



SAVANNAH

SAVANNAH.GOV

Planning & Urban Design
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RECEIVED
MAR 27 2026

BY:
Variances
to



110 E State St, Savannah, GA, 31401
P.O. Box 8246, Savannah, GA, 31412-8246
Phone: 912.651.1440 / Fax: 912.651.1480
WWW.THEMPC.ORG

Development Plans

Please type or print legibly. Attach additional sheets, if necessary, to fully answer any of the following sections. Incomplete applications will not be scheduled by the Metropolitan Planning Commission (MPC) until deficiencies are corrected. Additional instructions and information regarding the amendment process are attached. **SUBMIT AN ELECTRONIC COMPLETED APPLICATION TO PLANNING@SAVANNAHGA.GOV.** Applicants are requested to contact the MPC staff at 912.651.1440 prior to submitting an application.

I. Subject Property

Street Address(es): 5510 Waters Avenue
Property Identification Number(s) (PINs) (Attach a boundary survey, recorded or proposed plat, tax map or scaled plot plan to identify the property boundary lines.) 20114 19001, plat attached
Total acreage of the subject property: 0.40 ACRES
Existing land use(s) for the subject property (e.g., undeveloped, restaurant, auto repair shop, multi-family):
Future Restaurant and retail space.

II. Action Requested

A. Type of Request:

- ☐ New Master Plan
☐ Amendment to an existing Master Plan. Please provide the File Number: _____
☐ Variance to a Site Plan Permit. Please provide the File Number: _____
B. Provide a description of request. 10' Parking Setback in lieu of a 15' Parking Setback along Waters Avenue.

- C. **Application History.** Have any previous applications been made to rezone the subject property (Certificate of Appropriateness (COA), Subdivision, Site Permit (General Development Plan), Business Location Approval, Text Amendment)? ☐ Yes ☒ No
If yes, please provide the Plan/Permit File Number(s): _____

III. Review Criteria

Please provide an explanation of the amendment to a Master Plan or variance to a Site Plan (Sec. 3.21.10).
Client intends to develop this lot into 2200 square foot restaurant with a 600 square foot retail space. Request to reduce the 15' setback 10' along Waters Avenue to allow for parallel parking and 20' one way drive along the main facade of the proposed building. The client has provided alternative design to reduce the impact from 5' +/- setbacks to the current 10' of setbacks.
The current design, 2nd submittal, has been reviewed by traffic engineering and has no significant technical comments preventing the 2nd from being approved. The client believes this a reasonable request given they have dedicated 5' of right-of-way to the city during the recombination(see attached plat) of the 3 lots along Waters Avenue.

IV. Property Owner Information

Name(s): Progressive One Realty, Ingrid and Donovan Smith

Registered Agent: _____

(Or Officer or Authorized Signatory, if Property Owner is not an individual. Provide GA Annual Registration.)

Address: 5515 Waters Avenue STE B

City, State, Zip: Savannah, Georgia 31404

Telephone: 954-235-5077

Fax: _____

E-mail address: ingridsmith@gmail.com

V. Petitioner Information, if different from Property Owner (if the property owner(s) will have an agent serve on his or her behalf, the owner(s) must complete the attached Letter of Authorization. If the agent changes after submitting the application and the agent is not the property owner, a new authorization form will be required.)

Name(s): _____

Registered Agent: _____

(Or Officer or Authorized Signatory, if Petitioner is not an individual)

Address: _____

City, State, Zip: _____

Telephone: _____

Fax: _____

E-mail address: _____

VI. Agent, if different from Petitioner or Property Owner (A signed, notarized statement of authorization from the property owner is required and must be attached if this section applies. If the agent changes after submitting the application and the agent is not the property owner, a new authorization form will be required.)

Name(s): Paul B. Smith

Firm or Agency: Bartow Site Engineering, LLC

Address: 209 Wood Duck Way

City, State, Zip: Springfield, Georgia, 31329

Telephone: _____

Fax: _____

E-mail address: _____

VII. Letter of Authorization

As fee simple owner of the subject property that is identified as Property Identification Number(s) (PIN) 0114 19001 _____, I (we)

authorize Paul B. Smith (Agent Name) of Barlow Site Engineering, LLC (Firm or Agency, if applicable) to serve as agent

on my (our) behalf for the purpose of making and executing this application for the proposed request. I (we) understand that any representations(s) made on my (our) behalf, by my (our) authorized representative, shall be legally binding upon the subject property.

Property Owner(s)

Name(s): Ingrid and Donavon Smith

Registered Agent: [Signature]
(Or Officer or Authorized Signatory, If Property Owner is not an Individual)

Signature(s) [Signature] Date 3/24/26

Witness Signature Certificate

State of Georgia
County of CHATHAM

Signed or attested before me on 3/24/26
Date

by MAURID SMITH & DONAVON SMITH
(Printed name(s) of individual(s) signing document)

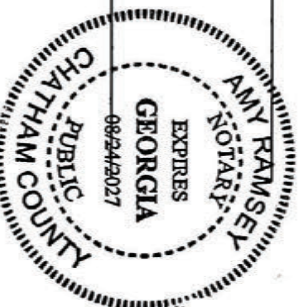
who proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

☐ Personally Known or ☒ Produced Identification Type of ID gk Dr

Signature of Notary Public

[Signature]

AMY RAMSEY
(Name of notary, typed, stamped or printed)
Notary Public State of Georgia



My commission expires: 8/24/27

VIII. Disclosure of Campaign Contribution Form. To be filed within 10 days of filing this application. This is required to be filled out by the Petitioner, Property Owner, and/or Agent per the Conflict of Interest in Zoning Actions Act (O.C.G.A. § 36-67A).

- (a) When any applicant for rezoning action has made, within two years immediately preceding the filing of that applicant's application for the rezoning action, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application, it shall be the duty of the applicant to file a disclosure report with the governing authority of the respective local government showing:
- (1) The name and official position of the local government official to whom the campaign contribution was made; and
 - (2) The dollar amount and description of each campaign contribution made by the applicant to the local government official during the two years immediately preceding the filing of the application for the rezoning action and the date of each such contribution.
- (b) The disclosures required by subsection (a) of this Code section shall be filed within ten days after the application for the rezoning action is first filed.
- (c) When any opponent of a rezoning action has made, within two years immediately preceding the filing of the rezoning action being opposed, campaign contributions aggregating \$250.00 or more to a local government official of the local government which will consider the application, it shall be the duty of the opponent to file a disclosure with the governing authority of the respective local government showing:
- (1) The name and official position of the local government official to whom the campaign contribution was made; and
 - (2) The dollar amount and description of each campaign contribution made by the opponent to the local government official during the two years immediately preceding the filing of the application for the rezoning action and the date of each such contribution.
- (d) The disclosure required by subsection (c) of this Code section shall be filed at least five calendar days prior to the first hearing by the local government or any of its agencies on the rezoning application.

Please answer the following questions:

A. Within two years immediately preceding the filing this application, have you and your agent (if applicable) made a campaign contribution in the amount of \$250 or more to any of the local government officials listed below? ☐ Yes ☒ No If you answered "Yes", please complete Question 2.

The Mayor and Aldermen of the City of Savannah			
Van R. Johnson, II, Mayor		Linda Wilder-Bryan, District 3	
Carolyn Bell, At-Large (Post 1)		Nick Palumbo, District 4	
Alicia Miller Blakely, At-Large (Post 2)		Dr. Estella Edwards Shabazz, District 5	
Bernetta B. Lanier, District 1		Kurtis Purtee, District 6	
Patric Leggett, District 7			
Chatham County-Savannah Metropolitan Planning Commission			
Laureen Boles, Treasurer	Traci Amick	Joseph Welch	
Travis Coles, Vice-Chairman	Coren Ross	Amanda Wilson	
Stephen Plunk	Joseph B. Ervin	Jay Melder, Ex-Officio	
Jeff Nostrica	Dwayne Stephens	Michael Kaigler, Ex-Officio	
Karen Jarrett, Chairwoman	Tom Woitwode		

B. If you checked "Yes" to Question 1, complete the section below:

Contribution			
Name of Official to Whom Contribution was Made	Official Position at Time of Contribution	Date of Contribution	Description & Dollar Amount of Contribution


Signature of Petitioner or Petitioner's Agent

Smith, Paul B.
Printed Name

3/26/2026
Date

IX. Items Required to be Submitted with this Application

- A. **Filing Fee.** The non-refundable filing fee is based on the type of use for which relief is requested. Make check payable to City of Savannah. Fees are subject to change.
☒ \$300.00 for variances to a Development Plan 2026 Fee is \$1000
- B. **Survey.** A scaled or dimensioned boundary survey, tax map, plot plan, or sketch showing the subject property (Original not scanned if produced electronically and not recorded).
- C. **Legal Description.** A legal description of the land by lot, block, and subdivision designations, or if none, by metes and bounds (Electronic or digital Word document).

X. Application Checklist

Pursuant to O.C.G.A. § 8-2-26, this checklist must be completed and submitted with each permit application. Please check every item as either "Y" for items that are included with the application or "N" for items that are not included with the application. Items without an "N" checkbox are minimum requirements initially due with the application if applicable.

- | <u>Yes</u> | <u>No</u> | |
|-------------------------------------|--------------------------|---|
| ☒ | | Part I. Subject Property |
| ☒ | | Part II. Action Required |
| ☒ | | Part III. Review Criteria |
| ☒ | | Part IV. Property Owner Information |
| ☒ | ☐ | Part V. Petitioner Information |
| ☒ | ☐ | Part VI. Agent |
| ☒ | | Part VII. Letter of Authorization |
| ☒ | | Part VIII. Disclosure of Campaign Contribution Form |
| ☒ | | Part IX. Items Required to be Submitted with this Application |
| ☒ | | Part X. Complete Application Checklist |
| ☒ | | Part XI. Certified Application |
| ☒ | | Survey. A scaled or dimensioned boundary survey, tax map, plot plan, or sketch showing the subject property (Original not scanned if produced electronically and not recorded). |
| ☐ | | Legal Description. A legal description of the land by lot, block, and subdivision designations, or if none, by metes and bounds (Electronic or digital Word document). |
| ☒ | ☐ | Concept Plan of the proposed development if applicable |

Please note: Supplemental information may be required during plan review to address deficiencies.

XI. Certified Application

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures, and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date. I understand that the approval of an application for Special Use Permit by The Mayor and Aldermen does not constitute a waiver from any applicable local, state, or federal regulations.


Signature of Petitioner or Petitioner's Agent

Smith, Paul B.
Printed Name

03/26/2026
Date

EXHIBIT "A"

Property 1:

All those certain lots, tracts, or parcels of land situate, lying and being in the City of Savannah, Chatham County, Georgia, shown as Lots 278 and 279, South Gardens Subdivision, on a map thereof made for Multiple Development Company by M. F. Smith, C.E., dated August 11, 1938, and recorded in Subdivision Map Book A, Folio 25, in the Office of the Clerk of Superior Court of Chatham County, Georgia. Said lots were conveyed to J&B Legacy, LLC by Quitclaim Deed dated January 18, 2022, and recorded in Deed Book 2693, Page 389, in the aforesaid clerk's office. Said map and deed are incorporated herein by reference. Subject to all easements, restrictions, and rights of way of record.

5506 Waters Avenue, Savannah, Georgia 31404

PIN: 2-0114-19-001

Property 2:

All those certain lots, tracts, or parcels of land situate, lying and being in the City of Savannah, Chatham County, Georgia, shown as Lots 275, 276 and 277, South Gardens Subdivision, on a map thereof made for Multiple Development Company by M. F. Smith, C.E., dated August 11, 1938, and recorded in Subdivision Map Book A, Folio 25, in the Office of the Clerk of Superior Court of Chatham County, Georgia. Said lots were conveyed to J&B Legacy, LLC by Limited Warranty Deed dated January 26, 2022, and recorded in Deed Book 2693, Page 398, in the aforesaid clerk's office. Said map and deed are incorporated herein by reference. Subject to all easements, restrictions, and rights of way of record.

1103 E. 69th Street, Savannah, Georgia 31404

PIN: 2-0114-19-002

Property 3:

All those certain lots, tracts, or parcels of land situate, lying and being in the City of Savannah, Chatham County, Georgia, shown as Lots 280 and 281, South Gardens Subdivision, on a map thereof made for Multiple Development Company by M. F. Smith, C.E., dated August 11, 1938, and recorded in Subdivision Map Book A, Folio 25, in the Office of the Clerk of Superior Court of Chatham County, Georgia. Said lots were conveyed to J&B Legacy, LLC by Quitclaim Deed dated January 18, 2022, and recorded in Deed Book 2693, Page 386, in the aforesaid clerk's office. Said map and deed are incorporated herein by reference. Subject to all easements, restrictions, and rights of way of record.

5510 Waters Avenue, Savannah, Georgia 31404

PIN: 2-0114-19-016

Property 4:

All those certain lots, tracts, or parcels of land situate, lying and being in the City of Savannah, Chatham County, Georgia, shown as Lots 282 and 283, South Gardens Subdivision, on a map thereof made for Multiple Development Company by M. F. Smith, C.E., dated August 11, 1938, and recorded in Subdivision Map Book A, Folio 25, in the Office of the Clerk of Superior Court of Chatham County, Georgia. Said lots were conveyed to J&B Legacy, LLC by Quitclaim Deed dated January 18, 2022, and recorded in Deed Book 2693, Page 392, in the aforesaid clerk's office. Said map and deed are incorporated herein by reference. Subject to all easements, restrictions, and rights of way of record.

1104 E. 70th Street, Savannah, Georgia 31404

PIN: 2-0114-19-015

For Eileen Smith

Deed Granite Company

COMMERCIAL SITE PLANS FOR: SWEET SPICE RESTAURANT and RETAIL SPACE 5510 WATERS AVE and 1103 EAST 69TH ST. CHATHAM COUNTY SAVANNAH, GA

TAX PARCEL # 20114 190XX(01,02,15,16)

LOTS: #275-#283

SIZE: #278-283: 0.40 ACRES, #275-277:0.21 ACRES

DISTURBED AREA: 0.71 AC

FLOOD ZONE: X, NOT IN SFHA

ZONING: #278-#283 B-N, #275-#277 B-N

WATERS AVE: MINOR ARTERIAL

BUFFER: C ALONG RES. LOTS

DISTURBED AREA IS LESS THAN 1 ACRE. ES&PC PLANS ARE NOT
REQUIRED FOR PERMITTING



INDEX OF DRAWINGS

TITLE	SHEET NUMBER	TITLE	SHEET NUMBER
COVER SHEET	G-1	DETAILS	DT-2
GENERAL NOTES	G-2	DETAILS	DT-3
ZONING EXHIBIT	ZE-1	DETAILS	DT-4
SURVEY AND REMOVALS	R-1	E.C. DETAILS	DT-5
LAYOUT PLAN	CS-1		
GRADING PLAN	GP-1		
WATER AND SEWER PLAN	UP-1		
LANDSCAPING PLAN	LP-1		
PROFILES AND BMP DETAILS	P-1		
DETAILS	DT-1		



REVISIONS

BARTOW SITE ENGINEERING, LLC
209 WOOD DUCK WAY
SPRINGFIELD, GA 31329
(912) 856-3289
plbartsmit@yahoo.com
Bartow
Site
Engineering, LLC

CIVIL CONSTRUCTION PLANS
5510 WATERS AVE
COVER AND INDEX

SHEET
NUMBER
G1

DEMOLITION AND REMOVAL NOTES:

1. INITIAL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO PERFORMING ANY LAND DISTURBING ACTIVITIES OR REMOVALS.
2. TOPSOIL SHALL BE STRIPPED FROM THE SITE AND STOCKPILED. TOPSOIL SHALL BE SPREAD 4 INCHES THICK ON AREAS IDENTIFIED TO BE GRASSED OR LANDSCAPED. TOPSOIL MAY NOT BE PILED HIGHER THAN 5 FT IF STOCKPILED ON SITE. CONTRACTOR SHALL TEST THE TOPSOIL FOR SUITABILITY OF THE ESTABLISHMENT OF THE SPECIFIED TURF AND LANDSCAPING. APPROVED SOIL AMENDMENTS SHALL BE ADDED TO MAINTAIN SOIL SUITABILITY.
3. PAVEMENTS TO BE REMOVED SHALL BE SAW CUT ALONG THE EDGE OF REMOVAL TO PROVIDE A SMOOTH TIE IN OF NEW PAVEMENT.
4. SAW CUT EDGES ARE TO BE PROTECTED BY THE CONTRACTOR. DAMAGED EDGES SHALL BE RE-SAWN TO PROVIDE ONE UNIFORM EDGE.
5. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR REMOVAL AND DISPOSAL OF LEAD PAINT AND ASBESTOS CONTAINING MATERIALS.
6. TREES OUTSIDE THE LIMITS OF CONSTRUCTION(SILT FENCE) SHALL NOT BE DISTURBED BY CONSTRUCTION EQUIPMENT. THE CONTRACTOR IS NOT TO REMOVE ANY TREES LARGER THAN 4 INCHES DBH (DIAMETER AT BREAST HEIGHT), OTHER THAN THOSE SHOWN FOR REMOVAL ON THE PLANS, WITHOUT PRIOR WRITTEN PERMISSION FROM OWNER, ENGINEER, AND APPROVED BY THE CITY.
7. THE LIMITS OF CONSTRUCTION ARE SHOWN ON THE CIVIL PLANS. THE LIMITS OF CONSTRUCTION AS SHOWN SHALL BE NOT BE ADJUSTED WITHOUT PRIOR APPROVAL OF THE ENGINEER.
8. TEMPORARY STOCKPILE LOCATIONS OF EXCAVATED MATERIALS FROM THE INSTALLATION OF UTILITIES SHALL BE COORDINATED WITH OTHER WORK.
9. EXCAVATION FOR THE REMOVAL OF BUILDING FOUNDATIONS, SLABS, AND UNDERGROUND UTILITIES SHALL BE KEPT TO THE MINIMUM DEPTH NECESSARY FOR THEIR REMOVAL. BACKFILL OF THE EXCAVATED AREAS SHALL BE AS SPECIFIED IN THE GEOTECHNICAL REPORT. REMOVAL OF EXISTING STRUCTURES INCLUDES ENTIRE FOOTINGS AND FOUNDATIONS.

LAYOUT NOTE:

1. PARKING LOT DIMENSION ARE MEASURED FROM THE FACE OF CURB.
2. PARKING LOT N.E. CORNERS ARE MEASURED FROM THE FACE OF CURB.

CONTRACTOR STAGING AREA:

1. CONTRACTOR LAYDOWN AND STAGING AREA WILL BE ONSITE, AND APPROVED BY THE OWNER. CONTRACTOR SHALL ACCESS THE SITE VIA THE EXISTING ACCESS ROAD ON THE EAST AND SOUTH SIDES OF THE PROPERTY.

GRADING AND STORM DRAINAGE NOTES:

1. ALL EXCAVATION SHALL BE PERFORMED SO THAT THE SITE AND THE AREA IMMEDIATELY SURROUNDING THE SITE WHICH AFFECTS OPERATIONS SHALL BE CONTINUALLY AND EFFECTIVELY DRAINED DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE DE WATERING AS REQUIRED SO THAT ALL FOOTING EXCAVATIONS ARE ACCOMPLISHED IN THE DRY. ALL FOOTING EXCAVATIONS SHALL REMAIN DRY AND FIRM UNTIL THE FOOTINGS ARE IN PLACE AND BACKFILLED. DEWATERING OF ANY SURFACE WATER, GROUND WATER TABLE, AND/OR ANY PERCHED WATER CONDITION WHICH MAY BE ENCOUNTERED DURING EXCAVATIONS SHALL BE ACCOMPLISHED BY ANY ACCEPTABLE MEANS AS APPROVED BY THE ENGINEER. ALL DEWATERING EFFLUENT WILL BE PUMPED THROUGH A SILT BAG AND INTO A SEDIMENT BASIN, BEFORE LEAVING SITE.
2. ALL STORM PIPES LOCATED UNDER PAVEMENT TO HAVE WATERTIGHT JOINTS.
3. ROOF DRAIN/FOUNDATION DRAIN COLLECTORS SHALL BE SIZED AS SHOWN ON GRADING PLANS. ALL ROOF/FOUNDATION DRAINS AND COLLECTORS SHALL HAVE A MINIMUM OF 1.00% SLOPE.
4. ALL EXISTING MANHOLES SHOWN TO REMAIN SHALL BE RAISED OR LOWERED TO MATCH THE NEW FINISHED GRADES UNLESS NOTED OTHERWISE.
5. CLEANOUTS SHALL BE PROVIDED ON ALL ROOF DRAINS WHERE THE PIPE MAKES A TURN OF 45 DEGREE OR SHARPER AND ON RUNS GREATER THAN 150 FT IN LENGTH.
6. THE CONTRACTOR MAY ENCOUNTER "PERCHED WATER" CONDITIONS IN SOME EXCAVATIONS REQUIRED FOR THIS PROJECT.
 - A. A "PERCHED WATER" CONDITION OCCURS WHEN WATER SEEPING DOWNWARD IS BLOCKED BY AN IMPERMEABLE SOIL LAYER, SUCH AS CLAYEY SAND, CLAY OR SILT, AND SATURATES THE MORE PERMEABLE SOIL ABOVE IT. THE TRUE GROUND WATER LEVEL CAN BE SEVERAL TO MANY FEET BELOW THE "PERCHED WATER" LEVEL.
 - B. IT IS ANTICIPATED THAT SATISFACTORY DEWATERING TO PERMIT THE REQUIRED CONSTRUCTION CAN BE ACCOMPLISHED BY THE USE OF FRENCH DRAINS, DITCHES, TRENCHES, AND PUMPING FROM FILTERED SUMPS. THE CONTRACTOR SHALL PERFORM WHICHEVER MEASURES THAT ARE NECESSARY SUCH THAT ALL REQUIRED WORK IS PERFORMED IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND THE SPECIFICATIONS.
7. ALL FILL AND CUT SLOPES SHALL BE NO STEEPER THAN 2.5 HORIZONTAL TO 1 VERTICAL UNLESS NOTED OTHERWISE ON THE DRAWINGS.
8. SEE LANDSCAPING PLANS(CONTRACTOR SUPPLIED) GRASSING SPECIFICATION FOR PERMANENT GRASSING.
9. THE CONTRACTOR SHALL COORDINATE ALL GRADING OPERATIONS WITH OTHER UTILITIES TO BE INSTALLED. WHERE EARTHWORK CUT IS TO BE ACCOMPLISHED, ALL NEW UTILITIES SHALL BE CONSTRUCTED WITH THE REQUIRED COVER AND COORDINATION WITH UTILITIES OF OTHER DISCIPLINES.
10. THE CONTRACTOR SHALL GROUT SEAL EXISTING STORM DRAINAGE STRUCTURES AT THE LOCATIONS WHERE NEW STORM DRAINAGE PIPES TIE TO THESE STRUCTURES.
11. TRENCH BOXES SHALL BE USED TO INSTALL STORM DRAINAGE LINES AROUND EXISTING TREES TO REMAIN. NO FILL FROM THE EXCAVATIONS SHALL BE STOCKPILED WITHIN THE DRIP LINE OF THE TREES TO REMAIN.
12. SEE ARCHITECTURAL PLANS FOR LOCATIONS AND SIZES OF DOWNSPOUTS.

CITY OF SAVANNAH WATER NOTES:

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF SAVANNAH'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS. THE SYSTEM SHALL BE DESIGNED AND TESTED PER THE SPECIFICATIONS AND REQUIREMENTS MAINTAINED BY THE CITY ENGINEER.
2. THE WATER SERVICE LATERAL SERVING THE FACILITY SHALL BE INSTALLED BY THE DEVELOPER/CONTRACTOR FROM THE WATER MAIN TO THE METERS. THE CITY OF SAVANNAH WILL ONLY MAKE THE WET TAP. THE CITY WILL NOT INSTALL THE WATER SERVICE LATERAL.
3. ALL MATERIALS USED AND COMING INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/INTERNATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61).
4. IN ALL WATER LINE PROJECTS, CARE WILL BE TAKEN TO KEEP THE INTERIOR OF THE WATER PIPE CLEAN PRIOR TO CONNECTION TO THE CITY SYSTEM.
 - A. PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE A HAZARD TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPES, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES.
 - B. ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. DURING INSTALLATION, WHEN PIPE LAYING IS NOT IN PROGRESS, A MECHANICAL JOINT PLUG OR CAP, OR APPROVED EQUAL, WILL BE USED TO FORM A WATER TIGHT SEAL AT BOTH ENDS OF THE LINE BEING LAID. NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
 - C. CLEAN THE INTERIORS OF ALL PIPES BY BRUSHING, SWABBING OR WASHING OUT OF ALL DIRT BEFORE LAYING.
 - D. FLUSH THE NEW PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE DONE AFTER THE PRESSURE TEST AND BEFORE DISINFECTION. FLUSH NEW LINES WITH SUFFICIENT FLOW TO OBTAIN A FLUSHING VELOCITY OF 2.5 FT/SEC. FLUSH LINES UNTIL WATER RUNS FREE OF DEBRIS. COORDINATE FLUSHING ACTIVITIES WITH CITY PERSONNEL.
5. ANY METER OR HYDRANT REMOVED FROM THE SITE SHALL BE RETURNED TO THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
6. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
7. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
8. ALL ABANDONED WATER LINES SHALL BE CAPPED AT THE MAIN AND THE PIPES PLUGGED.
9. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE WATER LINES ARE PLACED WITHIN THE EASEMENTS WITH A MINIMUM 7'-6" AVAILABLE FROM PIPE CENTERLINE TO EASEMENT LINE OR AS SHOWN ON PLANS.
10. CONTACT THE UTILITIES PROTECTION CENTER (811 IN GEORGIA OR 1-800-282-7411) FOR LOCATION OF CITY WATER LINES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
11. CONTRACTOR SHALL NOTIFY RESIDENTS A MINIMUM OF 24 HOURS IN ADVANCE OF ANY WORK THAT MAY IMPACT THEM, INCLUDING BUT NOT LIMITED TO: PARKING STALL IMPACT, LOSS OF SERVICE, DRIVEWAY CUTS, REMOVAL/RELOCATION OF FENCES AND MAIL BOXES, SIDEWALK IMPACTS, ETC.

CITY OF SAVANNAH SEWER NOTES:

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF SAVANNAH'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS. THE SYSTEM SHALL BE DESIGNED AND TESTED PER THE SPECIFICATIONS AND REQUIREMENTS MAINTAINED BY THE CITY ENGINEER.
2. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
3. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
4. ALL ABANDONED SANITARY SEWER LINES SHALL BE PLUGGED.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE SEWER LINES ARE PLACED WITHIN THE EASEMENTS WITH A MINIMUM 7'-6" AVAILABLE FROM PIPE CENTERLINE TO EASEMENT LINE.
6. CONTACT THE UTILITIES PROTECTION CENTER (811 IN GEORGIA OR 1-800-282-7411) FOR LOCATION OF CITY SEWER LINES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
7. CONTRACTOR SHALL NOTIFY RESIDENTS A MINIMUM OF 24 HOURS IN ADVANCE OF ANY WORK THAT MAY IMPACT THEM, INCLUDING BUT NOT LIMITED TO: PARKING STALL IMPACT, LOSS OF SERVICE, DRIVEWAY CUTS, REMOVAL/RELOCATION OF FENCES AND MAIL BOXES, SIDEWALK IMPACTS, ETC.

IMPORTANT CONTRACT NOTES:

1. EXTERIOR WATER AND SEWER UTILITIES MUST BE CONSTRUCTED TO CITY OF SAVANNAH STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SAVANNAH FOR ALL FEES AND BUILDING SERVICE CONNECTIONS 2 WEEKS PRIOR TO CONNECTION.
2. CONNECTIONS FOR ELECTRICAL AND COMMUNICATION ARE NOT SHOWN AND ARE THE RESPONSIBILITY OF THE PERFORMING CONTRACTOR TO INSTALL PER UTILITY OWNERS SPECIFICATIONS AND COORDINATE INSTALLATION.
3. SITE WORK FOR THIS CONTRACT MUST BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SAVANNAH STANDARD SPECIFICATIONS DIVISION 2 AND DIVISION 3.
4. PERFORMING CONTRACTORS IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH CONNECTION FEES.
5. MATCH EXISTING PAVEMENT SECTION FOR UTILITY CUTS AND TAPS. SEE CITY OF SAVANNAH DETAIL P97, P98 AND P99.
6. SERVICE ADDRESS AND SIZE:
 - 1" PER APARTMENT
 - 4" FIRE SUPPLY
7. EXISTING WATER AND SEWER LINES ARE APPROXIMATE LOCATIONS AND WILL NEED TO BE FIELD VERIFIED.
8. LOADING, UNLOADING, AND STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT SHALL NOT BE ALLOWED IN THE PUBLIC ROW WITHOUT PRIOR APPROVAL.



REVISIONS

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SPRINGFIELD, GA 31329
(707) 313-1133
pharmite@bartow.com

Bartow
Site
Engineering, LLC

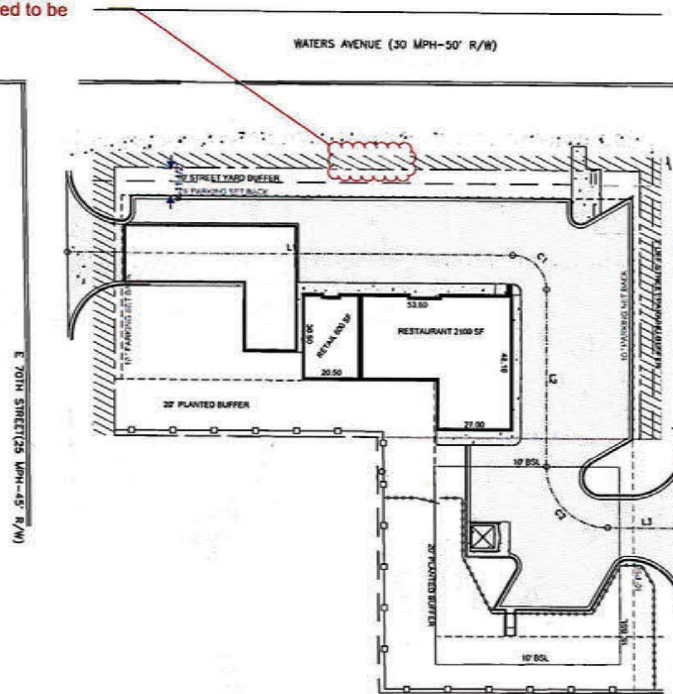
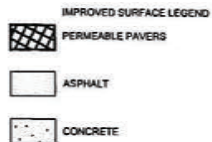
CIVIL CONSTRUCTION PLANS
SAS 10/20/2024

GENERAL NOTES

SHEET
NUMBER
G2



The setbacks must be measured from the new property boundary after right-of-way dedication. The two parcels need to be recombined.

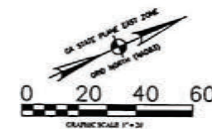


NOTES:

1. SEE LANDSCAPING PLAN FOR TREE AND SHRUB PLANTING REQUIREMENTS.
2. 6" WOOD PICKET IS PROVIDED IN 20' PLANTED BUFFER FOR THE 5' REDUCTION.

PARKING CALCULATIONS

1. RESTAURANT: 2095 SF, 1 PER 100 SF = 20.95 OR 21 SPACES
2. RETAIL: 600 SF, 1 PER 250 SF = 2.4 OR 2 SPACES
3. REQUIRED TOTAL: 23 SPACES
4. BICYCLE REDUCTION: 3 BICYCLES = 1 SPACE
5. TOTAL REQUIRED WITH REDUCTION = 21 SPACES
6. PROVIDED PARKING: 22 SPACES WITH 1 HANDICAP



POINT	COORDINATES
1	N 101° 13' 15" E 115.50'
2	N 72° 12' 15" E 115.50'
3	N 101° 13' 15" E 115.50'

POINT	COORDINATES
4	N 101° 13' 15" E 115.50'
5	N 72° 12' 15" E 115.50'
6	N 101° 13' 15" E 115.50'



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plantm@yaho.com

CIVIL CONSTRUCTION PLANS
5115 WATERS AVE

ZONING EXHIBIT

SHEET
NUMBER
ZE-01

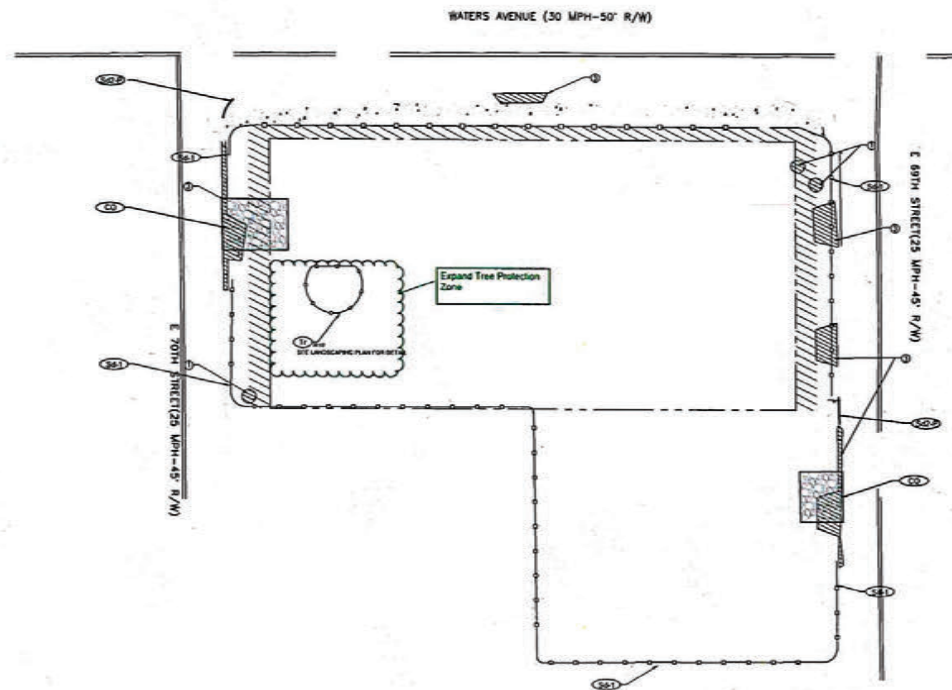
1 2 3 4 5

D

C

B

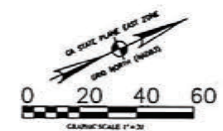
A



REMOVAL LEGEND	
①	TREE
②	ASPHALT, CURB, AND GUTTER
③	APRON / DRIVE, CURB AND GUTTER
④	SIDEWALK

IMPORTANT REMOVAL NOTES:

1. ALL EXISTING DRIVEWAY APRON WILL NEED A CITY OF SAVANNAH ROW PERMIT PRIOR TO REMOVAL.
2. DRIVEWAY APRON REMOVALS SHOULD BE BROUGHT TO GRADE AND STABILIZED WITH SOD THE SAME DAY AS REMOVAL.

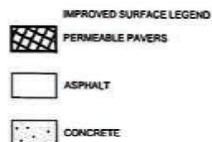
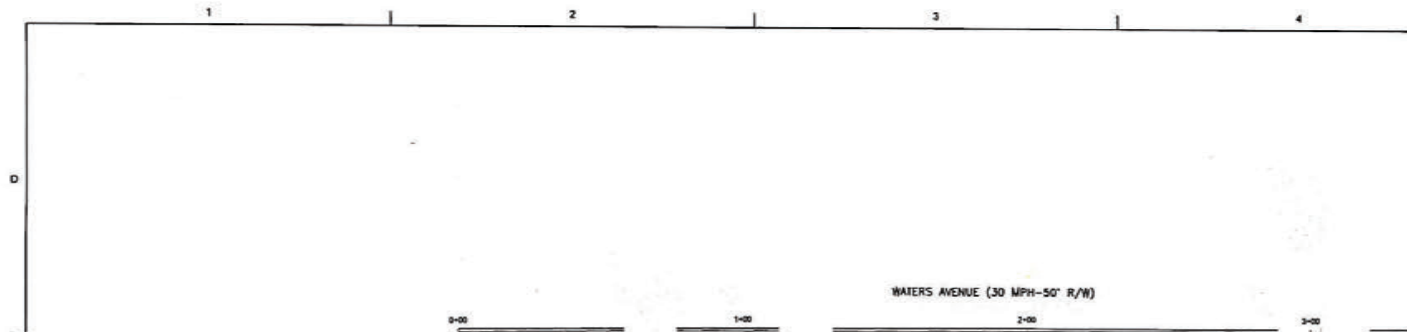


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rbartow@bartowengineering.com

CIVIL CONSTRUCTION PLANS
5515 WATERS AVE
REMOVAL PLAN

SHEET
NUMBER
R01



IMPORTANT CONTRACT NOTES:

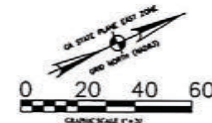
1. EXISTING WATER AND SEWER UTILITIES MUST BE CONSTRUCTED TO CITY OF SAVANNAH STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL COORDINATE WITH THE CITY OF SAVANNAH FOR ALL FEES AND BUILDING SERVICE CONNECTIONS 2 WEEKS PRIOR TO CONNECTION.
2. CONNECTIONS FOR ELECTRICAL AND COMMUNICATION ARE NOT SHOWN AND ARE THE RESPONSIBILITY OF THE PERFORMING CONTRACTOR TO INSTALL PER UTILITY OWNERS SPECIFICATIONS AND COORDINATE INSTALLATION.
3. SITE WORK FOR THIS CONTRACT MUST BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SAVANNAH STANDARD SPECIFICATIONS DIVISION 3 AND DIVISION 5.
4. PERFORMING CONTRACTORS IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH CONNECTION FEES.
5. MATCH EXISTING PAVEMENT SECTION FOR UTILITY CUTS AND TAPS. SEE CITY OF SAVANNAH DETAIL FOR AND FOR.
6. SERVICE ADDRESS AND SIZE:
2' PER APARTMENT
FIRE SUPPLY NOT REQUIRED
7. EXISTING WATER AND SEWER LINES ARE APPROXIMATE LOCATIONS AND WILL NEED TO BE FIELD VERIFIED.
8. LOADING, UNLOADING, AND STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT SHALL NOT BE ALLOWED IN THE PUBLIC ROW WITHOUT PRIOR APPROVAL.
9. NO IRRIGATION SYSTEM WILL BE PROVIDED.
10. NO INDUSTRIAL WASTE WILL BE GENERATED FROM THIS PROJECT.

FIRE PROTECTION NOTES

1. THE PROPOSED SITE AND STRUCTURES SHALL COMPLY WITH ALL CURRENTLY ADOPTED INTERNATIONAL FIRE CODE (IFC) REQUIREMENTS, THE GEORGIA MINIMUM FIRE SAFETY STANDARDS (125-5-3), AND ALL APPLICABLE CITY OF SAVANNAH ORDINANCES.
2. THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF NFPA 211, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, FOR THE FULL DURATION OF THE DEMOLITION PROJECT. THIS INCLUDES MAINTAINING APPROPRIATE FIRE PROTECTION MEASURES DURING DEMOLITION ACTIVITIES, INSTALLING AND UPDATING TEMPORARY FIRE PROTECTION SYSTEMS, ESTABLISHING FIRE WATCHES WHEN REQUIRED, PROPERLY MARKING AND PERMITTING ALL HOT WORK, MAINTAINING ORDERLY SITE HOUSEKEEPING AND DEBRIS CONTROL, ENSURING THE SAFE INSTALLATION AND SUPERVISION OF TEMPORARY WIRING AND POWER SOURCES, AND PROTECTING ALL STANDPIPES, HYDRANTS, AND WATER SUPPLIES.
3. A SITE-SPECIFIC FIRE SAFETY PLAN SHALL BE DEVELOPED AND IMPLEMENTED TO SUPPORT THESE REQUIREMENTS.
4. THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR MEETING THESE OBLIGATIONS AND FOR CONDUCTING ALL DEMOLITION OPERATIONS IN FULL ACCORDANCE WITH THE ADOPTED CODES AND STANDARDS.
5. SECTION 3312 WATER SUPPLY FOR FIRE PROTECTION 3312.1 WHEN REQUIRED, AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL, ADJACENT TO THE SITE.

UTILITIES FEATURE LEGEND

- ◇ LATERAL TO EXISTING 8" SD PIPE (SDS)
IE = 12.30' AND TAP 18.80' (APPROXIMATE)
- ◇ 4" SDR 26 PIPE AT 0.50% MINIMUM
SLOPE, 140 LF
- ◇ 4" DOUBLE SWEEP CLEAN OUT, CAST IRON
COVER AT R/W (SDS)
- ◇ 4" CLEAN OUT, APPROXIMATELY 7' BELOW GRADE
IE = 18.55 +/- (SDS)
- ◇ CONNECT 3.5' BELOW GRADE, IE = 18.70 +/-
- ◇ 2" TAPPING SADDLE (W/ 6" VALVE IN
BOX (W/ 6")
- ◇ 2" POLYETHYLENE TUBING SDR-8 AWWA C900/L84
- ◇ 2" WATER METER (W/ 6")
- ◇ 2" RPT BACK PREVENTER (W/ 6")
- ◇ 2" VALVE IN BOX AND CONNECT TO 2"
BUILDING SERVICE
- ◇ CONNECT TO BUILDING GREASE INTERCEPTOR
SYSTEM IE = 19.20 +/-
- ◇ 4" CLEAN OUT, TRAFFIC RATED TOP
TOP = 21.45, IE = 19.20
- ◇ 4" SDR 26 PIPE AT 1.00% SLOPE MIN
- ◇ 4" CLEAN OUT TOP = 21.25, IE = 18.85
- ◇ 4" 5/8" X 1" LONG SWEEP TEE, IE = 18.80
- ◇ 2" 60" GALLOW PRECAST GREASE INTERCEPTOR
IE IN = 19.15, IE OUT = 18.90 (7' OF FALL)

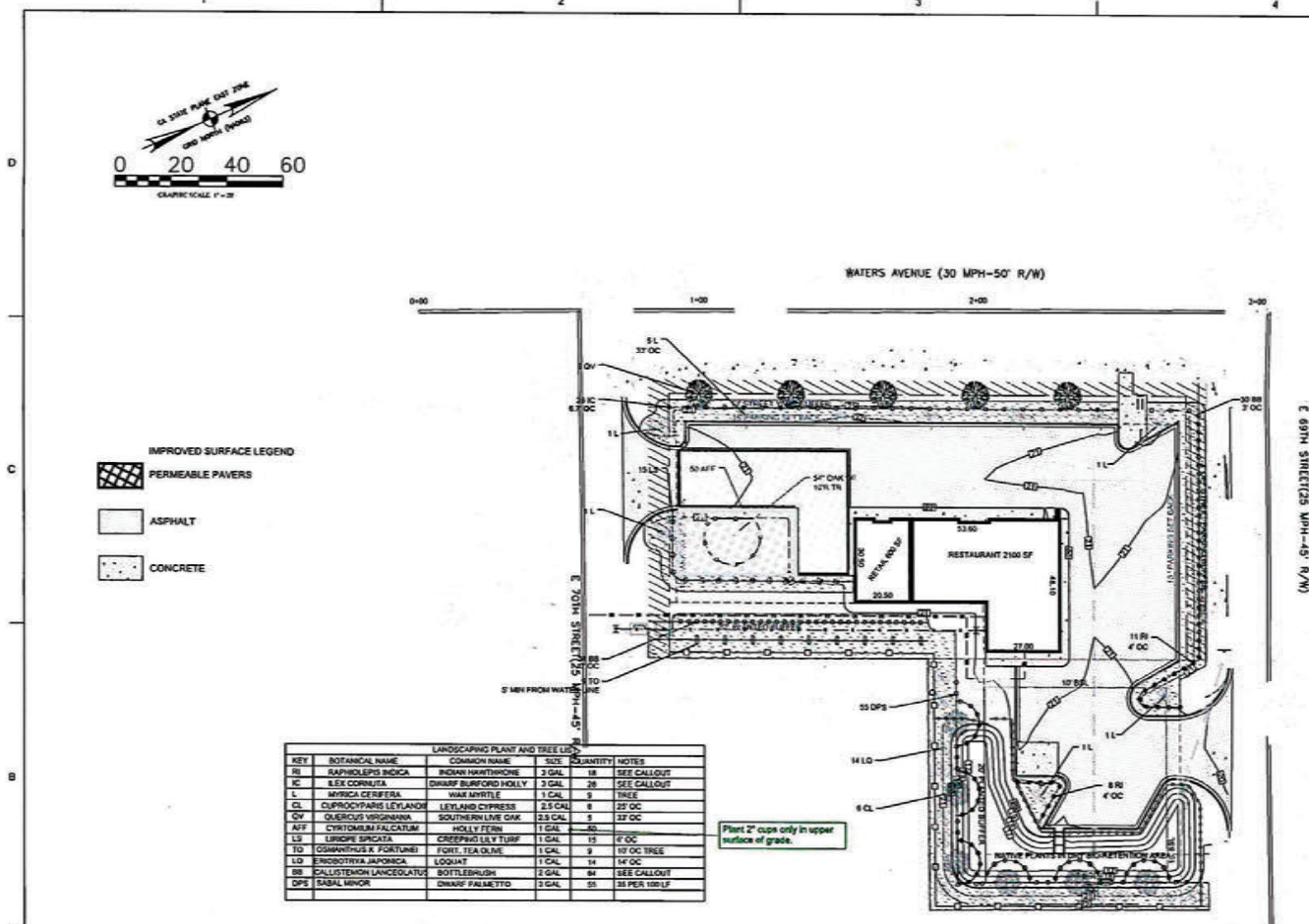


REVISIONS

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(706) 336-1111
bse@bartowse.com

CIVIL CONSTRUCTION PLANS
5510 WATERS AVE
WATER AND SEWER PLAN

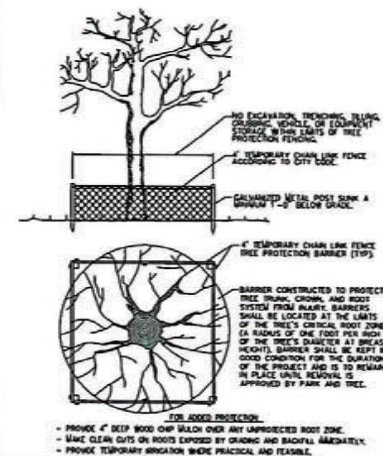
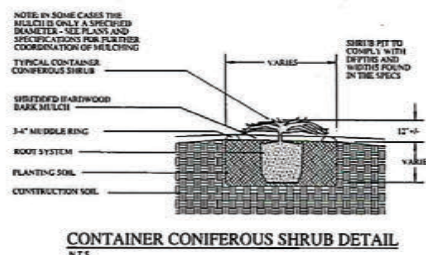
SHEET
NUMBER
UP01



LANDSCAPING PLANT AND TREE LIST					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	NOTES
RI	RAPHAELIDES INDICA	ROBIN HAVERTHORE	2 GAL	18	SEE CALLOUT
RI	ERISYSPORA	SHRUB	1 GAL	14	SEE CALLOUT
L	MYRTIA CERRIFERA	WAX MYRTLE	1 GAL	9	THREE
CL	DIPLOSPORA LELYANCA	LELYAN CYPRUS	2.5 GAL	8	25 CF
CL	CLADUS LYRICUS	SOUTHERN PINE	2.5 GAL	28	25 CF
AFV	CYTISUM CALICATUM	HOLLY CREEPER	1 GAL	40	
LI	LYRIS UNICATA	CREEPERFLY LIT TURF	1 GAL	15	0' OC
LI	LYRIS UNICATA	LYRIS UNICATA	1 GAL	15	0' OC THREE
LO	ERODIARIA APORICA	LYRIS UNICATA	1 GAL	14	0' OC
DBS	CALAMINTHUS LANCEOLATUS	BOTTLEBUSH	1 GAL	84	SEE CALLOUT
DBS	BALBA MINOR	SHRUB PEALETTO	1 GAL	55	PER 100 LB

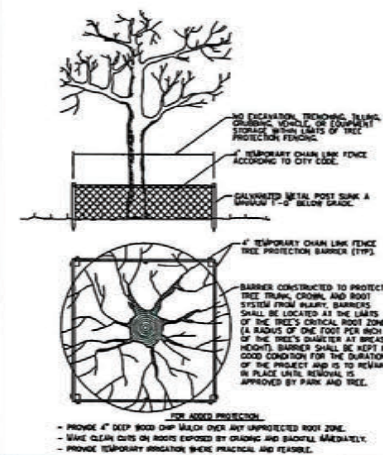
Plant 2" cups only in upper surface of grade.

Use Park and Tree planting details and specifications. Usually, we require landscape plans to be signed and sealed by a registered landscape architect but in this case a fairly knowledgeable registered professional is acceptable.



STANDARD CONSTRUCTION DETAILS
TREE PROTECTION

APPROVED	SIGNATURE ON FILE	DATE	NTS	T2
		DATE	DATE	



STANDARD CONSTRUCTION
DETAILS

 TREE PROTECTION	 LIFE GUARD
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REVISIONS

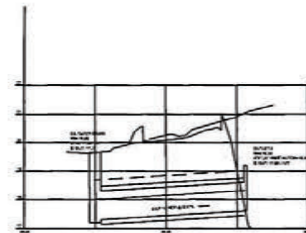
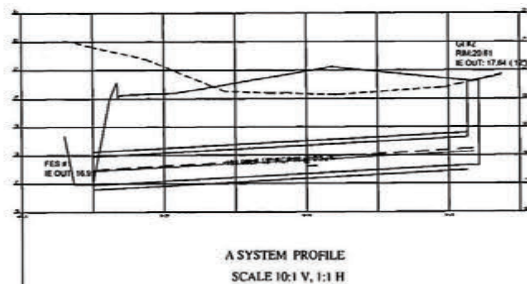
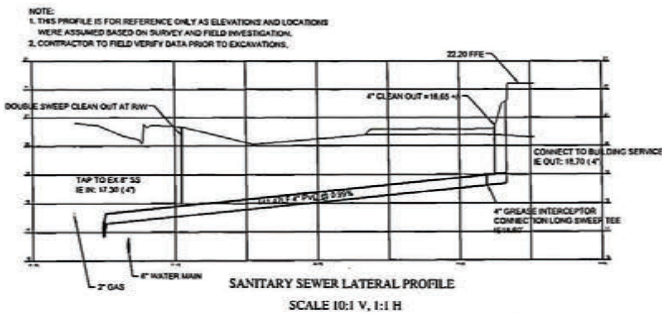
BARTOW SITE ENGINEERING, LLC
209 WOOD DUCK WAY
SPRINGFIELD, GA 31329
(912) 856-3289
pbartsmith@yahoo.com

Bartow
Site
Engineer

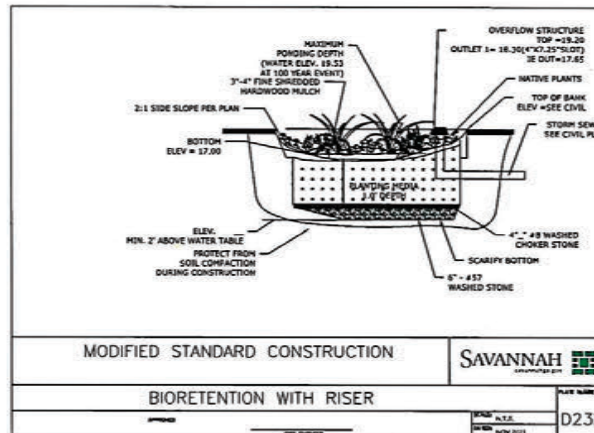
CIVIL CONSTRUCTION PLANS
5510 WATERS AVE

LANDSCAPING PLAN

SHEET
NUMBER
LP 01



— HGL, 25 YEAR Storm
- - - HGL, 100 YEAR Storm
- - - Design Surface
- - - Existing Surface



REVISIONS

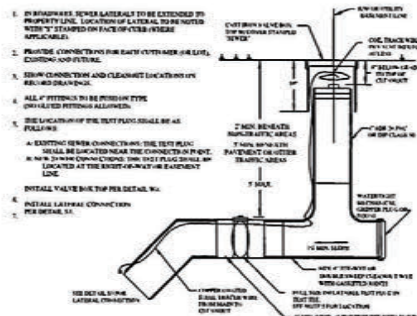
BARTOW SITE ENGINEERING, LLC
208 WOOD DUCK WAY
SPRINGFIELD, GA 31129
(912) 886-3269
pbartow@bartow.com

Bartow
Site
Engineering, LLC

CIVIL CONSTRUCTION PLANS
5015 WATERS AVE

SEWER AND STORM PROFILES

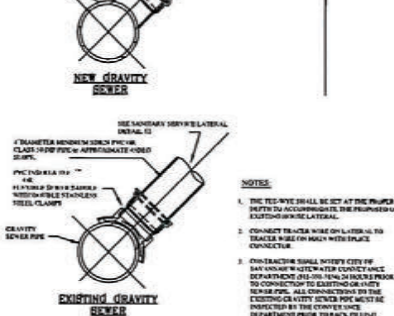
SHEET
NUMBER
PR-01



SANITARY SERVICE LATERAL

STANDARD CONSTRUCTION DETAILS

NAME: N.T.S.
DATE: JAN 20
PLACE NUMBER



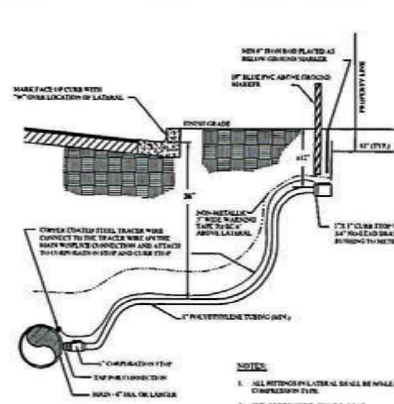
SANITARY SERVICE LATERAL CONNECTION

STANDARD CONSTRUCTION DETAILS



CITY OF
savannah
WATER BILLS • UTILITIES • WASTE MANAGEMENT
Planning • Engineering

NAME N.Y.
BAND JAN.
PLATE NUMBER



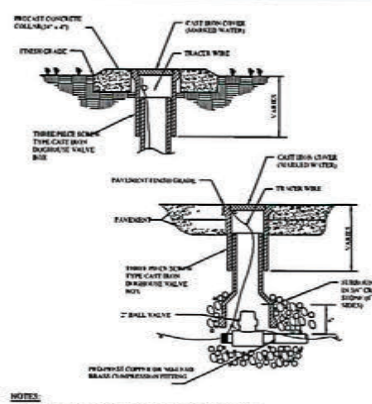
WATER SERVICE LATERAL (6" OR LARGER MAIN)

STANDARD CONSTRUCTION DETAILS



CITY OF
savannah
WATER RESOURCES AND PUBLIC WORKS DEPARTMENT
Savannah, Georgia

WIND: N E
WIND: E A S Y
PLACE NAME:



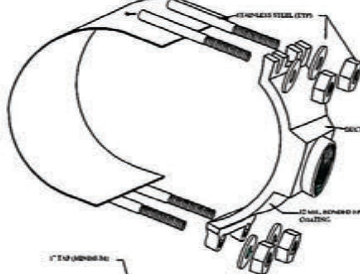
2" WATER VALVE AND VALVE BOX

**STANDARD
CONSTRUCTION**



CITY OF
savannah
WATER BUREAU AND PUBLIC WORKS DEPARTMENT

WCS: N
WCS: E
WCS: S



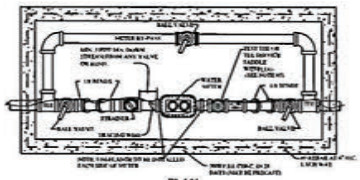
1" & 2" WATER TAPPING SADDLE

STANDARD
CONSTRUCTION
DETAILS



CITY OF
savannah
WATER BUREAU AND SANITARY ENGINEERING
400 West Congress Street

W. 400 P.T.E.
W. 400 P.T.E.
W. 400 P.T.E.



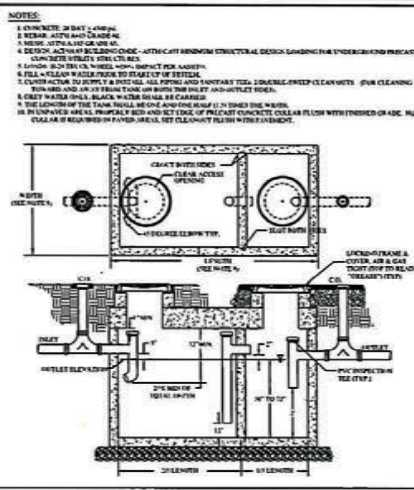
2" WATER METER INSTALLATION

STANDARD CONSTRUCTION DETAILS



CITY OF
savannah
WATER BUREAU AND PUBLIC WORKS BUREAU
Municipal Corporation

WILEY-BL
WILEY-PC
WILEY-PC



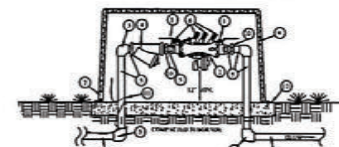
GRAVITY DRAINAGE INTERCEPTOR

STANDARD
CONSTRUCTION



CITY OF
savannah
SOUTH BROAD STREET AND PUBLIC WORKS DEPARTMENT

System: M1
System: P1
System: M2



MATERIALS

MATERIALS		
ITEM	QUANTITY	DESCRIPTION
1	2	FULL PORT BALL VALVE
2	1	RETRACTA PRESSURE ZONE DEVICE
3	4	IN-BOARD BRASS ELBOW 1/2" OR FLANGED
4	1	6" LINE AIR VALVE 1/2" OR FLANGED
5	4	IN-BOARD BRASS 90° ELBOW 1/2" OR FLANGED
6	1	TEST COCKS NO IN-BOARD BRASS PLUGS
7	1	ORBIT SPOT
8	1	PHILISTYLENE OR COPPER
9	1	PRIMER/BACKSUCKER/VALVE BY 1/2" BRASS OR EQUAL
10	2	NO-LEAK BRASS COUPLER (SEE NOTE 3)
11		TRACER WIRE
12	1	4" CONCRETE SLAB ON GRADE

1. **PER FINAL APPROVAL, ASSEMBLY MUST BE COMPLETED ON-CHASSIS. UNDER NO CIRCUMSTANCES WILL ANY COMPONENTS BE ALLOWED TO REMAIN THE SPOT/STAY IN THE BACKFLOW PREVENTER. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED PARALLEL TO DIRECTION OF FLOW AFTER.**

2. **UNDER NO CIRCUMSTANCES SHALL TEST PIPS BE MODIFIED OR STUBBED PLUS, ANY USE UNDER PIP OR BACKFLOW DEVICE TESTING.**

3. **ITEMS 4 AND 10 TEST FREQUENTLY AND THE UNITS MAY BE ORIENTED ON THE VERTICAL ASBEST TO ACHIEVE THE USUAL LATENCY LENGTH.**

TYPICAL OUTSIDE INSTALLATION
(1/4", 1", 1-1/2", 2", & 2-1/2" SIZES)

**REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER
FOR DOMESTIC SYSTEM (2-1/2" AND SMALLER)**

**STANDARD
CONSTRUCTION**



CITY OF
savannah
Savannah, Georgia

	What is the
	number of
	pages in



RELATIONS

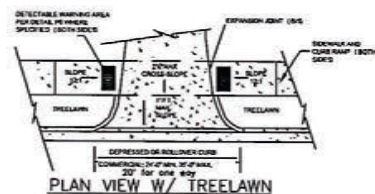
WARTOW SITE ENGINEERING, LLC
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(912) 856-3289
pbartsmith@yahoo.com

**Bartow
Site
Engineering, Inc.**

CIVIL CONSTRUCTION PLANS

DETAILS

SHEET
NUMBER
DT-01

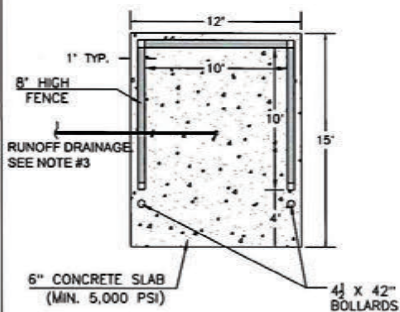


NOTES:

1. BASE SHALL BE SUITABLE SOIL MATERIAL PER SECTION 2202, PART 1.21.8 AND 4. COMPACT DOWNSIDE 8" BASE MATERIAL IN CITY CENTER AND 12" IN RURAL AREAS. PER SECTION 2202, PART 1.21.8 AND 4. CITY TECHNICAL SPECIFICATIONS.
2. CONCRETE DRIVEWAY SHALL BE NO LESS THAN 6" THICK IN CITY CENTER AND 8" THICK IN RURAL AREAS. REINFORCED WITH #4 BARS @ 18" SPACING PER SECTION 2202, PART 1.21.8 AND 4. CITY TECHNICAL SPECIFICATIONS.
3. SIDE OF DRIVEWAY TO STREET TO BE NO MORE THAN 1' PER FOOT EXCEPT ALONG ACCESSIBLE ROUTE CROSS-SECTION CAN BE MORE THAN 1'.
4. 12" TRUNCATED CONE BRICK DETECTABLE WALKWAYS ARE REQUIRED ON BOTH SIDES OF THE DRIVEWAY ALONG THE ACCESSIBLE PATH. SPECIFIED, REFER TO DETAIL 500-3.3 FOR DETECTABLE WALKING SURFACE CLADDING.

APPROVAL	SIGNATURE ON FILE	DATE	INITIALS

P050



NOTES:

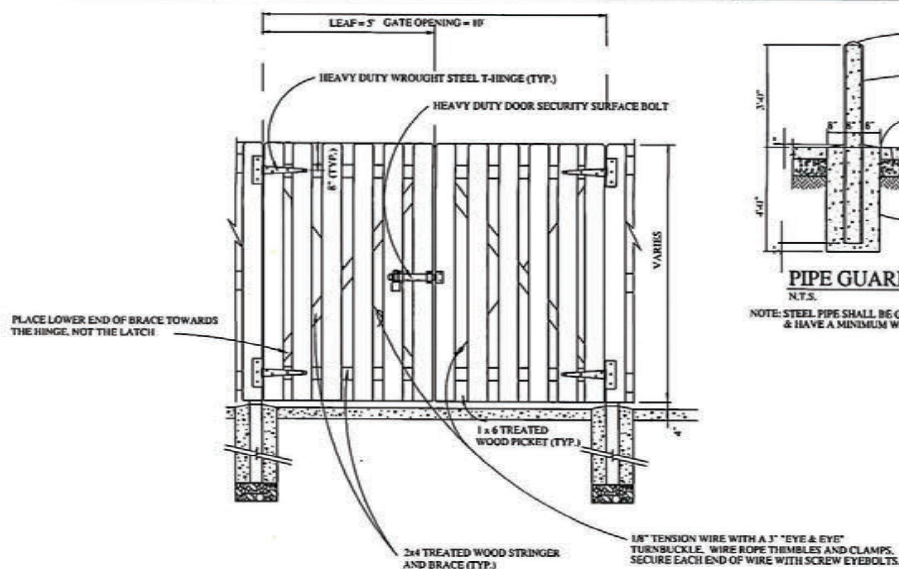
1. IF THICK-5,000 PSI CONCRETE SLAB, BASE OF THE SLAB MUST BE COMPACTED 100% (ASTM D698 - 4).
2. 36"ODS-8" HIGH FENCE (VARIOUS MATERIALS) - IT MUST BE DESIGNED TO MEET THE LATEST STANDARDS, AND IT MUST BE PERMITTED.
3. IF A COMPACTOR IS GOING TO BE USED, IT MUST HAVE A DRIP PAN, THE PAN'S DRAIN MUST BE CONNECTED TO THE CITY'S SEWER SYSTEM. IF A REGULAR DUMPSTER IS GOING TO BE USED, THE RUNOFF FROM THE CONCRETE SLAB MUST BE DIRECTED TO A GRASS STRIP, THE RUNOFF MUST FLOW THROUGH AT LEAST 15' OF GRASS BEFORE IT CAN GO INTO THE CITY'S STORM SYSTEM.

STANDARD CONSTRUCTION DETAILS	CITY OF <i>Savannah</i>
DUMPSTER ENCLOSURE (3 SIDES)	PLATE NUMBER

SA-0	SEARCHED _____ INDEXED _____ SERIALIZED _____ FILED _____ MAR 1967 FBI - NEW YORK
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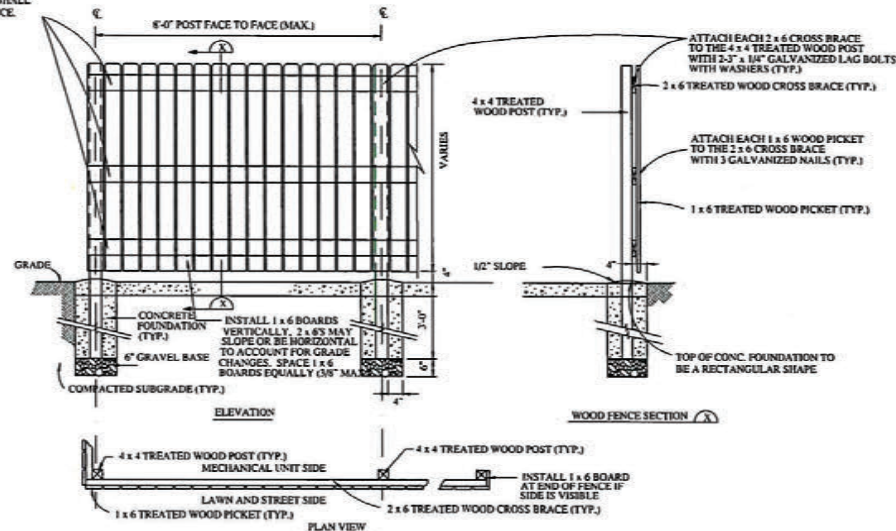


NOTE:
1. SEE CITY OF SAVANNAH P03 FOR JOINT SPACING AND SPECIFICATIONS
2. 2X THICKING EDGE ADJACENT TO BUILDING AND OTHER PAVEMENTS
3. SEALED EXPANSION JOINTS ADJACENT TO BUILDING.



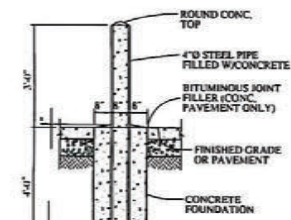
WOOD FENCE GATE DETAILS

NTS



WOOD FENCE DETAILS

NTS



PIPE GUARD DETAIL

NTS

NOTE: STEEL PIPE SHALL BE GALVANIZED (2.0 OZ. ZINC/SQ. FT.) & HAVE A MINIMUM WALL THICKNESS OF 0.322 INCHES.



REVISIONS

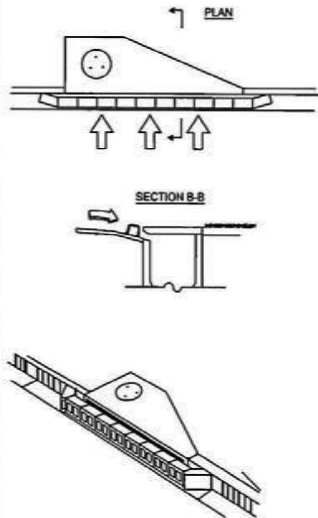
**Bartow
Site
Engineering, llc**

CIVIL CONSTRUCTION PLANS
5508 WATERS AVENUE

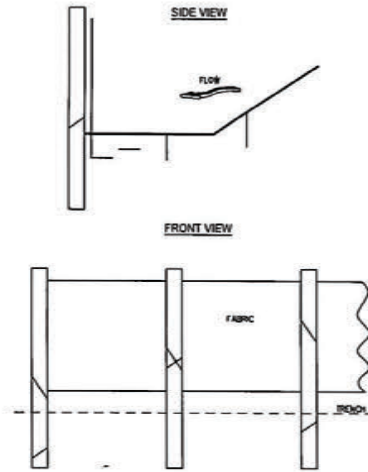
DETAILS

SHEET
NUMBER
DT-03

CURB INLET FILTER "PIGS IN BLANKET"

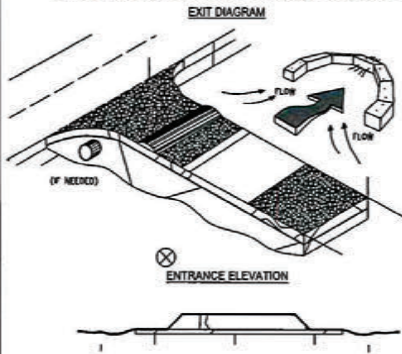


SILT FENCE - TYPE NON-SENSITIVE



- NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

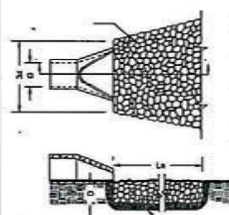
CRUSHED STONE CONSTRUCTION EXIT



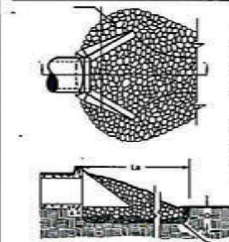
- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CHAIN FOR POSITIVE DRAINAGE.
 3. ACCURATE SIDE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-1.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 8".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VERTICAL EXCESS, BUT NO LESS THAN 20'.
 6. A THRESHOLD EDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DIVIDES.
 8. WHEN BARRIAGE IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. BARRIAGES AND/OR THE BARRIERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, BARRIAGE DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

RIPRAP OUTLET PROTECTION

PIPE OUTLET TO FLAT AREA - NO WELL DEFINED CHANNEL



PIPE OUTLET TO WELL DEFINED CHANNEL



RIP RAP SIZING FOR ST, WEIR, AND FLUME APPROX:

BOTH 12" PIPES:
RIP-RAP APPROX SIZE (TAIL WATER = 0.50):
D=1.57' + 2'
LA=8'
W=8.52'
D=8.52'

FLUME RIP RAP APPROX:
Q=2.40 CFS
V=5.17 FPS (BY MANNING'S EQUATION, N=0.015)
DEPTH OF FLOW=0.37'
D=0.875'
W=8.5'
LA=8.5'

Ds2 - TEMPORARY SEEDING

PLANTS, PLANTING RATES, AND PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS

SPECIES	BROADCAST RATE PER 1000 SQ. YD.	RESOURCE	REMARKS
VALLEY BROMOPHYTES (Perennial)	40 lbs. 0.5 lb.	MOUNTAIN SOUTHERN SOUTHERN COASTAL PLAN	277,000 SEED PER POUND
ALONG (IN MIXTURES)	10 lbs. 0.2 lb.	MOUNTAIN SOUTHERN SOUTHERN COASTAL PLAN	277,000 SEED PER POUND
RYE (Cereal)	3 lbs. 0.5 lb.	MOUNTAIN SOUTHERN SOUTHERN COASTAL PLAN	277,000 SEED PER POUND
ALONG (IN MIXTURES)	10 lbs. 0.2 lb.	MOUNTAIN SOUTHERN SOUTHERN COASTAL PLAN	277,000 SEED PER POUND
HYDRANGEA, ANNUAL (Perennial)	40 lbs. 0.5 lb.	MOUNTAIN SOUTHERN SOUTHERN COASTAL PLAN	277,000 SEED PER POUND
ALONG	10 lbs. 0.2 lb.	MOUNTAIN SOUTHERN SOUTHERN COASTAL PLAN	277,000 SEED PER POUND

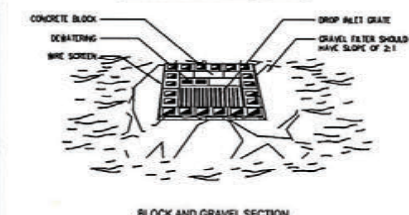
Ds3 Ds4 - PERMANENT SEEDING/SODDING

PLANTS, PLANTING RATES, AND PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS

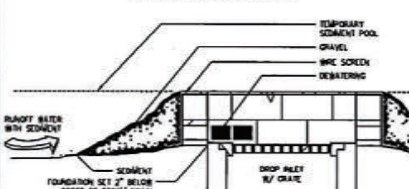
SPECIES	BROADCAST RATE PER 1000 SQ. YD.	RESOURCE	REMARKS
PERMANENT COVER (Perennial)	10 lbs. 0.2 lb.	PERMANENT COVER (Perennial)	277,000 SEED PER POUND
ALONG	10 lbs. 0.2 lb.	PERMANENT COVER (Perennial)	277,000 SEED PER POUND
PERMANENT COVER (Perennial)	10 lbs. 0.2 lb.	PERMANENT COVER (Perennial)	277,000 SEED PER POUND
ALONG	10 lbs. 0.2 lb.	PERMANENT COVER (Perennial)	277,000 SEED PER POUND

BLOCK AND GRAVEL DROP INLET PROTECTION

BLOCK AND GRAVEL PERSPECTIVE



BLOCK AND GRAVEL SECTION



- NOTES:
1. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 3/8" OPENINGS SHALL BE FITTED OVER ALL BLOCK OPENINGS TO HOLD GRAVEL IN PLACE.
 2. THE FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCHES BELOW THE CREST OF THE STORM DRAIN. THE FIRST ROW OF BLOCKS WILL BE PLACED HERE FOR LATERAL SUPPORT.
 3. ONE BLOCK (45 SOUNDS) IS TO BE PLACED ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW FOR POOL DRAINAGE.

SEEDING

Apply permanent seeding on areas left dormant for 1 year or more. Apply permanent seeding when no further disturbance is planned to determine optimum seeding schedule. Consult a local agronomist or erosion control specialist. Apply permanent seeding before seasonal rains or freezing weather is anticipated. Use dormant seeding for late fall or winter seeding schedules.

Seed Source: Use seeds appropriate to the season and site conditions. Consult local agronomist or erosion control specialist for seed mix. Use a seed blend to include annuals, perennials and legumes. Use seed rates based on pure live seed (PLS) or PLS. When PLS is being used adjust rates accordingly.

Site Preparation: Bring the planting area to final grade and install the necessary erosion control practices. Distribute concentrated bags away from the seeded area. Conduct soil test to determine soil and nutrient content. Roughen the soil by harrowing, tilling, plowing or turning.

Apply amendments as needed to adjust pH to 5.0-7.0. Incorporate these amendments into the soil. Prepare a 3-4 inch (75-100 mm) deep seedbed with the top 3-4 inches (75-100 mm) consisting of topsoil. The seedbed should be firm but not compact. The top three inches of soil should be loose, moist and free of large clods and stones.

Seeding: Seed is not contact is the key to good germination. Seed should be applied immediately after weather preparation while the soil is moist and firm. If the seedbed has been left too long for the soil to become compact, the topsoil should be loosened with a disk, spring tines, or a similar tool. Seed should be applied uniformly on the soil surface, and then lightly compacted to provide good seed-soil contact.

Harrowing, tilling or turning should be done horizontally across the face of the slope. Seed to soil contact is the key to good germination. Always apply seed before applying mulch.

Apply seed at the rate specified on the seed label. Apply seed, optional seeders, mechanical drills, or hydroseeder as the seed is applied uniformly on the slope. Broadcast seed should be incorporated into the soil by raking or chain dragging, and then lightly compacted to provide good seed-soil contact.

Apply fertilizer as specified. Apply much or erosion control blanket, as specified, over the seeded area.

Inspection and Maintenance: Newly seeded areas must be inspected frequently to ensure the grass is growing. If the seeded area is damaged due to runoff, additional stormwater measures may be needed.

Seed seeding can be done on small areas to fill in bare spots where grass did not grow properly.

VEGETATIVE PLAN

Ds2 Ds3

SPECIES	RATES PER ACRE	PLANTING DATES
AGRICULTURAL LIMESTONE FERTILIZER, 5-10-15	4,000 LBS.	
MULCH, STRAW, HAY	5,000 LBS.	
HULLED COMMON BERMUDAGRASS	10 LBS.	3/1 - 6/15
HAY MULCH FOR TEMPORARY COVER	5,000 LBS.	6/15 - 8/31
OPPRESSING 13.5% ANIMONIUM NITRATE	300 LBS.	WHEN PLANTS ARE 2" - 4" TALL
SECOND YEAR FERTILIZER 5-10-15 (OR EQUAL)	800 LBS.	

SEEDING SCHEDULE

SPECIES	RATES PER ACRE	PLANTING DATES
SEEDING:		
RYE GRASS	168 LBS.	15 JULY - 30 NOVEMBER
RYE GRASS W/MIXTURE	1/2 BU.	
COMMON BERMUDA (HULLED)	30 LBS.	1 MARCH - 30 JUNE
COMMON BERMUDA (UNHULLED)		1 OCTOBER - 28 FEBRUARY
FERTILIZER:		
13-13-13	1,400 LBS.	CONTRACTOR TO VERIFY FERTILIZER APPLICATION TO BE VERIFIED UPON COMPLETION OF SOIL TEST
MULCH:		
HAY	2 1/2 TONS	
STRAW	2 TONS	

WHERE PERMANENT VEGETATION IS TO BE ESTABLISHED AGRICULTURE LIME SHALL BE APPLIED AS INDICATED BY SOIL TEST OR AT A RATE OF 2 TONS PER ACRE. AGRICULTURAL LIME SHALL BE WITHIN THE SPECIFICATIONS OF THE GEORGIA DEPARTMENT OF AGRICULTURE.



REVISIONS

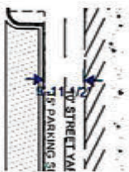
BARTOW SITE ENGINEERING, LLC
209 WOOD DUCK WAY
SPRINGFIELD, GA 31329
(912) 556-3289
phartsmith@yahoo.com

Bartow Site Engineering, LLC
CIVIL CONSTRUCTION PLANS
5500 WATERS AVENUE
EC DETAILS

SHEET NUMBER
DT-05

Submittal #2_ Sweet Spice Restaurant and Retail Space_Construction Plans.pdf Markup Summary

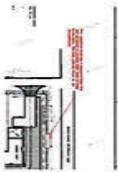
JohnAnagnost (3)



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9'-11 1/2"



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Page Label: 2
Author: JohnAnagnost
Date: 3/16/2026 10:19:41 AM
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The setbacks must be measured from the new property boundary after right-of-way dedication. The two parcels need to be recombined.

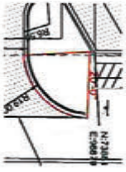


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This bike rack seems like it will be in the way of the car door.

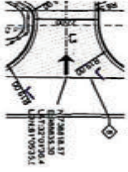
kcullens (15)



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20'-0"



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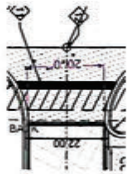
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1



Subject: Street and Traffic Length Measurement Tool

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Page Label: 4

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Subject: Streets and Traffic Count

1

Page Label: 4

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Subject: Radius Measurement

20'-0"

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Subject: Streets and Traffic Count

2

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Subject: Streets and Traffic Count

1

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Author: kcullens

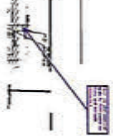
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upon site plan approval, apply for R/W permit for
demo and sidewalk connection

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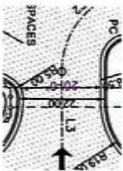
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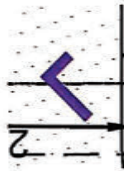




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Subject: Snapshot

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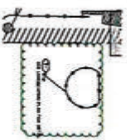
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Expand Tree Protection Zone



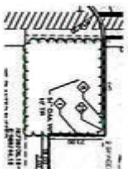
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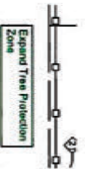
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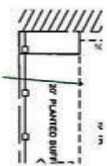
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Expand Tree Protection Zone



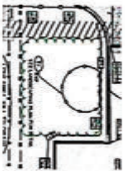
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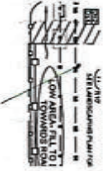


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Expand Tree protection Zone

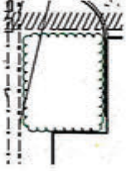
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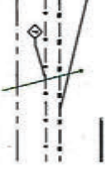
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Show Tree Protection Zone on all plan sheets

Plant 2" cups only in upper surface of grade.

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31

Plant 2" cups only in upper surface of grade.	
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Plant 2" cups only in upper surface of grade.

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33

Use Park and Tree planting details and specifications. Usually, we require landscape plans to be signed and sealed by a registered landscape architect but in this case a fairly knowledgeable registered professional is acceptable.