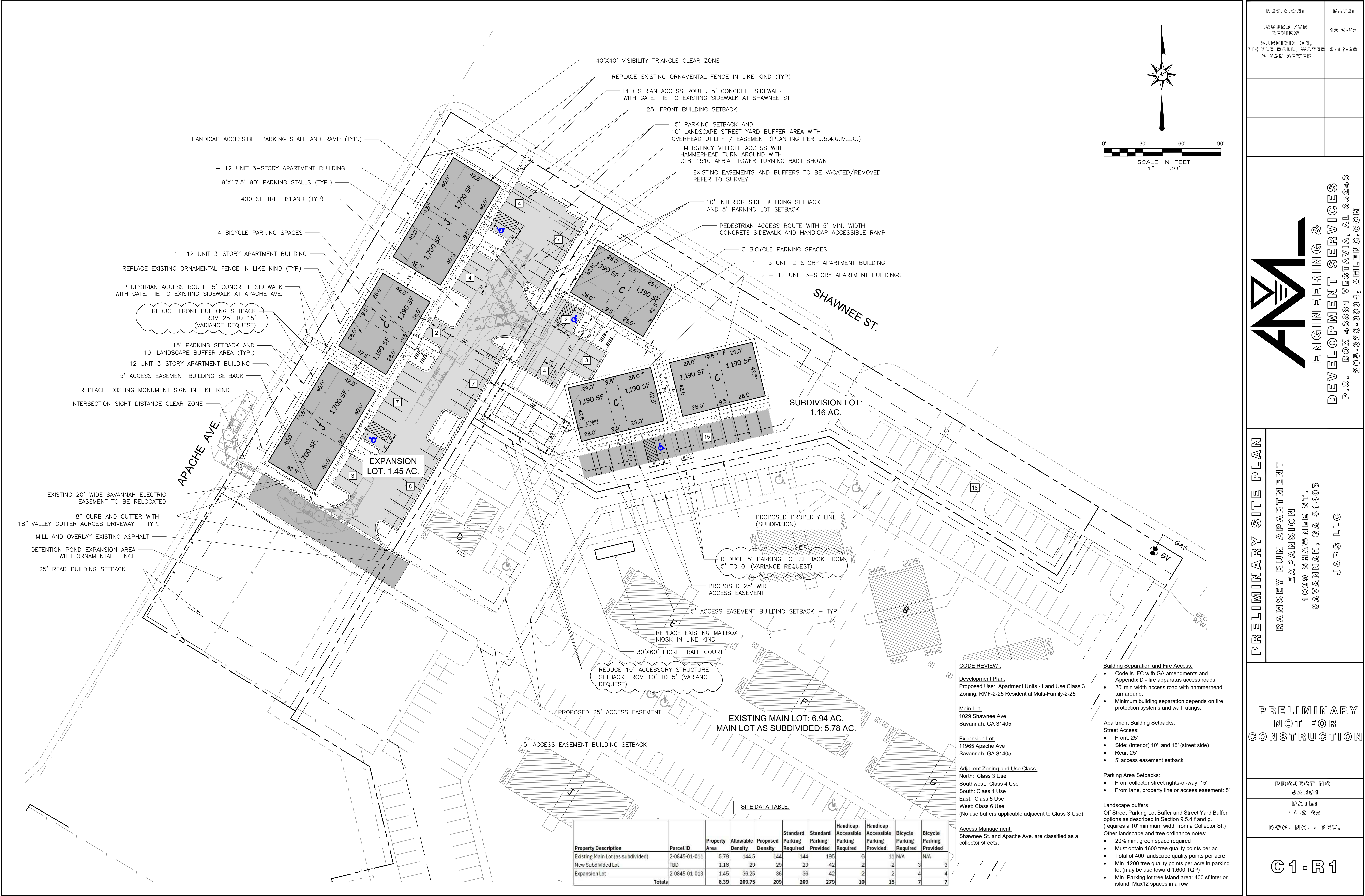
1029 SHAWNEE ST. SAVANNAH, GA 31405

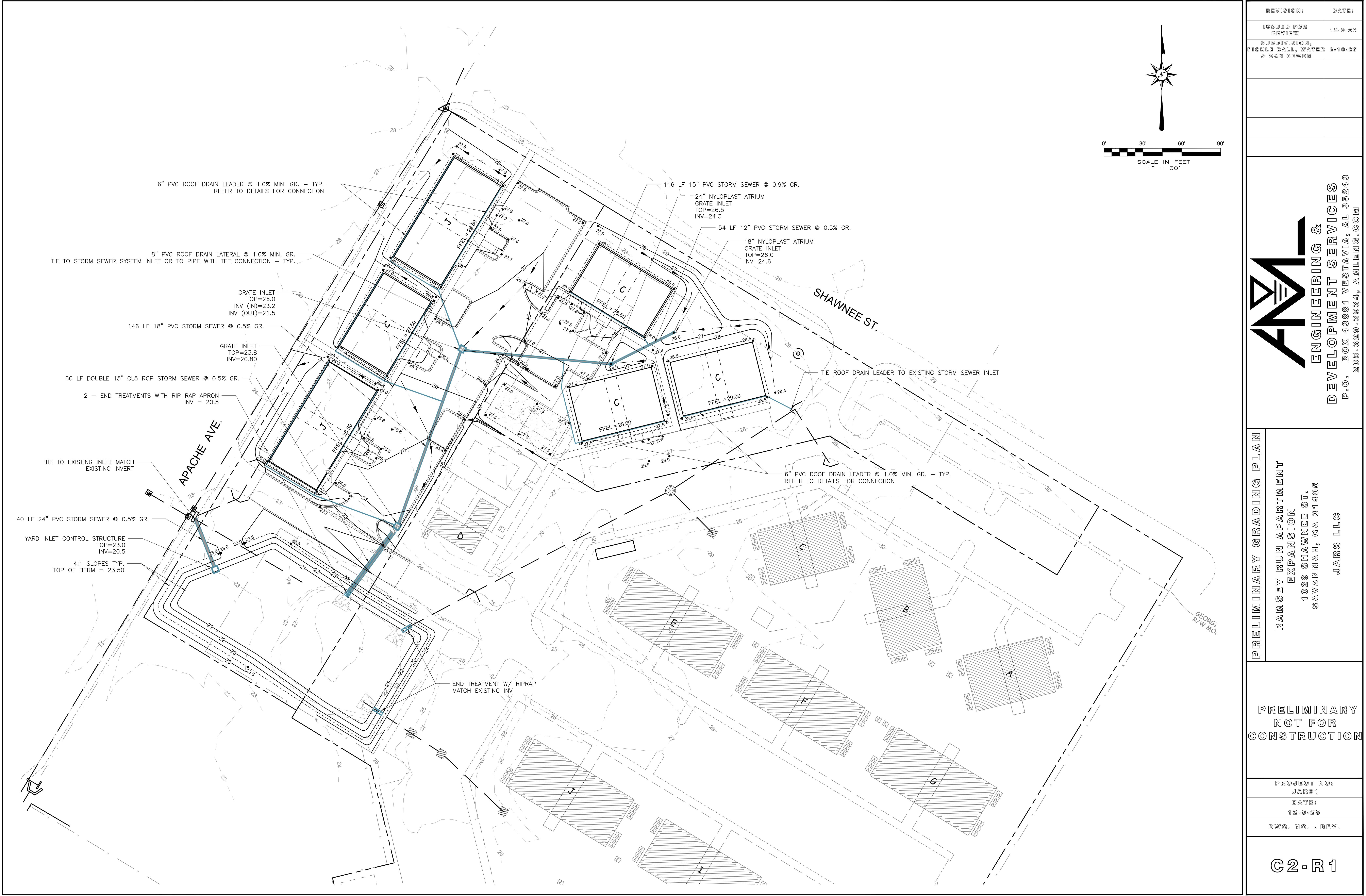
JARS LLC

CONCEPTUAL
NOT FOR
CONSTRUCTION

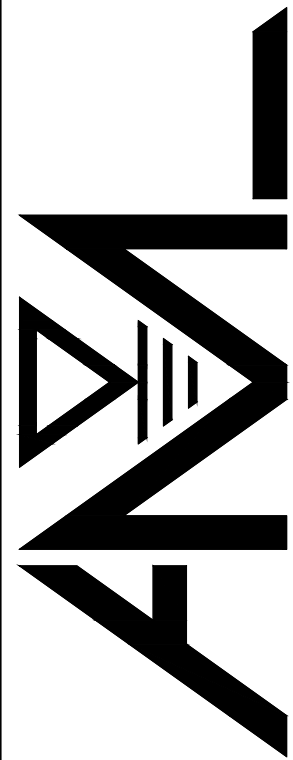
PROJECT NO: JAR01
DATE: 12-9-25
DWG. NO. - REV.

S2-R1





REVISION:	DATE:
ISSUED FOR REVIEW	12-9-25
SUBDIVISION, PICKLE BALL, WATER & SAN SEWER	2-16-26



ENGINEERING &
DEVELOPMENT SERVICES

P.O. BOX 43881 VESTAVIA, AL 35243
205-329-3934, AMLENG.COM

PRELIMINARY GRADING PLAN

RAMSEY RUN APARTMENT
EXPANSION

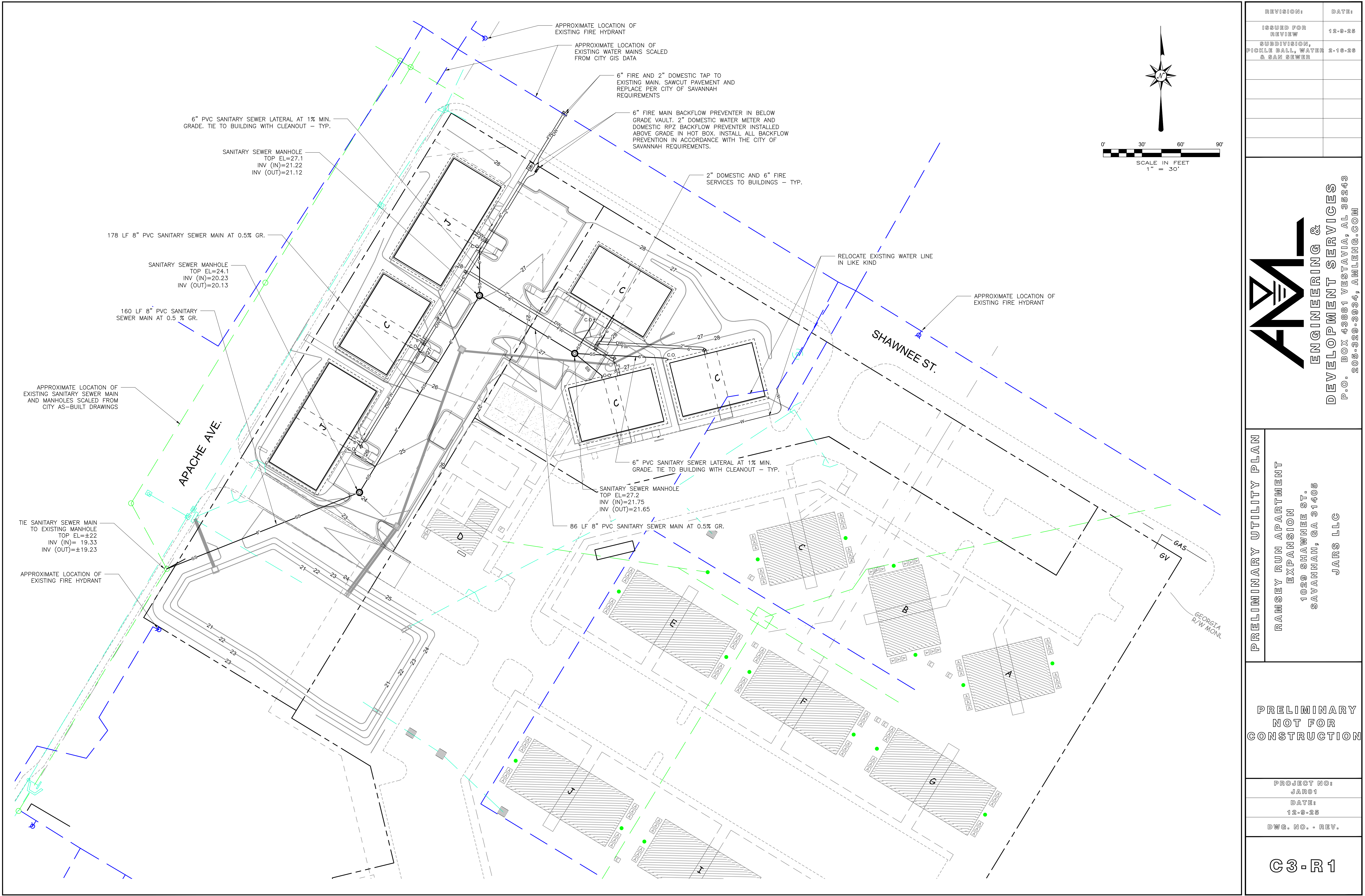
1029 SHAWNEE ST.
SAVANNAH, GA 31405

JARS LLC

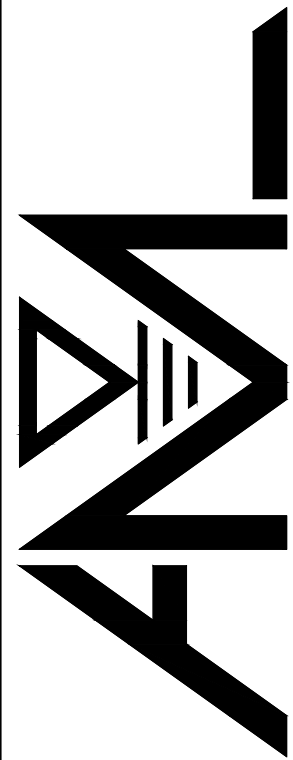
PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT NO: JAR01
DATE: 12-9-25
DWG. NO. - REV.

C2-R1



REVISION:	DATE:
ISSUED FOR REVIEW	12-9-25
SUBDIVISION, PICKLE BALL, WATER & SAN SEWER	2-16-26



ENGINEERING &
DEVELOPMENT SERVICES

P.O. BOX 43881 VESTAVIA, AL 35243
205-329-3934, AMLENG.COM

PRELIMINARY UTILITY PLAN

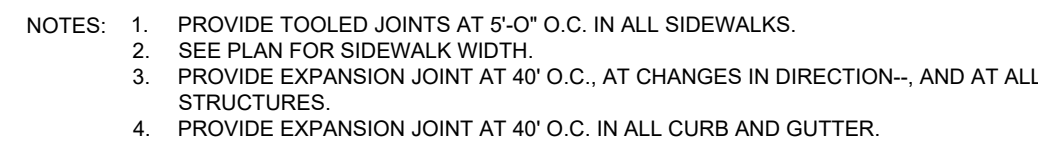
RAMSEY RUN APARTMENT
EXPANSION
1029 SHAWNEE ST.
SAVANNAH, GA 31405

JARS LLC

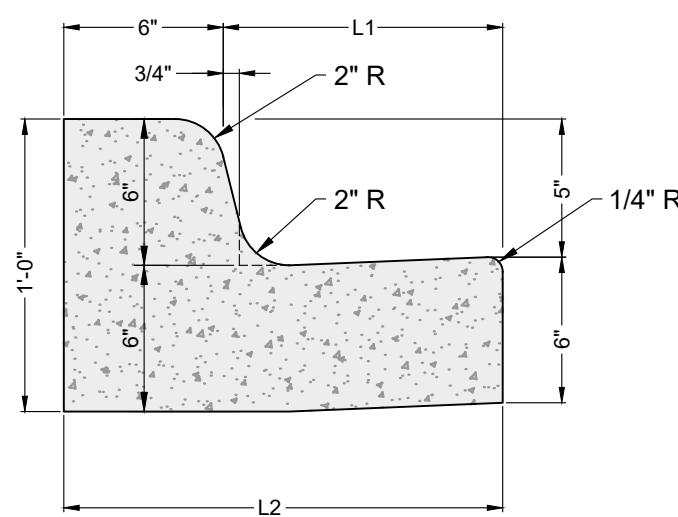
PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT NO: JAR01
DATE: 12-9-25
DWG. NO. - REV.

C3-R1

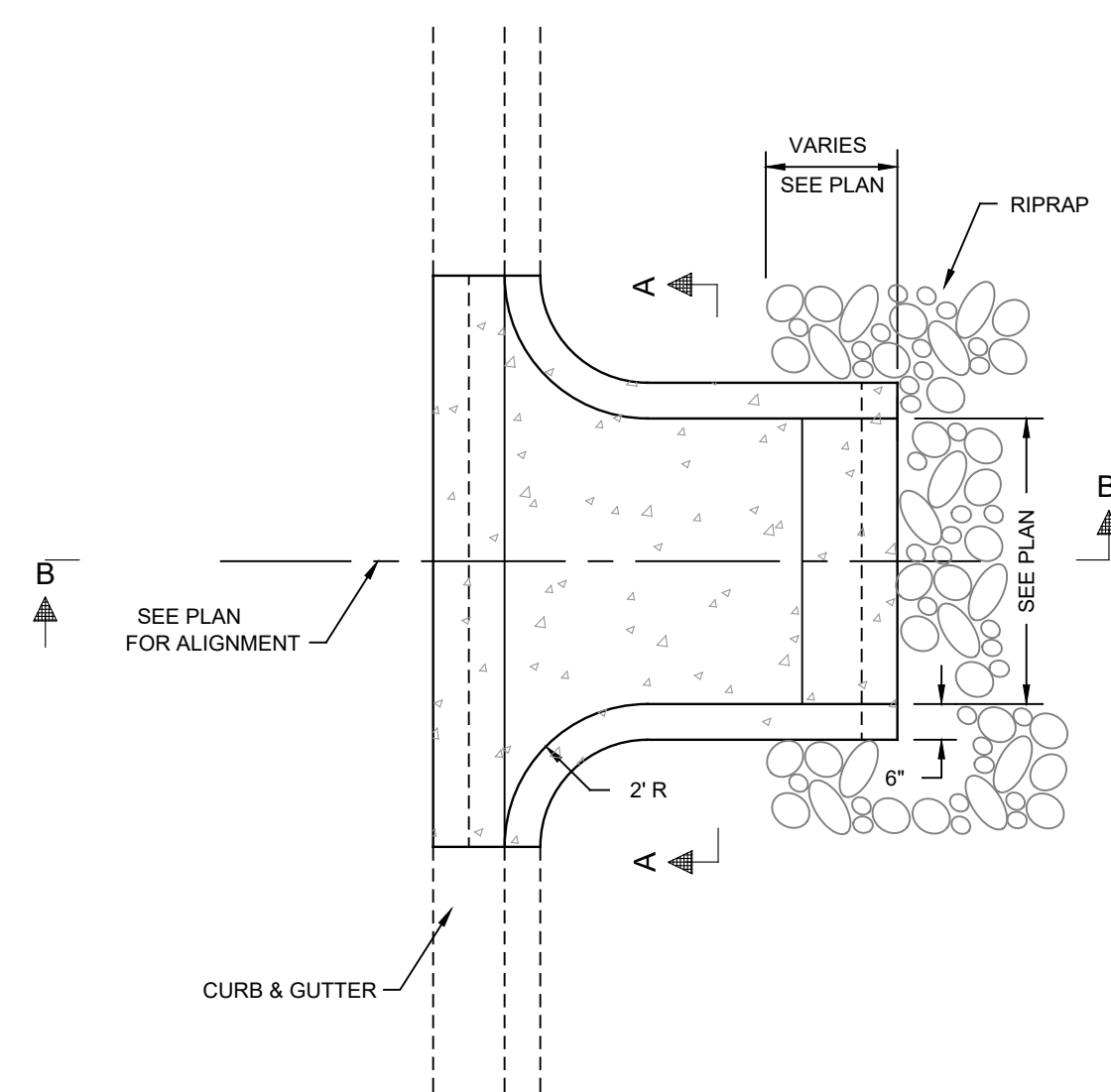
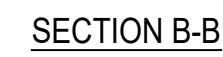


TURNDOWN SIDEWALK EDGE DETAIL N.T.S.

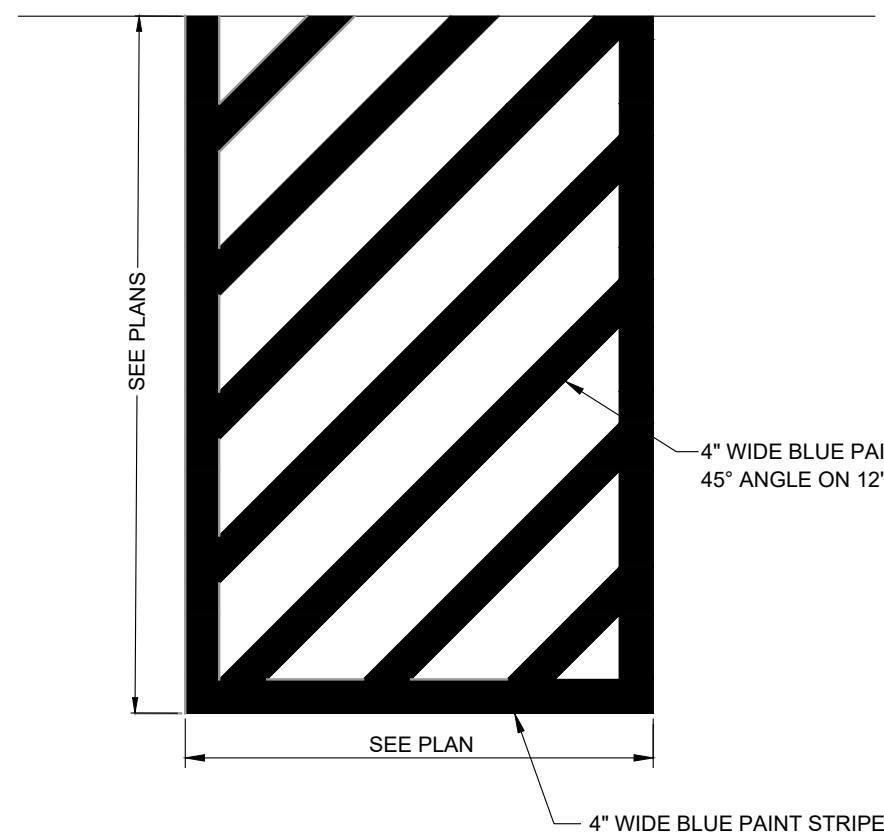


DIMENSIONS		
TYPE	L1	L2
18"	12"	18"
24"	18"	24"
30"	24"	30"

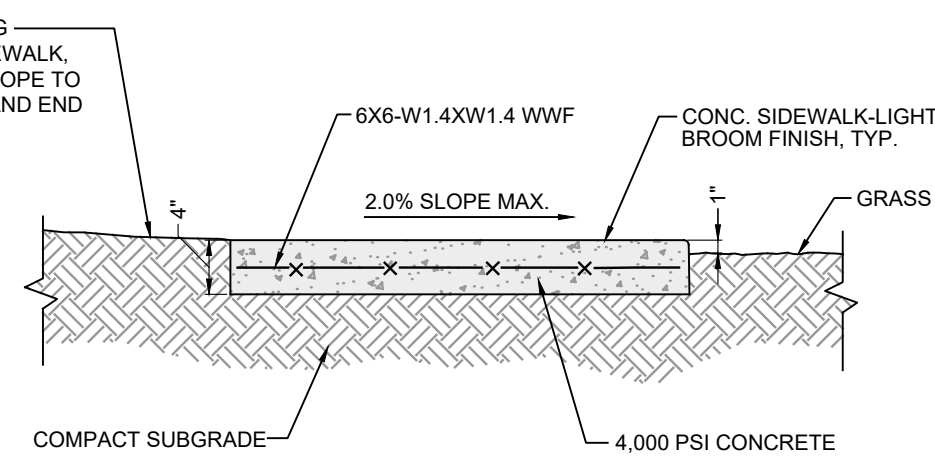
VERTICAL CURB AND GUTTER DETAIL N.T.S



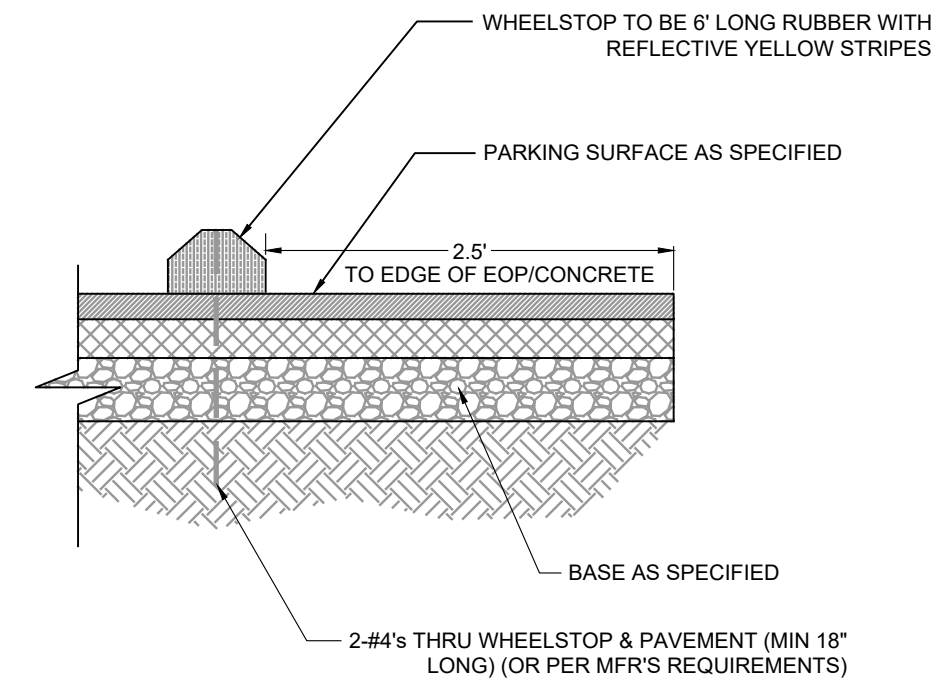
CONCRETE FLUME AT CURB DETAIL N.T.S.



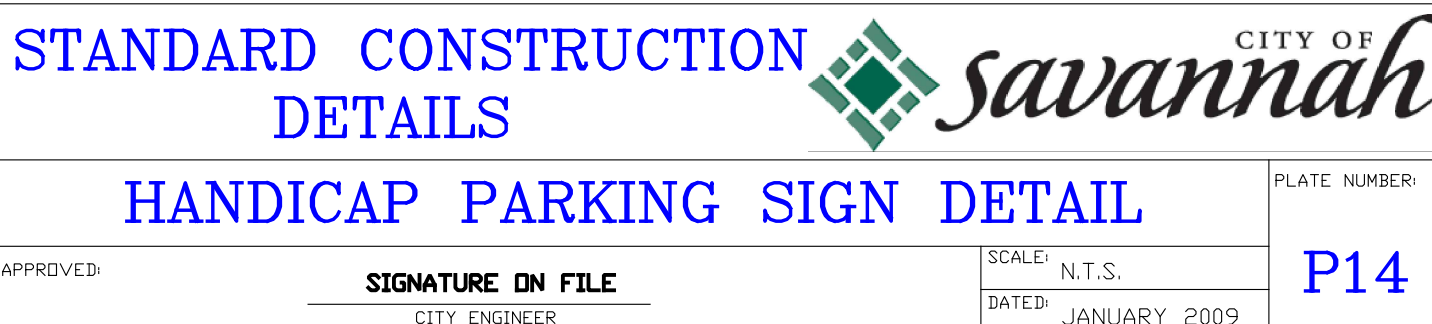
ACCESSIBLE PAINT SYMBOL LAYOUT	N.T.S.
--------------------------------	--------



SIDEWALK DETAIL N.T.S.

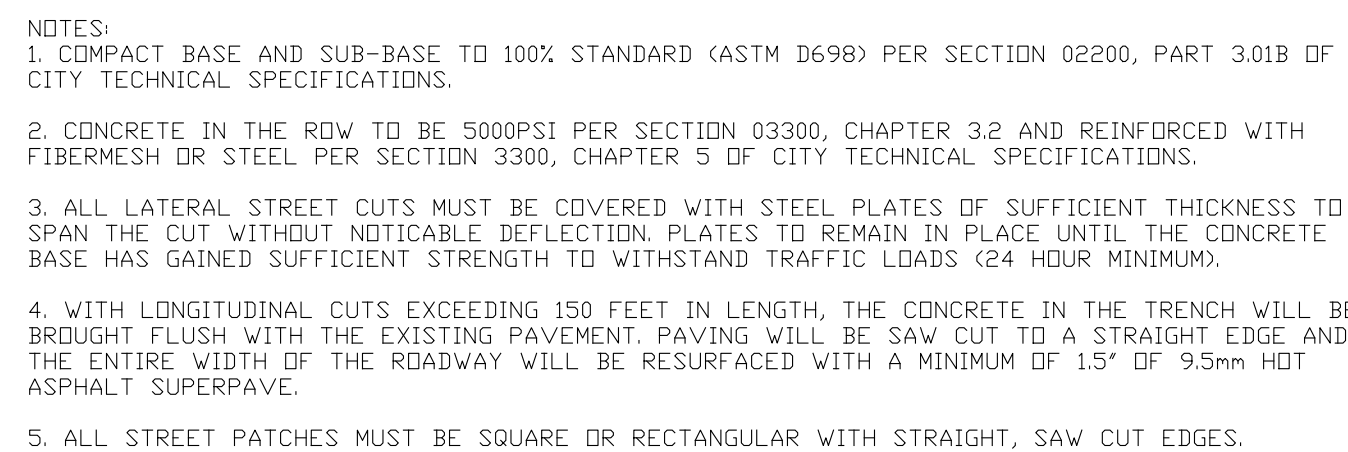
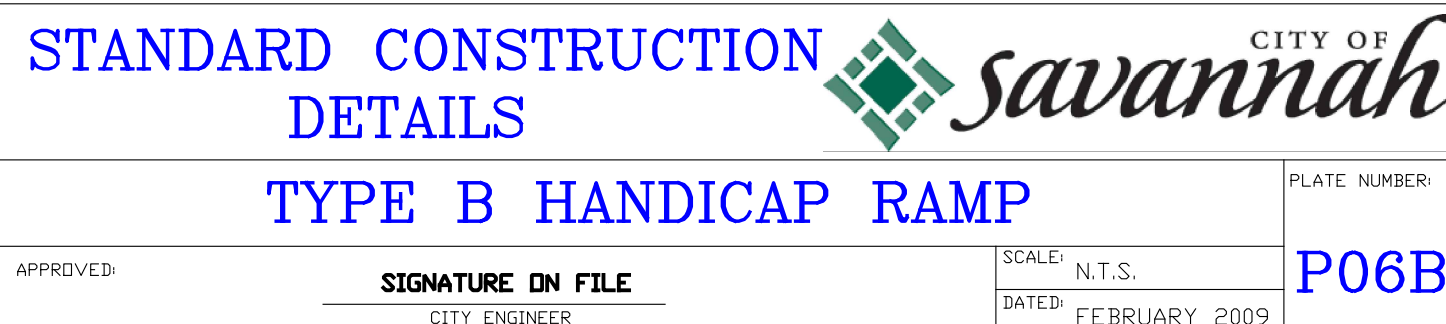


WHEEL STOP DETAIL	N.T.S.
-------------------	--------



DETECTABLE WARNING DETAIL

1. HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE AND CITY OF SAVANNAH CODES AND SPECIFICATIONS.
2. SURFACES SHALL MEET THE GUIDELINES OF THE ADA STANDARDS FOR ACCESSIBILITY, APPENDIX A, PART 36.
3. THE SLOPE OF THE GUTTER MUST NOT EXCEED 1:60 ADJACENT TO THE RAMP.
4. DETECTABLE WARNINGS SHALL CONSIST OF RAISED/UNICUTTED DOMES WITH A DIAMETER OF NOMINAL .90 INCHES, A HEIGHT OF NOMINAL .02 INCHES AND CENTER TO CENTER SPACING OF NOMINAL 23.0 INCHES AND SHALL CONTRAST VISUALLY WITH ADJACENT SURFACES. IF THE SIDEWALK AND RAMP ARE CONSTRUCTED OF CONCRETE, THE WARNING AREA SHALL BE SET IN COLOR. IF THE SIDEWALK AND RAMP ARE CONSTRUCTED OF RED BRICK, THE WARNING AREA SHALL BE GREY IN COLOR. THE COLOR USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE CURB WALKING SURFACE.
5. BRICK PAVEMENT SHALL BE SET IN A WET RAMP. THE RED BRICK SHALL BE PLACED ON CONCRETE, THE CONCRETE SHALL BE A MINIMUM OF FOUR INCHES THICK.



STANDARD CONSTRUCTION DETAILS
BITUMINOUS PAVEMENT REPLACEMENT

[illegible]

**AMLENG &
ENGINEERING SERVICES**
P.O. BOX 43881 VESTAVIA, AL 35243
205-329-3934, AMLENG.COM

SECTIONS AND DETAILS

RAMSEY RUN APARTMENT EXPANSION

1029 SHAWNEE ST.
SAVANNAH, GA 31405

JARS LLC

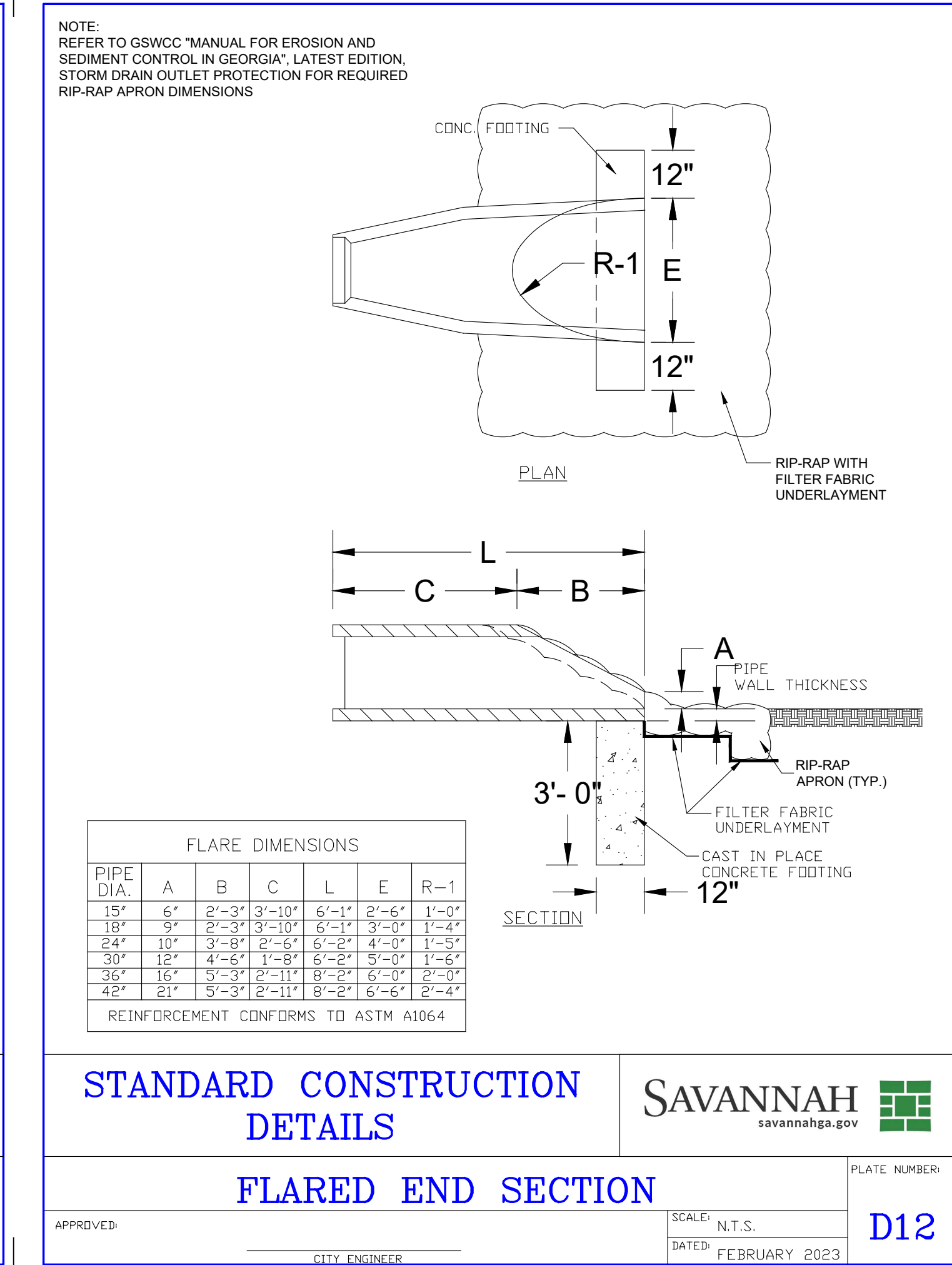
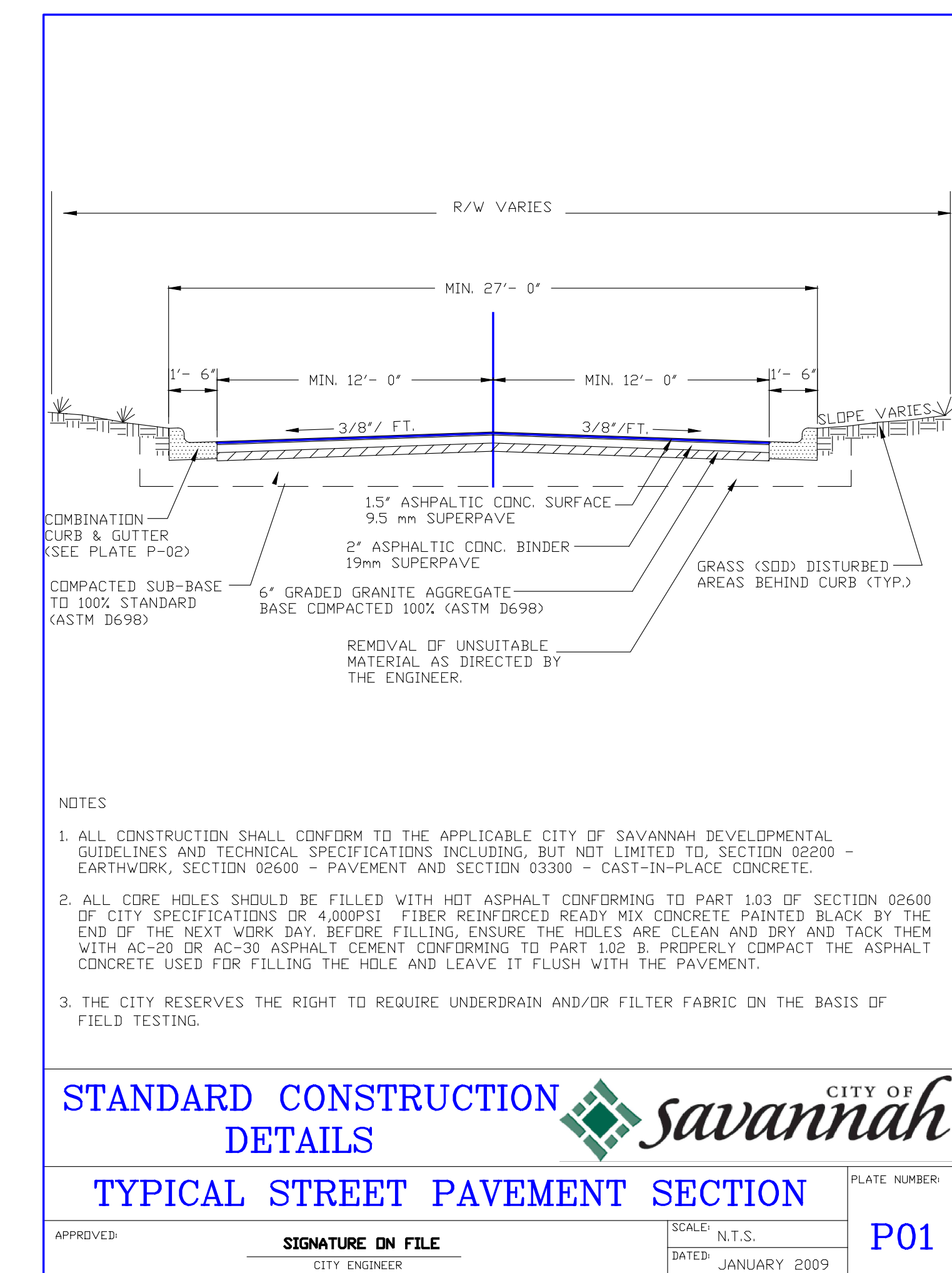
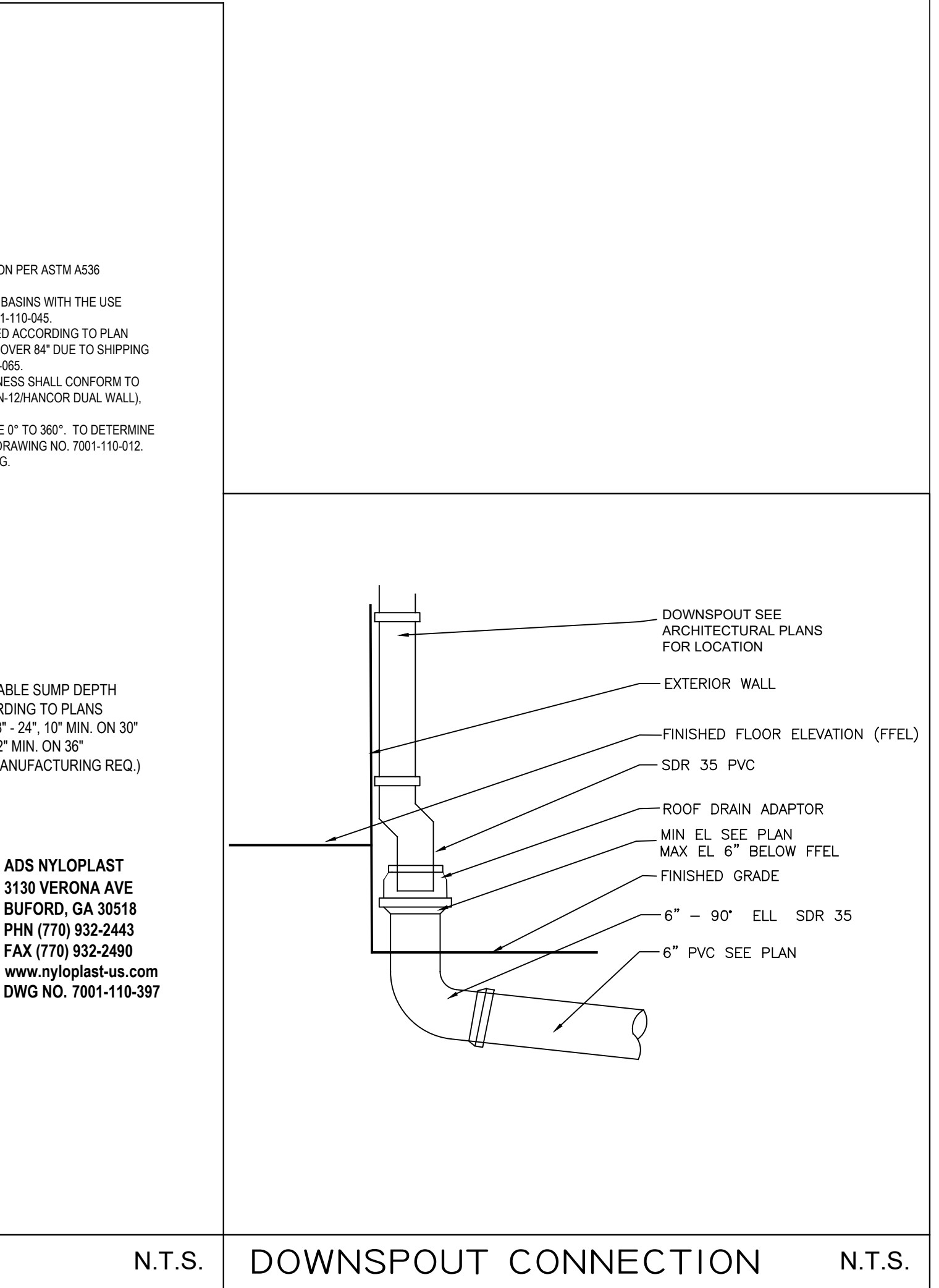
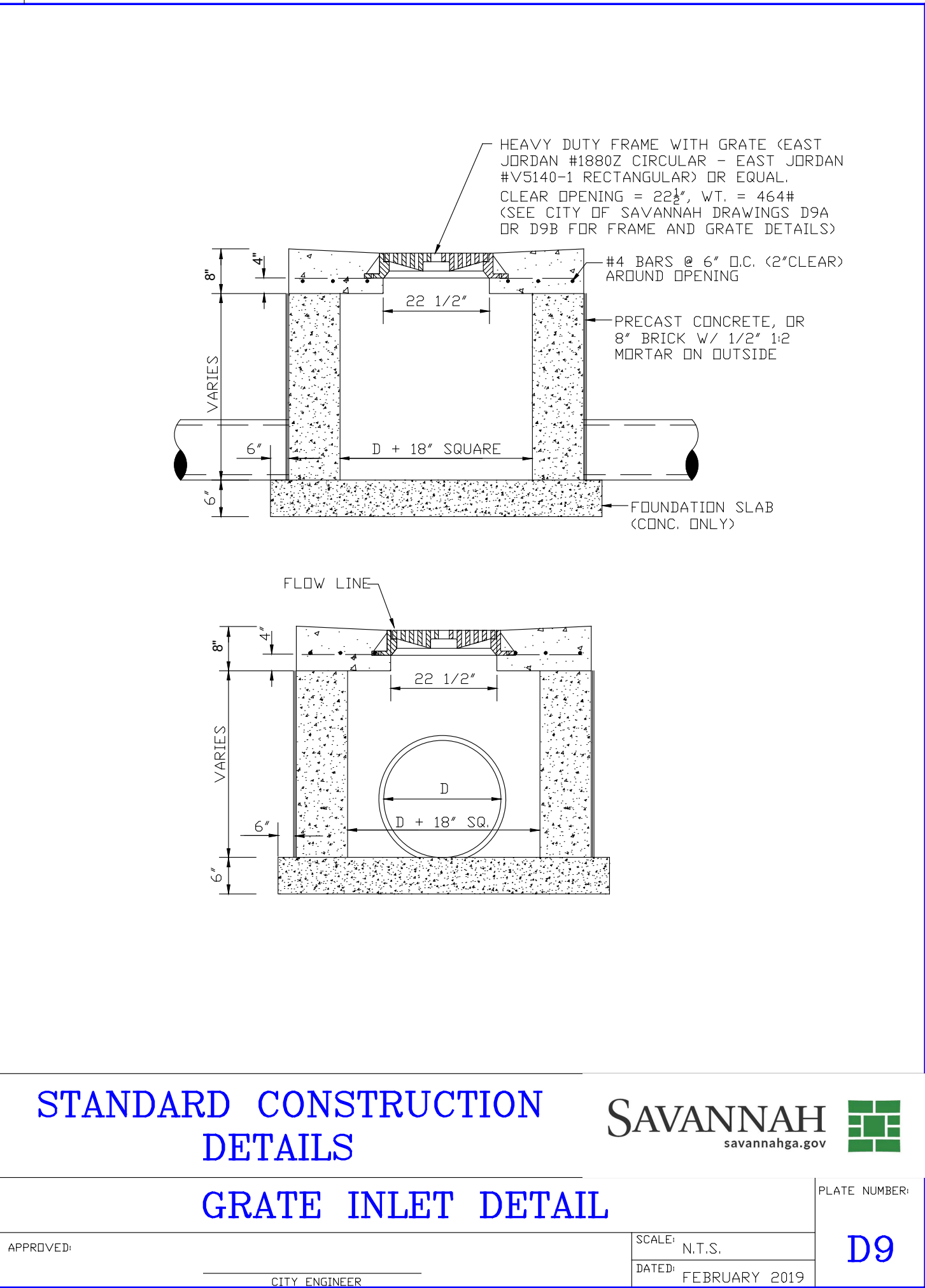
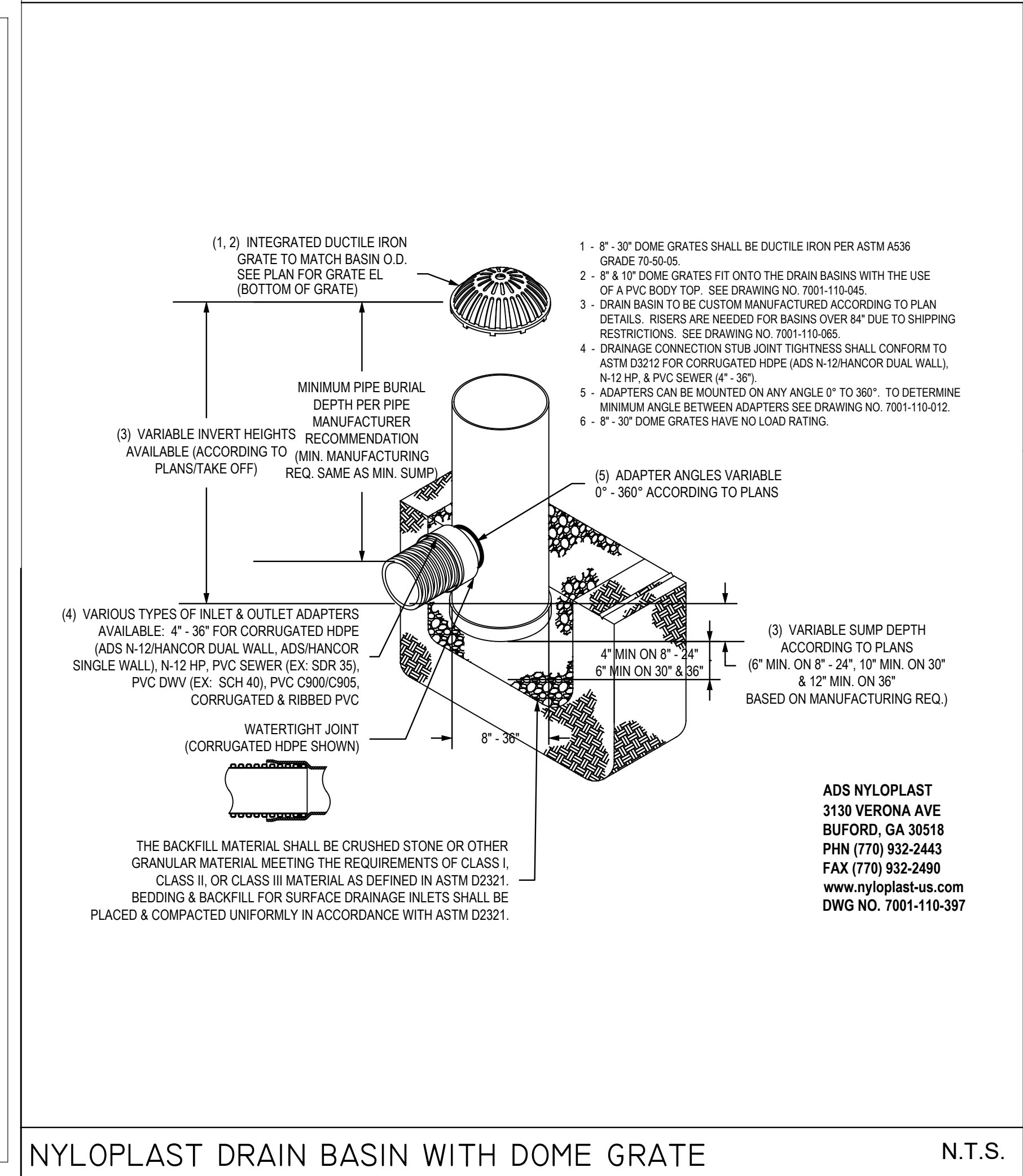
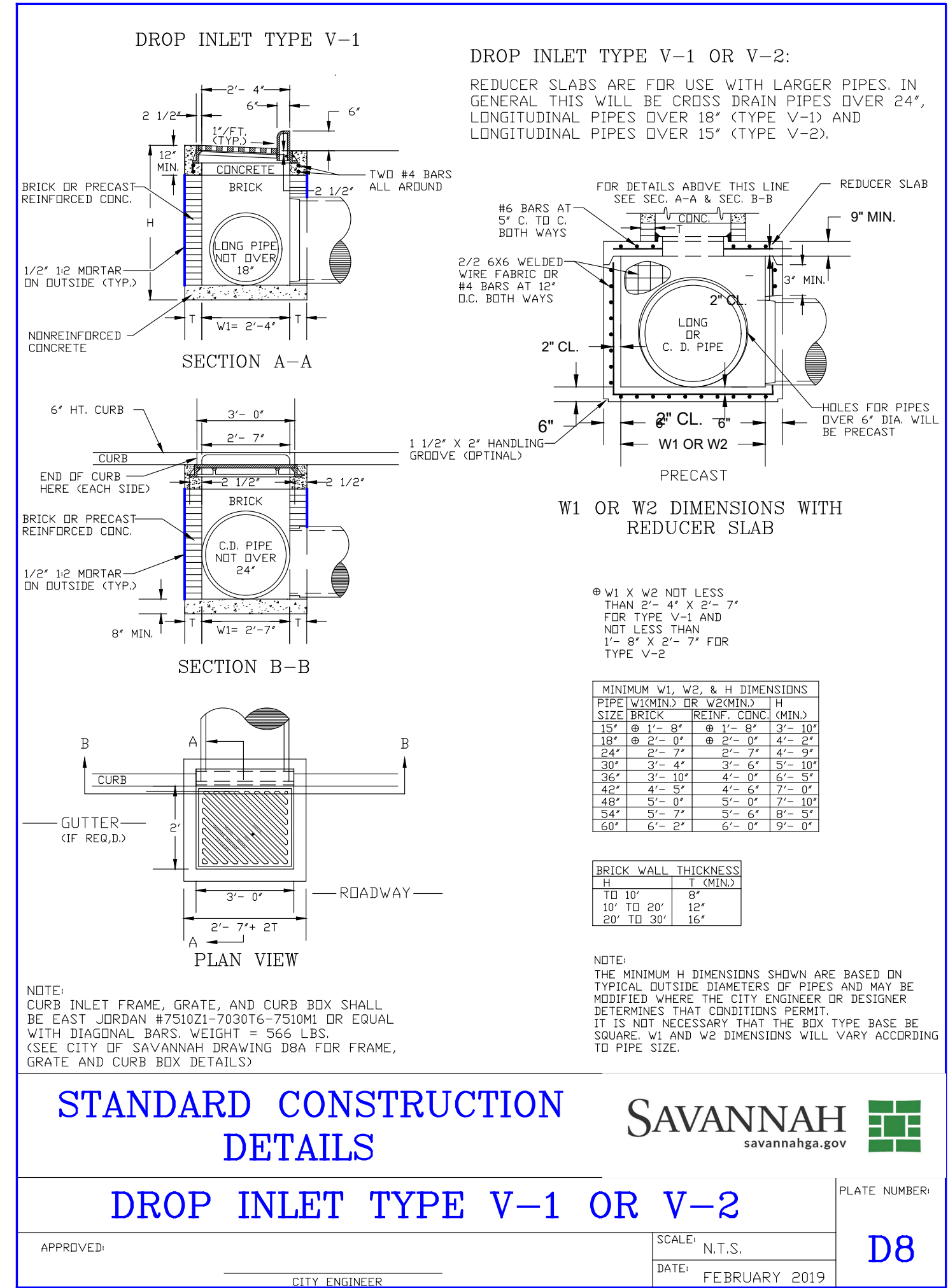
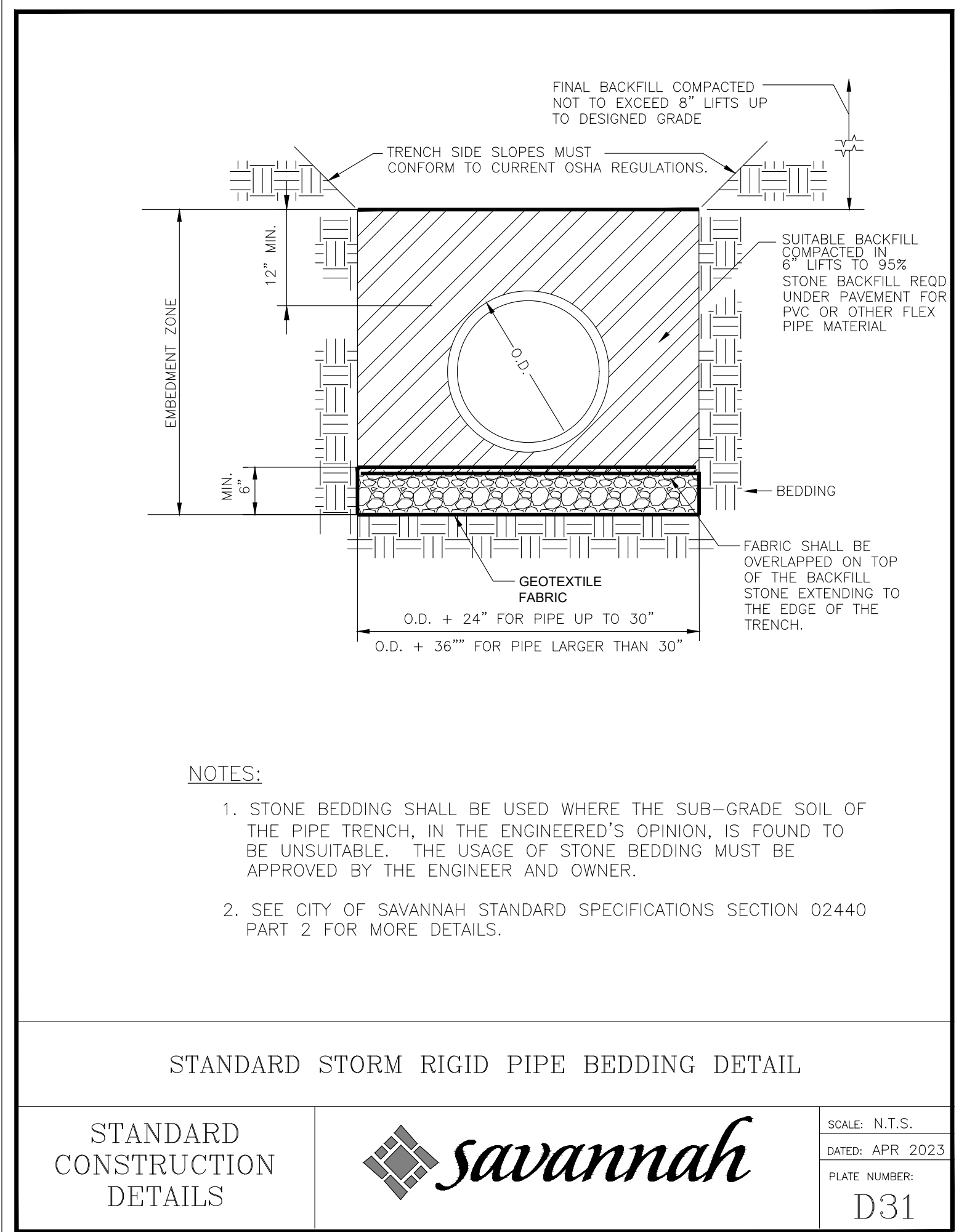
PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT NO:
JAR01

DATE:
12-9-25

DWG. NO. - REV.

C4-R1



REVISION:

DATE:

ISSUED FOR REVIEW

12-9-25

SUBDIVISION, PICKLE BALL, WATER & SAN SEWER

2-16-26

ENGINEERING & DEVELOPMENT SERVICES

P.O. BOX 43881 VESTAVIA, AL 35243

205-329-3934, AMLENG.COM

SECTIONS AND DETAILS

RAMSEY RUN APARTMENT EXPANSION

1029 SHAWNEE ST.

SAVANNAH, GA 31405

JARS LLC

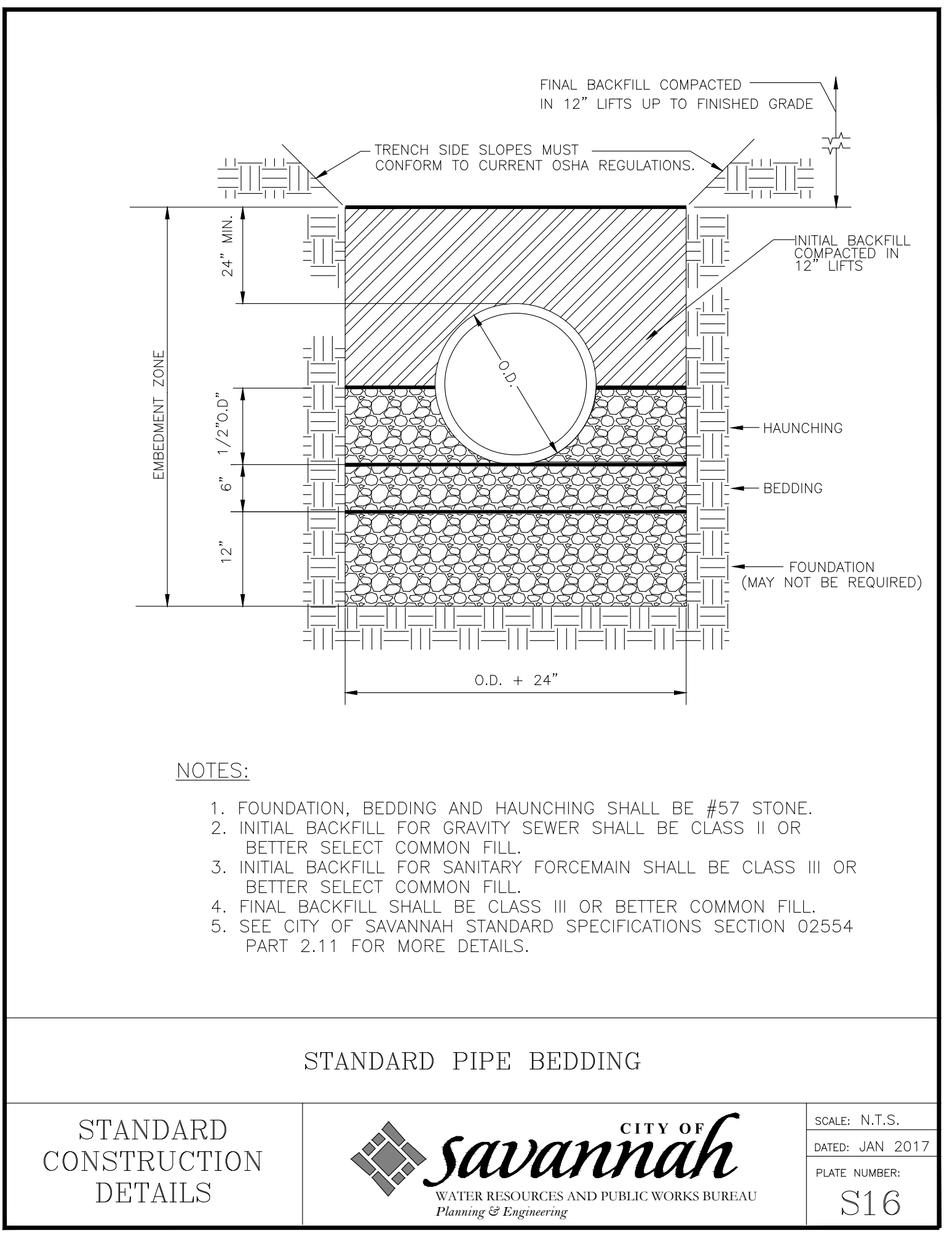
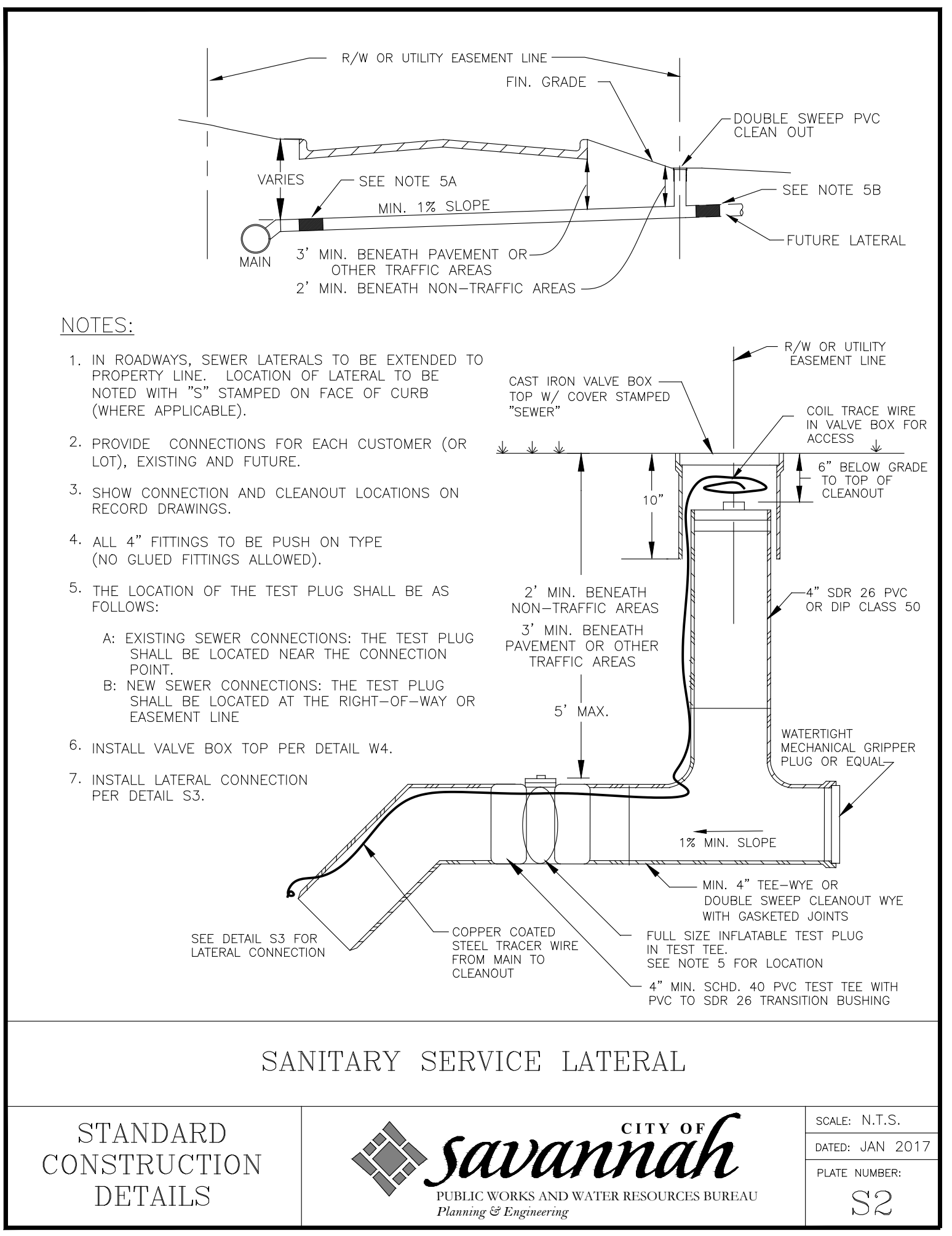
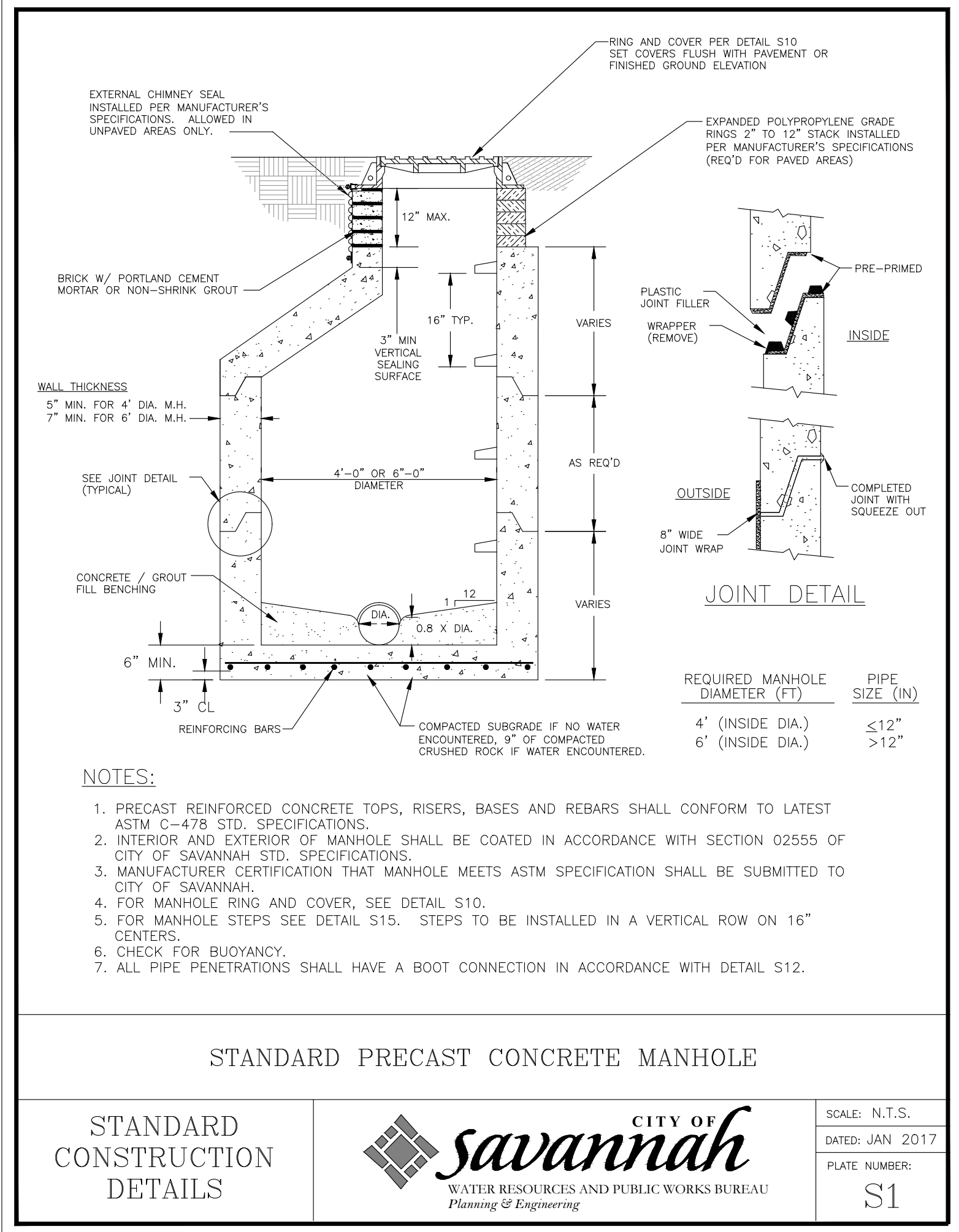
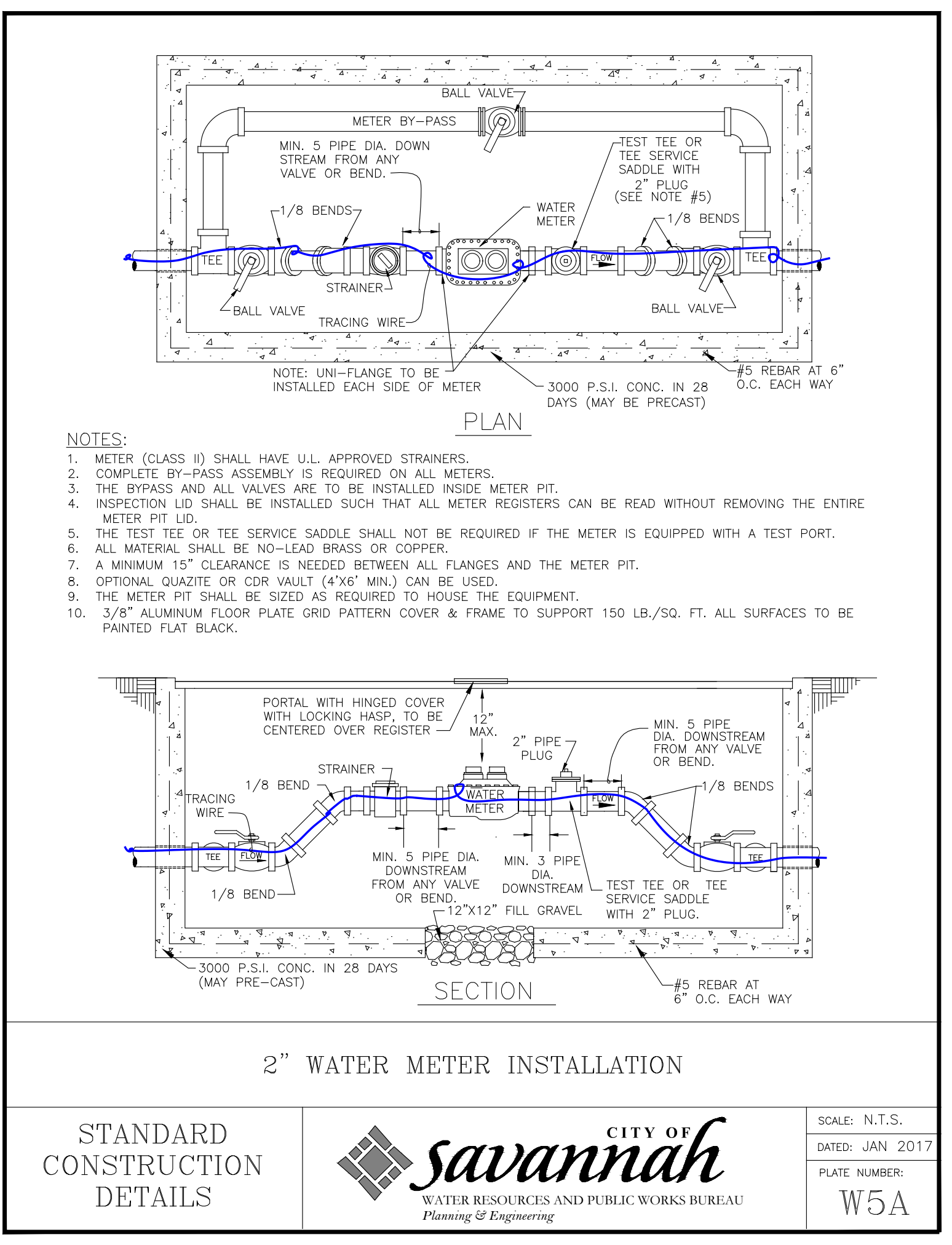
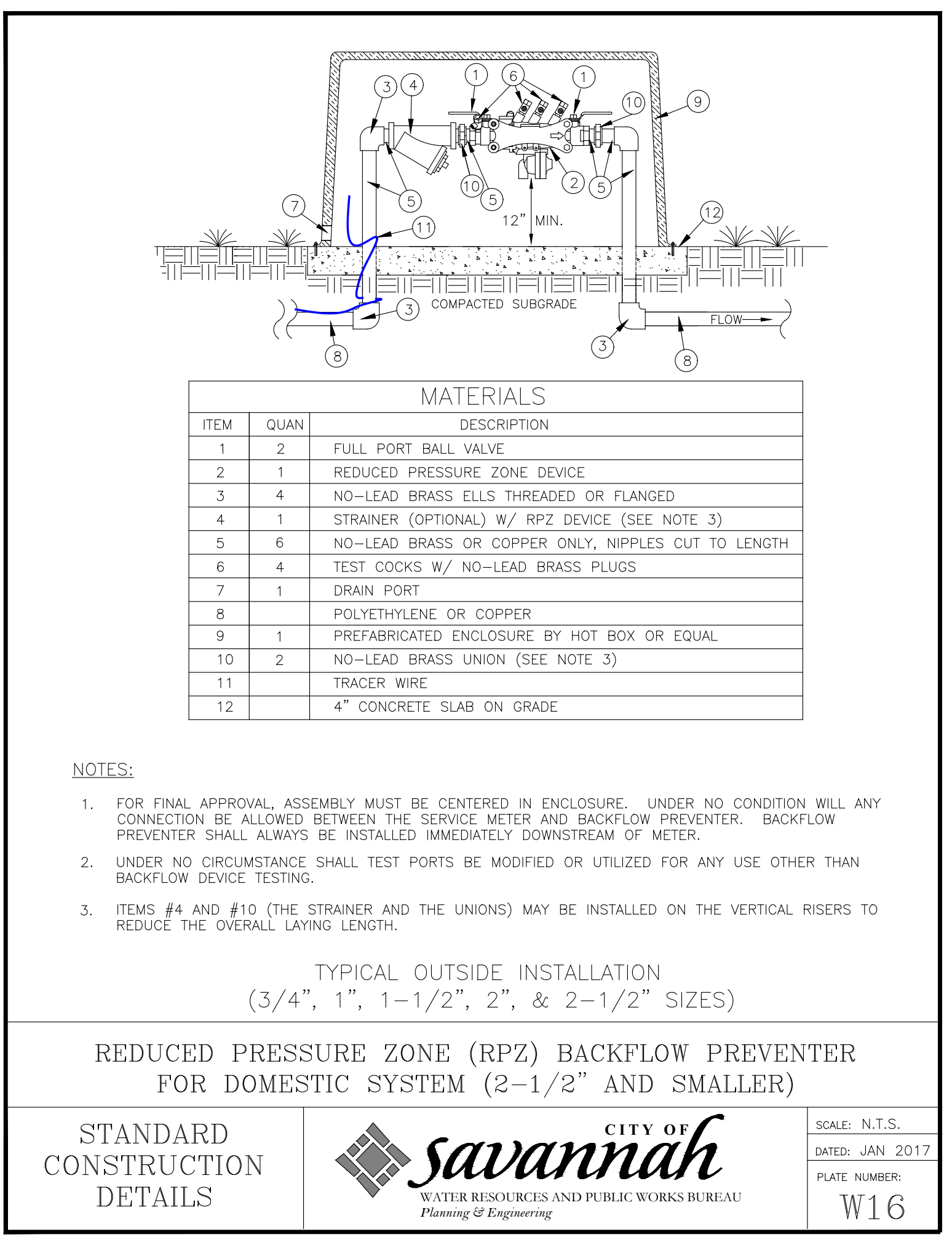
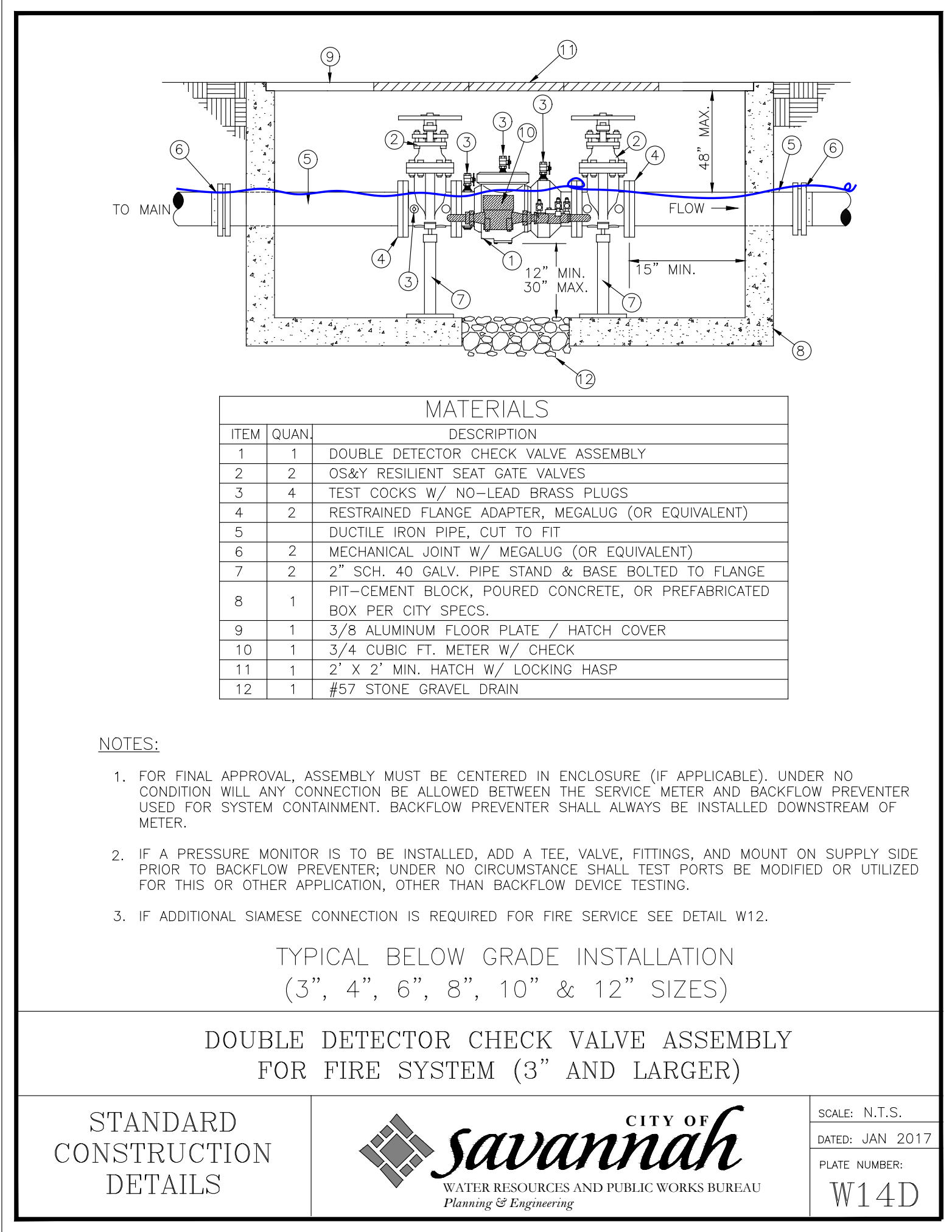
PRELIMINARY NOT FOR CONSTRUCTION

PROJECT NO: JAR01

DATE: 12-9-25

DWG. NO. - REV.

C5-R1



REVISION:	DATE:
ISSUED FOR REVIEW	12-9-26
SUBDIVISION, PICKLE BALL, WATER & SAN SEWER	2-16-26

AM
ENGINEERING & DEVELOPMENT SERVICES
P.O. BOX 43881 VESTAVIA, AL 35243
205-329-3934, AMLENG.COM

SECTIONS AND DETAILS
RAMSEY RUN APARTMENT EXPANSION
1029 SHAWNEE ST.
SAVANNAH, GA 31405
JARS LLC

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT NO: JAR01
DATE: 12-9-26
DWG. NO. - REV.

C6-R1