



Planning & Urban Design  
20 Interchange Drive, Administration Bldg.  
Savannah, GA, 31415  
Phone: 912.525.2783/Fax: 912.525.1562  
[www.savannahga.gov/planning](http://www.savannahga.gov/planning)



26-000237-28A

JAN 14 2026



110 E State St, Savannah, GA, 31401  
P.O. Box 8246, Savannah, GA, 31412-8246  
Phone: 912.651.1440 / Fax: 912.651.1480  
[www.thempc.org](http://www.thempc.org)

## Zoning Board of Appeals Application

Please type or print legibly. Attach additional sheets, if necessary, to fully answer any of the following sections. Incomplete applications shall not be scheduled by the Metropolitan Planning Commission (MPC) until deficiencies are corrected. Additional instructions and information regarding the amendment process are attached. **SUBMIT AN ELECTRONIC COMPLETED APPLICATION AND SUPPLEMENTAL DOCUMENTATION TO [PLANNING@SAVANNAHGA.GOV](mailto:PLANNING@SAVANNAHGA.GOV).** Applicants shall contact the MPC staff at 912.651.1440 prior to submitting an application.

### I. Subject Property

Street Address(es): 721 E 41st Street

Property Identification Number(s) (PINs) (Note: Attach a boundary survey, recorded or proposed plat, tax map or scaled plot plan to identify the property boundary lines.): 20076 06006

Total acreage or SF of the subject property: 17986 SF (0.39 acres)

Zoning District(s): RSF-6 Residential Single Family 6 (Ardsley Park-Chatham Crescent)

Existing land use(s) for the subject property (e.g., undeveloped, restaurant, auto repair shop, multi-family):  
Residential

### II. Reason for Variance (Check all that apply and attach a response and supporting documentation for each item checked).

- ☒ **A. REQUEST A VARIANCE (Sec. 3.21).** The application must be submitted to provide an opportunity for the ZBA to grant variances only from the building standards for permitted uses in the base zoning districts (not to include density or vehicular access) in Article 5.0, Base Zoning Districts; variable standards in Article 9.0, General Site Standards; and variable standards in Article 10.0, Natural Resource Standards. Refer to Page 6 for plot plan criteria and explain specifics of request (e.g., To request a 5 foot reduction of the 25 foot rear yard setback). **Describe the variance requested:** \_\_\_\_\_

The proposed accessory unit has a footprint of 754 square feet, and we are therefore requesting a variance of 54 square feet.

- ☐ **B. APPEALS (Sec. 3.23).** An appeal by any aggrieved party may be taken to the ZBA when an alleged error in a final written decision of any administrator, commission or board authorized to make a final written decision occurs. An application must be filed within thirty (30) working days of a final written decision. It will be considered filed when a complete notice of appeal is submitted to [planning@savannahga.gov](mailto:planning@savannahga.gov). **Provide an explanation specifying the grounds for the appeal with the ZBA and the administrator, commission or board whose decision is being appealed:** \_\_\_\_\_

- ☐ **C. RELIEF FOR NONCONFORMING USES AND STRUCTURES (Sec. 3.24).** An application must be submitted to request a re-establishment, expansion, or reconstruction of a nonconforming use. **Indicate the type of non-conformity and relief sought.** \_\_\_\_\_

- ☐ **D. REQUEST AN EXTENSION OF A ZBA APPROVAL.** If a ZBA decision needs to be extended, an application must be submitted. Date of ZBA Approval: \_\_\_\_\_ File No.: \_\_\_\_\_

**III. Application History.**

- Have any previous applications been made regarding the subject property?  
☐ Yes ☒ No If yes, please provide the file number(s): \_\_\_\_\_
- Is this request related to another review, such as a Certificate of Appropriateness (COA), Subdivision, Site Development Permit or Plan, Master Plan, Business Location Approval, Rezoning, or Text Amendment? If so, please provide the Plan/Permit # \_\_\_\_\_ and associated Staff Report/Decision.

**IV. Property Owner Information**

Name(s): Kalin Asenov and Tracy Crow

Registered Agent: \_\_\_\_\_  
(Or Officer or Authorized Signatory, if Property Owner is not an individual. Provide GA Annual Registration.)

Address: 721 E 41st St

City, State, Zip: Savannah, Ga 31401

Telephone: [REDACTED] Fax: \_\_\_\_\_

E-mail address: [REDACTED]

**V. Petitioner Information, if different from Property Owner (Note: If the property owner(s) will have an agent serve on his or her behalf, the owner(s) must complete the attached Letter of Authorization. If the agent changes after submitting the application and the agent is not the property owner, a new authorization form will be required.)**

Name(s): \_\_\_\_\_

Registered Agent: \_\_\_\_\_  
(Or Officer or Authorized Signatory, if Petitioner is not an individual)

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail address: \_\_\_\_\_

**VI. Agent, if different from Petitioner or Property Owner (Note: A signed, notarized Letter of Authorization from the property owner is required and must be attached if this section applies. If the agent changes after submitting the application and the agent is not the property owner, a new authorization form will be required. Please refer to VIII. Letter of Authorization.)**

Name(s): \_\_\_\_\_

Firm or Agency: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail address: \_\_\_\_\_

**VII. Application Fee:**

The non-refundable filing fee is based on the type of use for which relief is requested. Make check payable to City of Savannah.

- ☒ Residential: \$620.00  
☐ Non-residential: \$1,300.00

**VIII. Letter of Authorization**

As fee simple owner of the subject property that is identified as Property Identification Number(s) (PIN)

\_\_\_\_\_, I (we) authorize

\_\_\_\_\_(Agent Name) of \_\_\_\_\_ (Firm or

Agency, if applicable) to serve as agent on my (our) behalf for the purpose of making and executing this application

for the proposed request. I (we) understand that any representations(s) made on my (our) behalf, by my (our)

authorized representative, shall be legally binding upon the subject property.

**Property Owner(s)**

Name(s): \_\_\_\_\_

Registered Agent: \_\_\_\_\_

(Or Officer or Authorized Signatory, if Property owner is not an individual)

Signature(s)

Date

**Witness Signature Certificate**

State of Georgia

County of \_\_\_\_\_

Signed or attested before me on \_\_\_\_\_ by \_\_\_\_\_

Date

(Printed name(s) of individual(s) signing document)

who proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

\_\_\_\_ Personally Known or \_\_\_\_ Produced Identification Type of ID \_\_\_\_\_

\_\_\_\_\_  
Signature of Notary Public

\_\_\_\_\_  
(Name of notary, typed, stamped or printed)

Notary Public State of Georgia

My commission expires: \_\_\_\_\_

### IX. Application Checklist

Pursuant to O.C.G.A. § 8-2-26, this checklist must be completed and submitted with each application. Please check every item as either "Y" for items that are included with the application or "N" for items that are not included with the application. Items without an "N" checkbox are minimum requirements initially due with the application if applicable.

#### Yes No

- ☒ Part I. Subject Property
- ☒ Part II. Reason for Variance
- ☒ Part III. Application History
- ☒ Part IV. Property Owner Information
- ☐ ☒ Part V. Petitioner Information
- ☐ ☒ Part VI. Agent
- ☒ Part VII. Application Fee
- ☐ ☒ Part VIII. Letter of Authorization
- ☒ Part IX. Complete Application Checklist
- ☒ Part X. Certified Application (Signed application)
- ☒ ☐ A scaled dimensioned map, plat or sketch of the subject property referred to in the application
- ☒ ☐ Concept Plan of the proposed development if applicable

*Please note: Supplemental information may be required during plan review to address deficiencies.*

### X. Certified Application

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures, and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date. I understand that the approval of an application for Special Use Permit by The Mayor and Aldermen does not constitute a waiver from any applicable local, state, or federal regulations.

Kalin Asenov

01/14/2026

Applicant Name: Tracy Crow  
Print

  
Signature

01/14/26  
Date

---

### Contacts

Planning & Urban Design: 20 Interchange Drive, Administration Building  
Savannah, GA, 31415  
P.O. Box 1027, Savannah, GA, 31402 (Phone: 912.525.2783)

The Planning Commission: 110 E State St, Savannah, GA, 31401 (Located at the State Street Garage)  
P.O. Box 8246, Savannah, GA, 31412 (Phone: 912.651.1440)

## **RETAIN THIS PAGE**

### **Instructions**

1. Applicants shall contact the Secretary to the Zoning Board of Appeals (ZBA) at the MPC, 110 E State St, prior to submitting an application. Call the MPC at 912.651.1440.
2. The application form must be complete according to [Sec. 3.1.4](#) including the appropriate fee and all required supplemental materials before it will be processed and scheduled for a hearing. Failure to submit a completed application will delay placement on an agenda. If the property has been purchased within the last 12 months, please provide a copy of the Deed.
3. All applications must be submitted electronically to [planning@savannahga.gov](mailto:planning@savannahga.gov). If the document size is larger than 20 MB, please contact 912-525-2783.
4. A plot plan must be provided when a dimensional variance or use permit is requested. Plot plan criteria are listed below.
5. Supporting documents, such as the written decision that is being appealed (and specifics on why the decision is in error), or the associated COA Staff Report/Decision, Subdivision Staff Report/Decision, Site Permit Staff Report, and City Manager Decision must be provided. If Property Owner/Petitioner is not an individual, provide the Georgia Annual Registration.
6. A schedule of the application deadlines as well as the Planning Commission and City Council meetings dates are part of this application.

### **Zoning Board of Appeals Process (After the Application is Submitted)**

1. Once an application submittal is determined to be complete according to [Sec. 3.1.4](#), the MPC will schedule the petition for the next posted ZBA hearing date.
2. The MPC will notify the Petitioner of the public hearing date and time as well as publish a public notification in the newspaper.
3. The Petitioner will receive notification to obtain a Public Notice Sign(s) announcing the petition from the City's Planning & Urban Design Office located at 20 Interchange Drive, Administration Building. The Petitioner must post the sign(s) at least **15 DAYS PRIOR TO THE ZBA MEETING** according to [Sec. 3.2.6](#). If the signs are not posted at least 15 days prior to the meeting, the petition shall be rescheduled.
4. The Petitioner is responsible for removing the sign(s) within 10 days of the ZBA decision.
5. The ZBA agenda, which includes the staff report, will be posted on [www.thempc.org](http://www.thempc.org) no later than 48 hours before the scheduled meeting.
6. The ZBA hearing will be held in the Arthur A. Mendonsa Hearing Room at the MPC, 112 E State Street doorway.
7. Digital presentations must be provided to the Secretary to the ZBA at least two days prior to the hearing. To ensure the protection of its network, the MPC does not allow Petitioners to use thumb drives on its computers. Copies of any materials used to support your petition must be submitted for the record at the time of the hearing. The Petitioner shall provide a sufficient number of copies for the Board and Board secretary.
8. Requests to withdraw, defer or continue a petition is outlined in [Sec. 3.1.7.b](#).
9. A written notice of the ZBA decision will be sent to the Petitioner by the MPC following the meeting.
10. Building permits and approvals will be released upon receipt by the City of the ZBA decision.
11. A variance requiring a building permit shall expire after twelve (12) months from the date of approval if no building permit is issued. If a building permit is issued and expires under the terms of this Ordinance, the variance requiring the building permit shall also become null and void at the same time the building permit expires.
12. An appeal of the final written decision of the ZBA may be taken by filing a petition for certiorari with the Chatham County Superior Court within 30 days of the final action.

**Plot Plan Criteria (If you are applying for a dimensional variance or special use approval, a plot plan of the subject property must be submitted with this application. The plot plan must include the below information.)**

- North arrow and scale
- Street name(s)
- Dimensions of lot(s)
- Existing and proposed structures on lot (identify each structure - e.g., house, shed, pool)
- Dimensions between all structures and property lines and/or fences
- Location and dimensions of and proposed construction
- Types of fence (for example, chain link, wood, masonry, etc.)
- Proposed landscaping
- Project status (proposed or existing)

**The Petitioner will receive notification to obtain and post the Public Notice Sign(s) from the City's Planning & Urban Design Office at least 15 DAYS PRIOR TO THE ZONING BOARD OF APPEALS MEETING.**

**RETAIN THIS PAGE**

**2025 Application Submittal Deadlines  
And Meeting Dates  
for Zoning Board of Appeals**

| <b>Application Submittal<br/>Deadline</b><br><br><i>(Application submittal deadlines are on<br/>Fridays unless otherwise noted.)</i><br><br><b>Submittal Due: 5:00 p.m.</b><br><b>Submit Electronically to:</b><br><a href="mailto:planning@savananhga.gov">planning@savananhga.gov</a> | <b>Zoning Board of Appeals<br/>Meeting Dates</b><br><br><i>(All meetings are scheduled for every three<br/>weeks on Thursdays unless otherwise noted.)</i><br><br><b>Meeting Time: 10:00 a.m.</b><br><b>Meeting Location: MPC, 112 E State<br/>St, Arthur A. Mendonsa Hearing<br/>Room.</b> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DEC 13                                                                                                                                                                                                                                                                                  | JAN 23                                                                                                                                                                                                                                                                                      |
| JAN 31                                                                                                                                                                                                                                                                                  | FEB 27                                                                                                                                                                                                                                                                                      |
| FEB 21                                                                                                                                                                                                                                                                                  | MAR 27                                                                                                                                                                                                                                                                                      |
| MAR 28                                                                                                                                                                                                                                                                                  | APR 24                                                                                                                                                                                                                                                                                      |
| APR 25                                                                                                                                                                                                                                                                                  | MAY 22                                                                                                                                                                                                                                                                                      |
| MAY 23                                                                                                                                                                                                                                                                                  | JUN 26                                                                                                                                                                                                                                                                                      |
| JUN 27                                                                                                                                                                                                                                                                                  | JUL 24                                                                                                                                                                                                                                                                                      |
| AUG 1                                                                                                                                                                                                                                                                                   | AUG 28                                                                                                                                                                                                                                                                                      |
| AUG 22                                                                                                                                                                                                                                                                                  | SEP 25                                                                                                                                                                                                                                                                                      |
| SEP 26                                                                                                                                                                                                                                                                                  | OCT 23                                                                                                                                                                                                                                                                                      |
| OCT 24                                                                                                                                                                                                                                                                                  | NOV 20<br>**3 <sup>rd</sup> Thursday**                                                                                                                                                                                                                                                      |
| NOV 21                                                                                                                                                                                                                                                                                  | DEC 18<br>**3 <sup>RD</sup> Thursday**                                                                                                                                                                                                                                                      |
| DEC 19                                                                                                                                                                                                                                                                                  | JAN 22, 2026                                                                                                                                                                                                                                                                                |

**O.C.G.A. § 36-66-4(a):** A local government taking action resulting in a zoning decision shall provide for a hearing on the proposed action. At least 15 but not more than 45 days prior to the date of the hearing, the local government shall cause to be published within a newspaper of general circulation within the territorial boundaries of the local government a notice of the hearing. The notice shall state the time, place, and purpose of the hearing.

26-000237-2BA

**Zarina Davis**

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**From:** Kalin and Tray <38e52nd@gmail.com>  
**Sent:** Wednesday, January 14, 2026 8:04 PM  
**To:** Planning  
**Subject:** [Caution - External Email] Appeal for Plan Number 25-006002-PLAN  
**Attachments:** FINAL-2025-City-ZBA-Application-and-Checklist-12102024.pdf; 25019\_721 E 41st Street - Carriage House (1) (1).pdf; 25019\_721 E 41st Street - Main House (1).pdf  
  
**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To whom it may concern:

We are requesting a variance from the standard zoning requirement outlined in Section 8.4.7(d), which limits an accessory dwelling unit (ADU) to a maximum of 700 square feet. The proposed accessory unit has a footprint of 754 square feet, and we are therefore requesting a variance of 54 square feet.

The existing carriage house has a footprint of 416 square feet, with the dwelling unit located on the second floor at the same size (416 square feet). The first floor currently serves as a workshop. We are not proposing any increase to the size of the second-floor dwelling unit; the requested increase applies only to the first-floor workshop area.

If the alternative calculation of 40% of the main dwelling unit's square footage were applied, the allowable footprint would be 1,097 square feet. Our request is well below this threshold.

Additionally, the lot at 721 E. 41st Street has a total area of 17,986 square feet, which is nearly three times the minimum lot size required under RSF-6 zoning. With the proposed additions included, total lot coverage would be approximately 21.9%, which remains well below the maximum allowed 40%.

Attached you will find the application for variance, plan set for the addition to the carriage house, plan set for the main house of which page 8 shows the plot plan and all structures along with addition location.

Please let me know how to remit fees and if you need any other supporting documentation.

Thank you for your consideration and we look forward to our meeting on Friday.

Best regards,

Tray and Kalin

**Warning:** This email originated outside the City of Savannah. Do not open attachments, reply to, or click links unless you are certain you recognize the sender's **name, telephone number, and email address**. Please use the Phish Alert Button to report suspicious email to [ITSSecurity@Savannahga.Gov](mailto:ITSSecurity@Savannahga.Gov)



2 ROOF FRAMING PLAN  
1/4" = 1'-0"



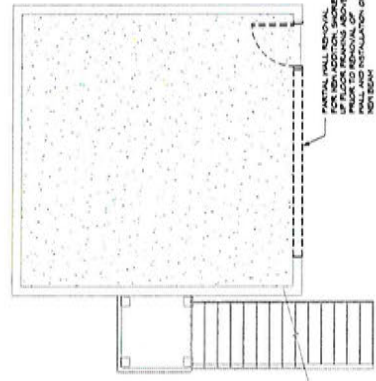
**NOT TO SCALE**



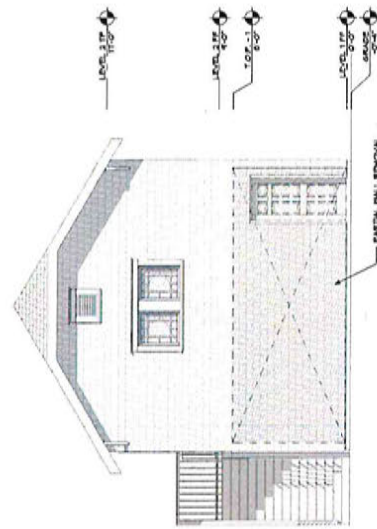
- LEGEND**
- EXISTING WALL TO REMAIN
  - WALL TO BE DEMOLISHED
  - ALL CHASED ITEMS TO BE DEMOLISHED

- GENERAL NOTES:**
- AS PER ALL DEMOLITION PROJECTS, DEMOLITION SHALL BE COMPLETED IN ACCORDANCE WITH THE DEMOLITION PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE DEMOLITION WORK AND FOR THE PROTECTION OF THE SURROUNDING PROPERTY.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING WALLS AND STRUCTURES IN ACCORDANCE WITH THE DEMOLITION PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SURROUNDING PROPERTY AND FOR THE SAFETY OF THE DEMOLITION WORK.
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DEMOLITION NOTES  
1/4" = 1'-0"



1 FIRST FLOOR - DEMO PLAN  
1/4" = 1'-0"



2 NORTH ELEVATION - DEMO  
1/4" = 1'-0"





HOMELINE  
ARCHITECTURE

28 E 12TH ST  
SAVANNAH, GA 31401  
P 912.433.8181  
WWW.HOMELINEARCH.COM

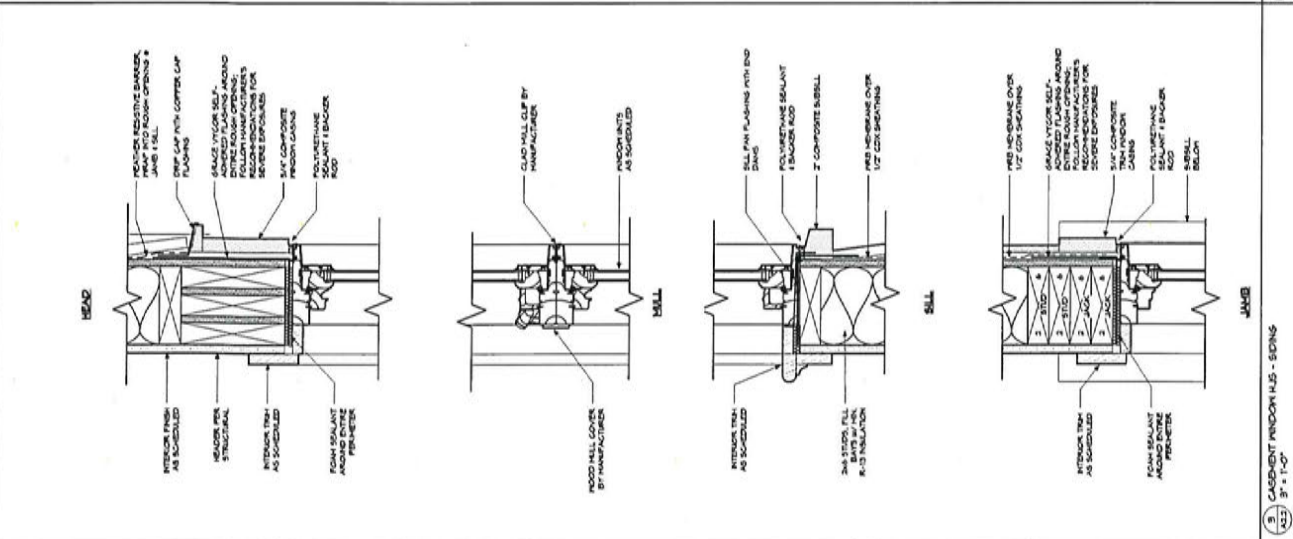
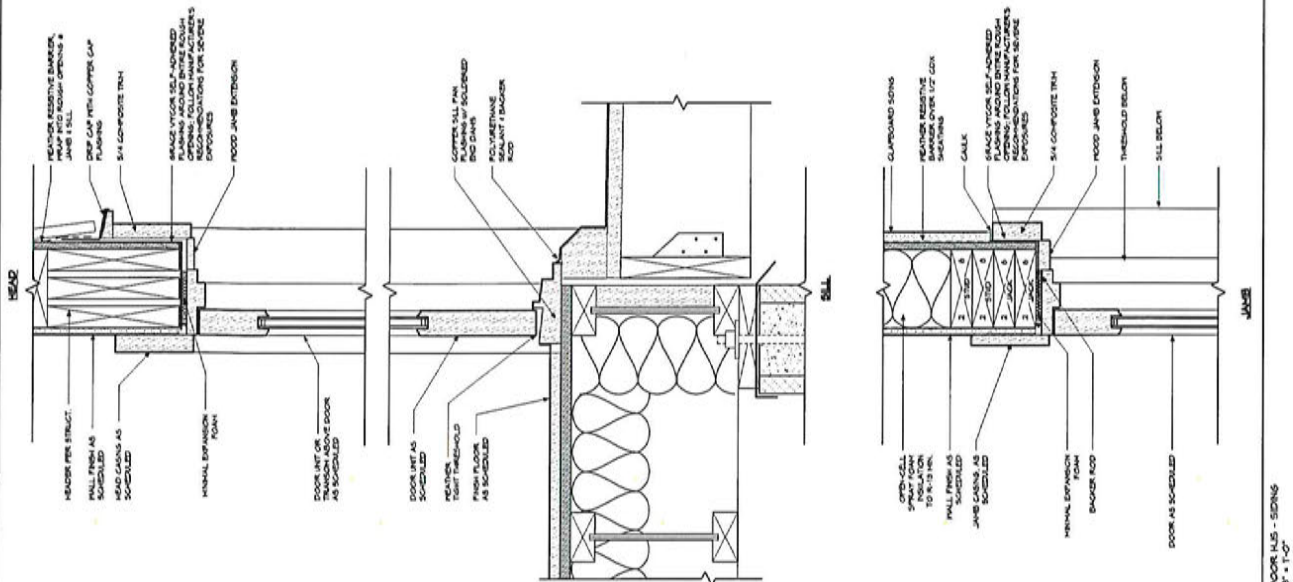
CARRIAGE HOUSE  
721 E 41st Street  
Savannah, GA 31401

DOOR/WINDOW/  
H/S DETAILS

REVISIONS  
1. This drawing is the property of the architect and shall remain confidential. It is to be used only for the project and site specified. It is not to be reproduced, copied, or otherwise used without the written consent of the architect.  
2. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.  
3. The contractor shall be responsible for obtaining all necessary materials and for complying with all applicable codes and regulations.  
4. The contractor shall be responsible for obtaining all necessary labor and for complying with all applicable codes and regulations.  
5. The contractor shall be responsible for obtaining all necessary equipment and for complying with all applicable codes and regulations.

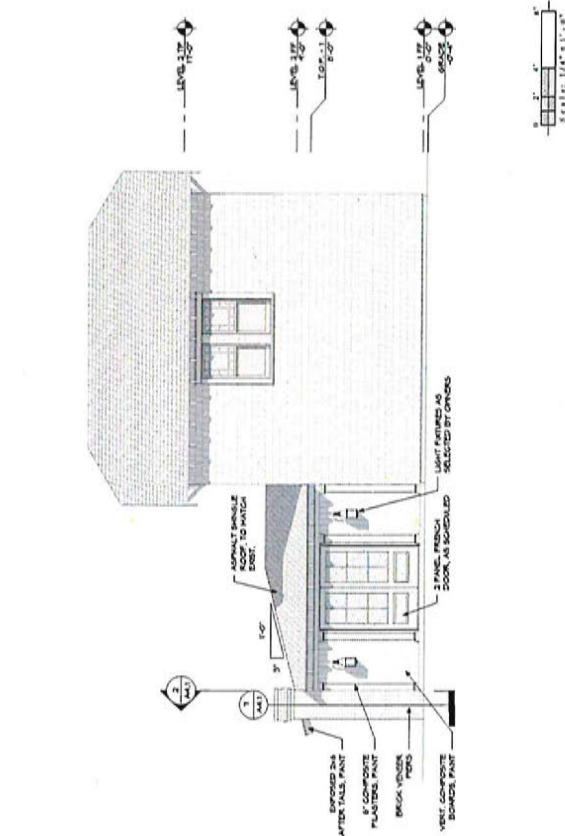
ISSUED FOR  
CONSTRUCTION  
FOR NO. 25018  
DATE: 12.02.2023  
DRAWN: NAME

A2.2

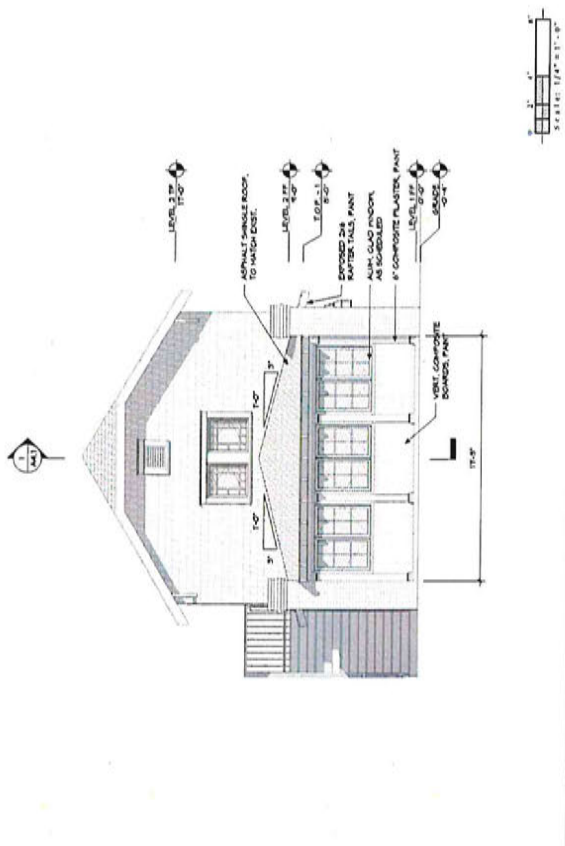


1. DOOR H/S - SONG  
5' x 11'0"

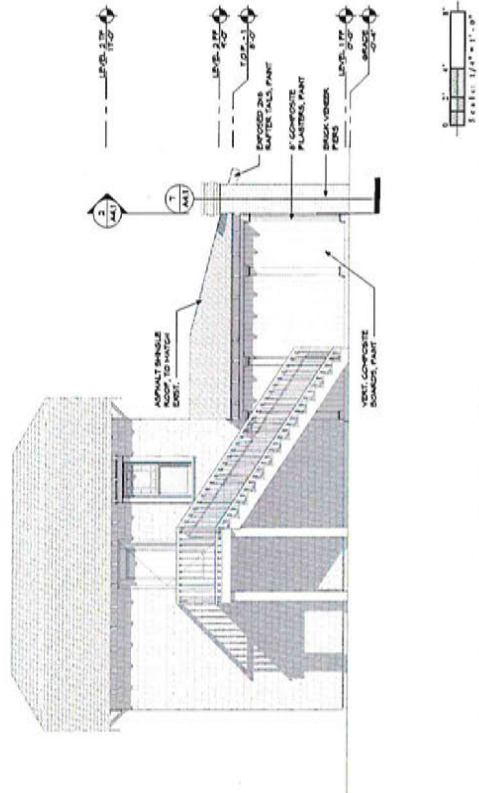
2. CASSETT WINDOW H/S - SONG  
5' x 11'0"



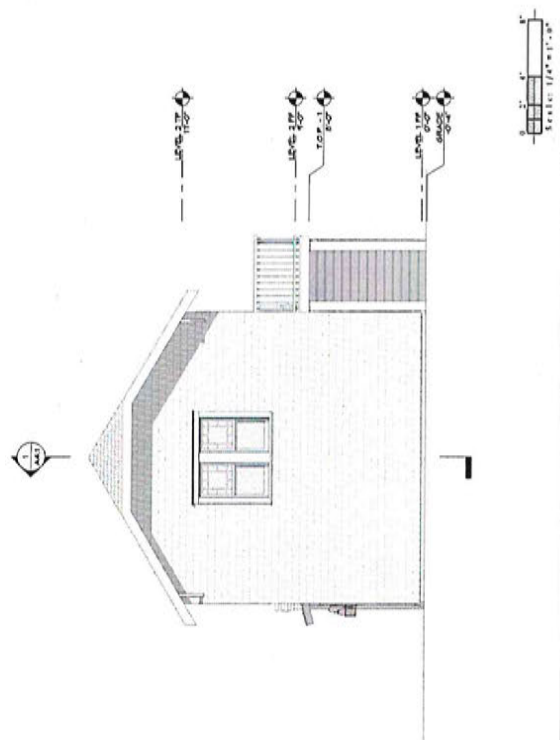
3 WEST ELEVATION  
1/4" = 1'-0"



1 NORTH ELEVATION  
AS.1  
1/4" = 1'-0"



4 EAST ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"

### A4.1

CODE REVIEW DATA - RESIDENTIAL

| GENERAL                                |                                                                   |
|----------------------------------------|-------------------------------------------------------------------|
| PROPERTY ADDRESS                       | 101 E 43 <sup>RD</sup> STREET<br>SAVANNAH, GA 31401               |
| JURISDICTION                           | CITY OF SAVANNAH                                                  |
| PROPERTY PIN                           | 3000000000                                                        |
| ZONING DISTRICT                        | SD00-0000                                                         |
| FLOOD ZONE                             | RESID-4 - RESIDENTIAL SINGLE FAMILY                               |
| OWNER                                  | K                                                                 |
| DEVELOPER                              | <input type="checkbox"/> HOUSING <input type="checkbox"/> PRIVATE |
| AGENCY PROJECT AREA                    | <input type="checkbox"/> HOUSING <input type="checkbox"/> PRIVATE |
| EXPENSE                                | 240 SOFT                                                          |
| DESIGN FIRM SPEED                      | 1000 MB                                                           |
| SEWING CLASSIFICATION OF SITE          | ZONE-B                                                            |
| TYPE OF CONSTRUCTION (BOC 2010 - GA-1) | TYPE 1-00                                                         |
| E. LOOR REQUIREMENTS                   |                                                                   |

2018 REC FOR 10 FAMILY DRILLING, WITH 6A AMENDMENTS  
2018 REC FOR 10 FAMILY DRILLING MECHANICAL SECTION WITH 6A AMENDMENTS  
2018 INTERNATIONAL PUMPING CODE WITH 6A AMENDMENTS  
2018 INTERNATIONAL FUEL GAS CODE WITH 6A AMENDMENTS  
2018 NATIONAL ELECTRIC CODE WITH 6A AMENDMENTS  
2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH 6A AMENDMENTS  
2018 INTERNATIONAL SPRINKLER CODE 1 SFA CODE WITH 6A AMENDMENTS  
2018 MOOD FRAME CONSTRUCTION MANUAL

## VICINITY MAP



## APCS ACOUSTICAL PANEL

[illegible]

1. **GENERAL CONTRACTOR IS NOT RESPONSIBLE FOR INTERFERENCES WITH THE WORK OF OTHERS.** CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING NECESSARY NOTIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PERIOD. THE ABOVE NAMED COMPANY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CHANGES TO THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CHANGES TO THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CHANGES TO THE WORK.

This figure illustrates various symbols commonly found in architectural floor plans. The symbols are arranged in two columns:

- Left Column:**
  - A diamond-shaped symbol containing the text "DOOR OPENING".
  - A small rectangle with a vertical line extending from its top center.
  - A rectangular symbol with rounded corners, labeled "RECEIVING & DELIVERY SECTION".
  - A square symbol with a smaller square centered inside it.
  - An oval symbol containing the word "STAIR".
  - A circle with a dot in the center, labeled "ELEVATOR".
- Right Column:**
  - A diamond-shaped symbol containing the text "DOOR OPENING".
  - A rectangular symbol with rounded corners, labeled "INTERIOR ELEVATIONS".
  - A diamond-shaped symbol containing the text "DOOR TAG".
  - A rectangular symbol with rounded corners, labeled "DOOR TAG".
  - A circle with a dot in the center, labeled "PNEUMATIC TAG".

| SCHEDULE OF DRAWINGS |                                | REVISION | CHANGED TO SET |
|----------------------|--------------------------------|----------|----------------|
| T.O. 1 TITLE SHEET   |                                |          |                |
| CIVIL                |                                |          |                |
| STRUCTURAL           |                                |          |                |
| S1.1                 | FOUNDATION & RAISING PLAN      |          |                |
| S2.1                 | STRUCTURAL NOTES               |          |                |
| S3.1                 | DETAILS                        |          |                |
| S3.2                 | STRUCTURAL NOTES & DETAILS     |          |                |
| ARCHITECTURAL        |                                |          |                |
| A1.1                 | SECTION FLOOR PLAN             |          |                |
| A1.2                 | SECTION EXTERIOR ELEVATIONS    |          |                |
| A1.3                 | FLOOR PLANS                    |          |                |
| A1.4                 | SECTION                        |          |                |
| A1.5                 | MANUFACTURED CEILING PLAN      |          |                |
| A2.1                 | DOOR/SCREEN TYPES & ELEVATIONS |          |                |
| A2.2                 | WALL TYPES & ELEVATIONS        |          |                |
| A2.3                 | EXTERIOR ELEVATIONS            |          |                |
| A2.4                 | EXTERIOR ELEVATIONS            |          |                |
| A2.5                 | WALL SECTIONS                  |          |                |
| MECHANICAL           |                                |          |                |
| ELECTRICAL           |                                |          |                |
| E1.1                 | ELECTRICAL PLAN                |          |                |
| LANDSCAPE            |                                |          |                |



## GENERAL FOUNDATION NOTES

- [illegible]

## ENERGY FORMING NOTES

- COORDINATE LAYOUT OF FRAMING MEMBERS WITH ALL TRADES TO INSURE THAT JOISTS, HANDERS AND KITS ARE NOT EXCESSIVELY NOTICED. GET ONE BORDER SETTER TO RUN 20% CODE, BRITS-10-48 AND ATTC. MANUAL FOR JOIST HANDERS. TRUSSES SHOULD NOT BE CUT, NOTICED OR BORDERED. NOT ARCHITECTS' APPROVAL. HOLDERS GET A JOIST HANDER. JOIST HANDERS SHOULD COMPLY WITH ALL JOIST HANDERS. NOTE SIZE LIMITATIONS, JOIST HANDERS AND JOIST LOCATION. SEE SHEETS H101, H102 AND H103. JOIST HANDERS SHOULD BE PREPARED TO HANDLE JOISTS. JOISTS SHALL BE PROVIDED BY THE MANUFACTURER. JOISTS SHALL BE

SEVERAL CONSTITUTION NOTES

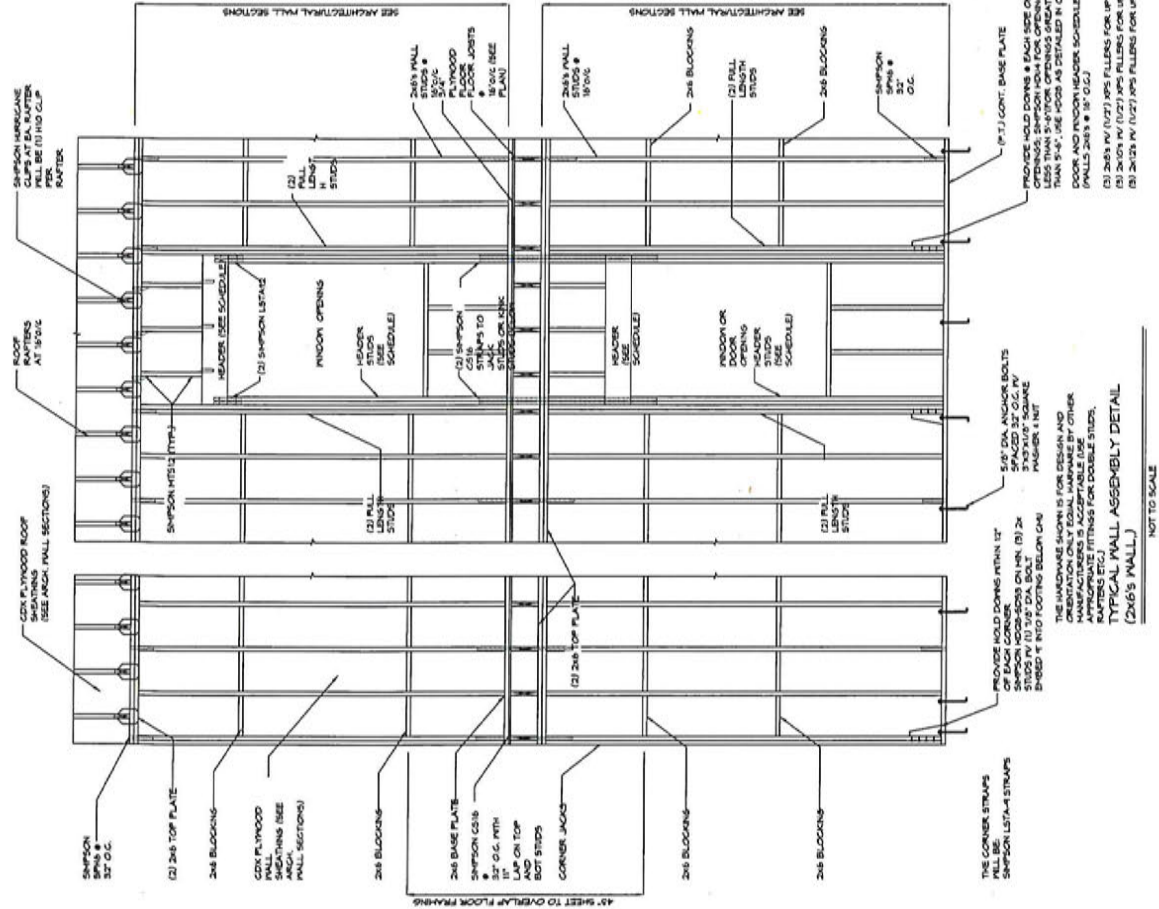
- [illegible]

## JGGRADE PREPARATION NOTES:

1. PRIOR TO CONSTRUCTION, ALL BUILDING AREA SHALL BE SURVEYED TO ESTABLISH A CENTER POINT FOR EACH BUILDING. THE CENTER POINT SHALL BE PLACED IN THE CENTER OF THE BUILDING FOOTPRINT, NOT NEAR THE ENTRY, EXIT OR OTHER OPENING.
2. AFTER THE CONSTRUCTION OF THE BUILDING, THE CENTER POINT SHALL BE PLACED IN THE CENTER OF THE BUILDING FOOTPRINT, NOT NEAR THE ENTRY, EXIT OR OTHER OPENING.
3. THE CENTER POINT SHALL BE PLACED IN THE CENTER OF THE BUILDING FOOTPRINT, NOT NEAR THE ENTRY, EXIT OR OTHER OPENING.
4. THE CENTER POINT SHALL BE PLACED IN THE CENTER OF THE BUILDING FOOTPRINT, NOT NEAR THE ENTRY, EXIT OR OTHER OPENING.
5. THE CENTER POINT SHALL BE PLACED IN THE CENTER OF THE BUILDING FOOTPRINT, NOT NEAR THE ENTRY, EXIT OR OTHER OPENING.
6. THE CENTER POINT SHALL BE PLACED IN THE CENTER OF THE BUILDING FOOTPRINT, NOT NEAR THE ENTRY, EXIT OR OTHER OPENING.

LAST IN PLACE CONCRETE NOTES:

- [illegible]



TYPICAL EXTERIOR  
SHADING PANEL  
(REF.)  
DETAIL 3-61 FOR  
TYPICAL EXTERIOR  
SHADING PANELS  
SECOND FLOOR  
FRAMING BEING  
VERTICAL SLIT  
PILLS  
BEING NOT SHOWN  
FOR  
CLARITY

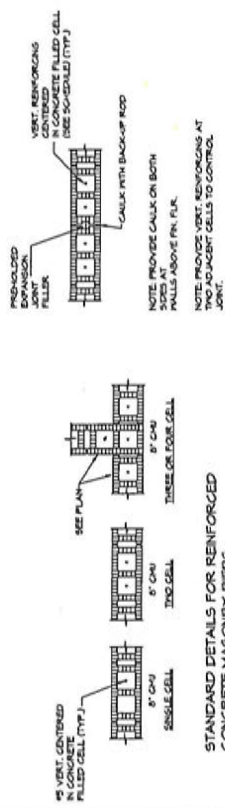
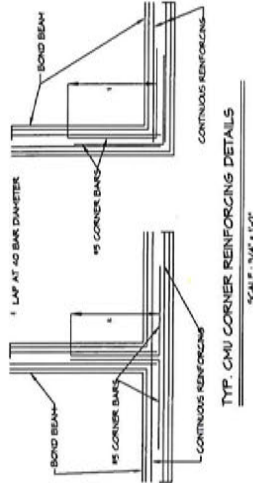
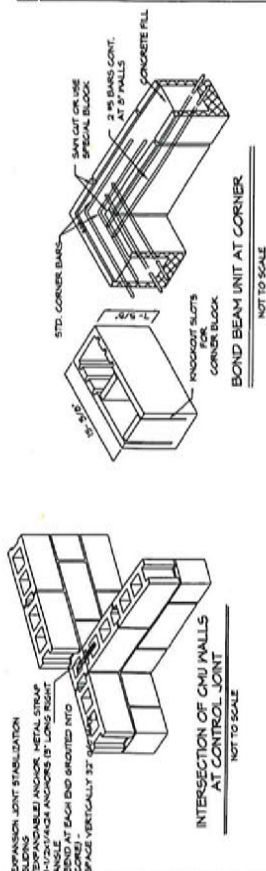
CONTINUOUS  
SHADING  
OVER  
SECOND  
FLOOR  
FRAMING  
STAGGER  
JOINTS  
HORIZONTALLY

REINFORCED CONCRETE MASONRY NOTES:

- [illegible]

## STRUCTURAL STEEL GENERAL NOTES

1. ALL BLOCK CELLS ARE TO BE EXPOSED SOLID PRESH
2. BLOCK IS SOLICITED TO BE EXPOSED TO SOLID PRESH
3. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
4. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
5. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
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11. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
12. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
13. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
14. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
15. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
16. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
17. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
18. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
19. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH
20. EXPOSURE IS SOLICITED TO BE EXPOSED TO SOLID PRESH



## STANDARD DETAILS FOR REINFORCED

**NOT TO SCALE**

SCALE: 3/4" = 1'-0"

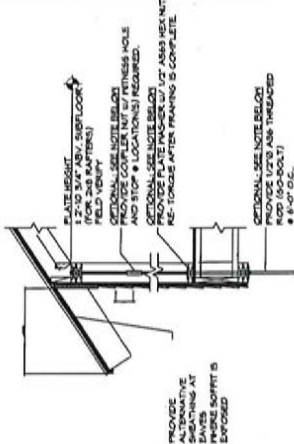
SCALE: 3/4" = 1'-0"

CALL ANCHOR BOLT NOTES:

5/8"x10" MIN. ANCHOR BOLT IN T MIN.  
DRILLED INTO CONCRETE BEAM IN  
3"x3"x1/2" PLATE W/ 1/2" O.C.  
(NOTE: A BOLT MUST BE PROVIDED  
WITHIN 6" TO 12" OF EACH END OF  
EACH PLATE AND WITHIN 12" OF ALL  
CORNERS)  
ALTERNATE ANCHORS: SHORCON  
FASTEN 16" O.C. OR SHORCON TITEN  
FASTEN 4 1/2" MIN. DRILLED 16" O.C.

## TYPICAL ANCHOR BOLT NOTES

**THE UNIVERSITY OF CHICAGO**



PROVIDE  
ALTERNATIVE  
SWEATING A  
BAYES  
WHERE SUFF  
EXPPOSED

OPTIONAL - SEE NOTE BELOW  
PROVIDE 1/2" A36 THREADED  
ROD (50-BOLT)  
# 6-0" O.C.

OPTIONAL 60-BOLT HOLD-DOWN SYSTEM

1/2" THREADED RODS

1 3/4"x18 COMPLERS

1/2"x18 NUTS

2"x10"x1/8" PLAIN PLATE WASHER

ENGSTEDT SLEEVE

ALL IRG PLATED - YELLOW CHROMATED

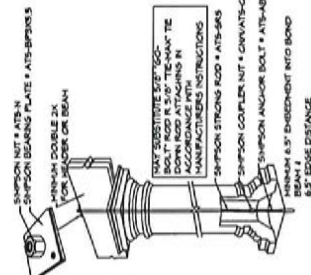
FOR MORE INFORMATION:

- SEE FPM-60-BOL-7-004

- CALL 800-754-4046

OPTIONAL GO-BOLT HOLD-DOWN SYSTEM

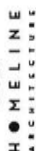
NOT TO SCALE



## OPTIONAL GO-BOLT HOLD-DOWN SYSTEM • COLUMNS

NOT TO SCALE





20 E 35TH ST  
SAVANNAH, GA 31401  
1912.629.2435  
F 912.427.8381  
WWW.HOMELINEARCH.COM

ADDITION TO  
721 E 41st Street  
Savannah, GA 31401

DEMOLITION  
EXTERIOR  
ELEVATIONS

ISSUED FOR  
CONSTRUCTION

JOB NO: 25.019  
 ISSUE DATE: 12/05/2025  
 DRAWN: ERS

### D3.1

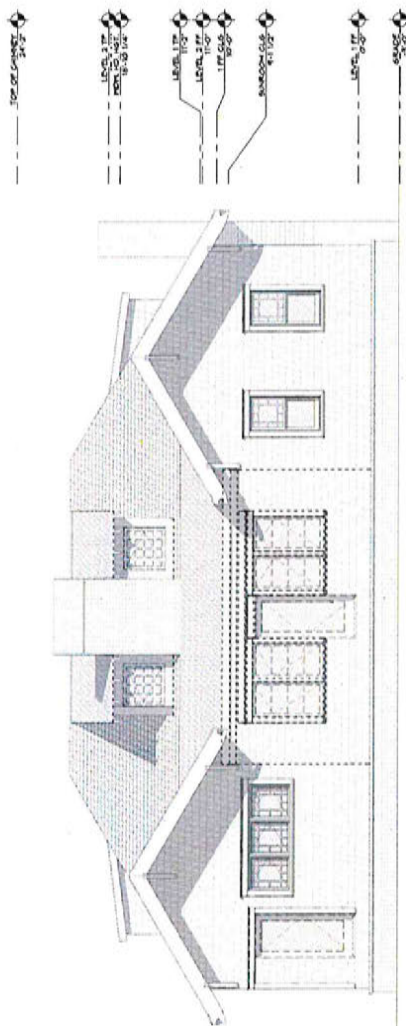
EXISTING ST-G PALL TO REMAIN  
PALL TO BE REMOVED  
ALL DASHED ITEMS TO BE REMOVED

#### GENERAL NOTES:

## GENERAL RESOLUTION NOTES:

- [illegible]

DEMOLITION NOTES  
1/4" = 1'-0"



1 NORTH ELEVATION - DEMO  
53.1 1/4" = 1'-0"



HOMELINE  
ARCHITECTURE

28 E 37TH ST  
SAVANNAH, GA 31401  
P 912.437.8881  
F 912.437.8881  
WWW.HOMELINEARCH.COM

ADDITION TO  
721 E 41st Street  
Savannah, GA 31401

SITE PLAN

REVISIONS:

1. This drawing is the property of HomeLine Architecture and is to be used only for the project and location specified. It is not to be reproduced, copied, or used for any other project without the written consent of HomeLine Architecture.

2. The owner is responsible for obtaining all necessary permits and approvals from the appropriate authorities. HomeLine Architecture is not responsible for any delays or costs associated with the permitting process.

3. The owner is responsible for providing accurate and complete information to HomeLine Architecture. HomeLine Architecture is not responsible for any errors or omissions in the information provided.

4. The owner is responsible for obtaining all necessary easements and rights of way for the project. HomeLine Architecture is not responsible for any delays or costs associated with the easement process.

5. The owner is responsible for obtaining all necessary utility information and approvals. HomeLine Architecture is not responsible for any delays or costs associated with the utility process.

6. The owner is responsible for obtaining all necessary environmental information and approvals. HomeLine Architecture is not responsible for any delays or costs associated with the environmental process.

7. The owner is responsible for obtaining all necessary zoning information and approvals. HomeLine Architecture is not responsible for any delays or costs associated with the zoning process.

8. The owner is responsible for obtaining all necessary title information and approvals. HomeLine Architecture is not responsible for any delays or costs associated with the title process.

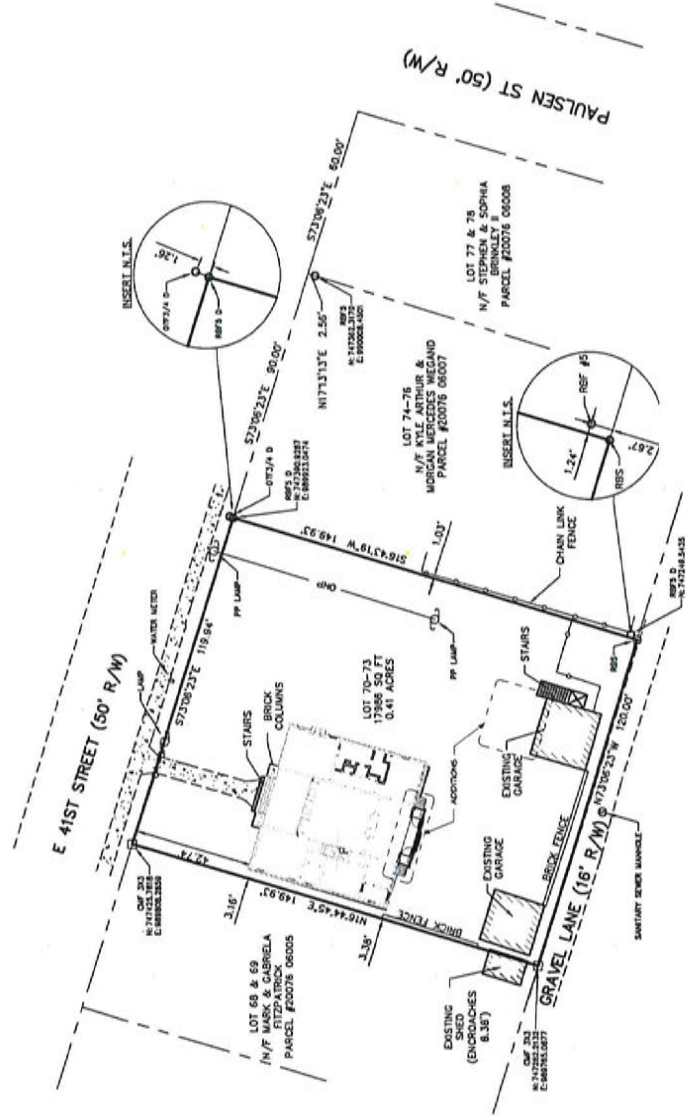
9. The owner is responsible for obtaining all necessary survey information and approvals. HomeLine Architecture is not responsible for any delays or costs associated with the survey process.

10. The owner is responsible for obtaining all necessary engineering information and approvals. HomeLine Architecture is not responsible for any delays or costs associated with the engineering process.

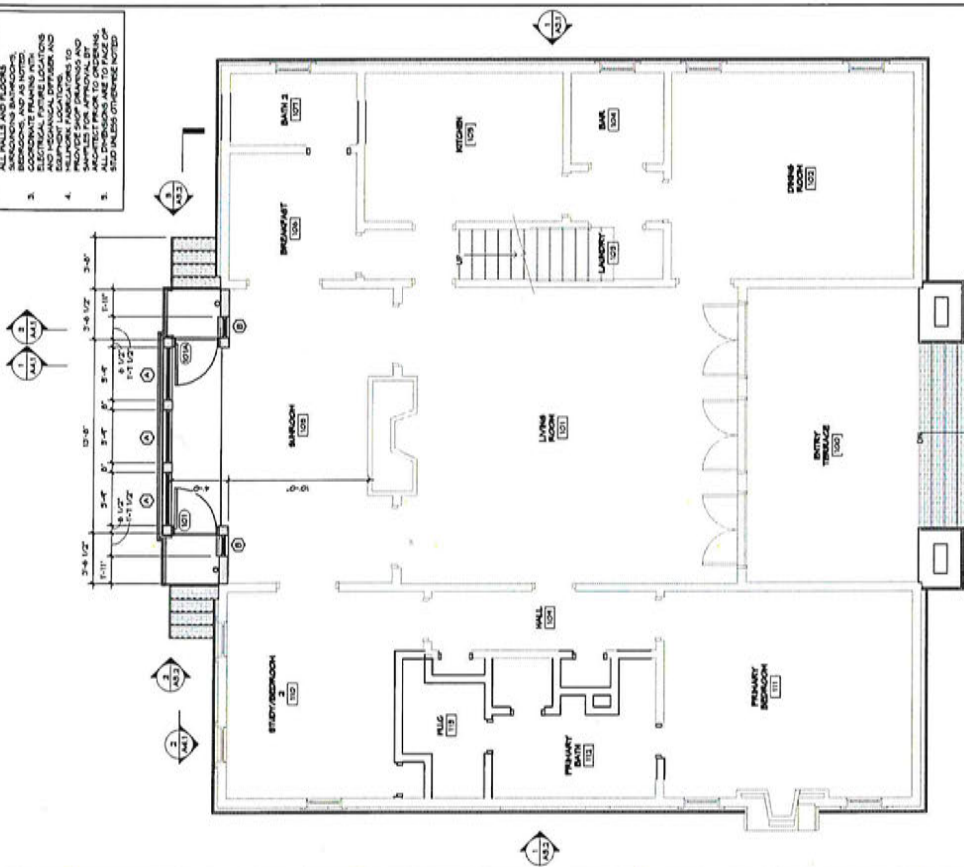
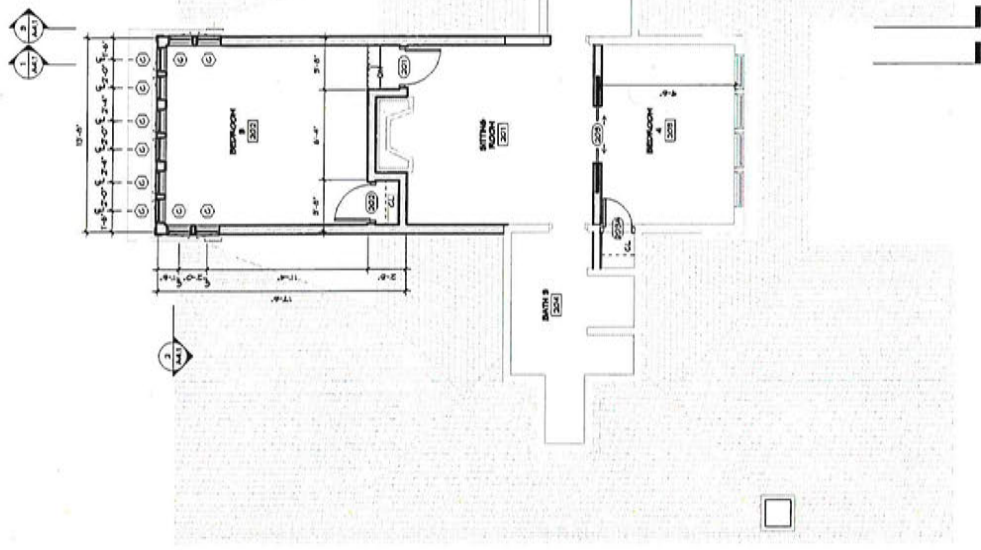
ISSUED FOR  
CONSTRUCTION

508 MC  
25.00  
DATE: 12/01/2023  
DRAWN: ERS

AS1.1



1 SITE PLAN  
SCALE 1" = 20'-0"



|                                 |
|---------------------------------|
| ABBREVIATIONS                   |
| P.O.B. PAGE OF BLOCK FOUNDATION |
| P.O.S. PAGE OF STUD             |
| § CENTERLINE                    |

|                          |               |
|--------------------------|---------------|
| <input type="checkbox"/> | NEW STUD MALL |
| <input type="checkbox"/> | EXISTING MALL |

| GENERAL NOTES |                                                                                                                                                                          |
|---------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.            | INDOOR WALLS ARE 2IN STD                                                                                                                                                 |
| 2.            | INDOOR CEILING INSULATION AT<br>ALL WALLS AND FLOORS                                                                                                                     |
| 3.            | INSULATION SHOWN ON<br>SECTIONAL SHOWN ON<br>SECTIONS, AND AS NOTED.                                                                                                     |
| 4.            | CONCRETE FINISH WITH<br>CERAMIC TILE, CARPET, AND<br>MECHANICAL SYSTEMS AND<br>EQUIPMENT LOCATIONS                                                                       |
| 5.            | EXHIBIT FABRICATIONS TO<br>SPECIFICATIONS AND<br>SAMPLES FOR APPROVAL AND<br>ARCHITECT PRIOR TO ORDERING.<br>ALL DIMENSIONS ARE TO FACE OF<br>STD UNLESS OTHERWISE NOTED |



ADDITION TO  
721 E 41st Street  
Savannah, GA 31401

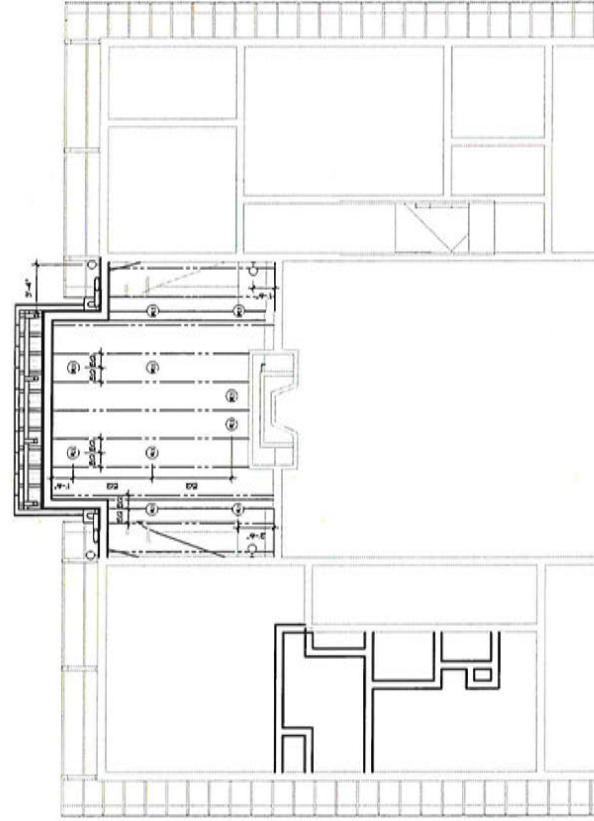
REFLECTED CEILING  
PLAN

REVISIONS

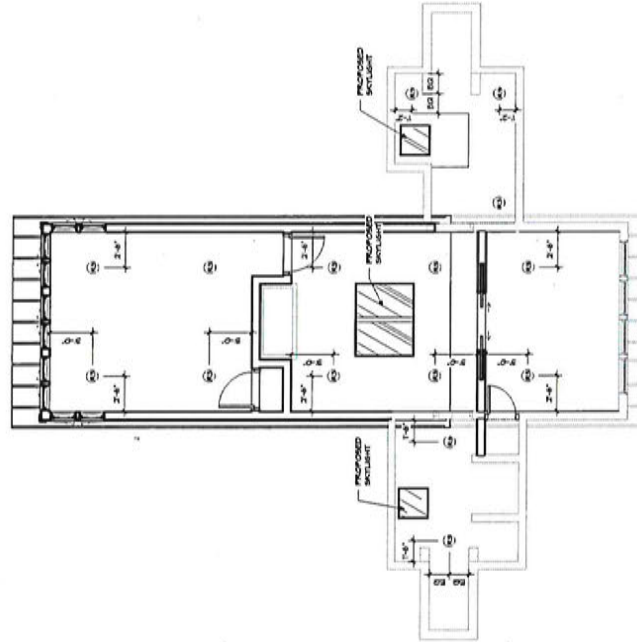
ISSUED FOR  
CONSTRUCTION

NO. 100  
DATE: 12/01/2023  
DRAWN: EES

A1.3



1. LEVEL 1 REF  
1/4" = 1'-0"

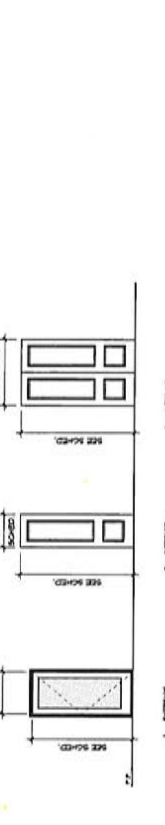


2. LEVEL 2 REF  
1/4" = 1'-0"

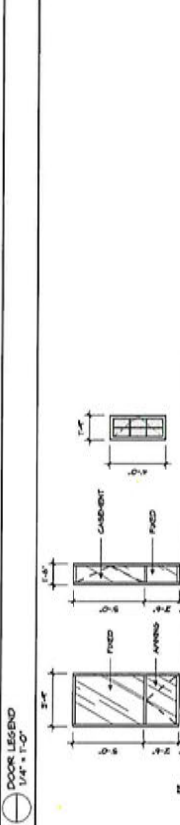
**DOOR SCHEDULE**

| MARK | ELEV. | HEIGHT | WIDTH | THICKNESS | DOOR FRAME | MATERIAL | FINISH | COMMENTS |
|------|-------|--------|-------|-----------|------------|----------|--------|----------|
| 101  | 1     | 8'-0"  | 3'-0" | 1 1/2"    | HD         | HD       | HD     |          |
| 102  | 2     | 8'-0"  | 3'-0" | 1 1/2"    | HD         | HD       | HD     |          |
| 103  | 3     | 8'-0"  | 3'-0" | 1 1/2"    | HD         | HD       | HD     |          |
| 104  | 4     | 8'-0"  | 3'-0" | 1 1/2"    | HD         | HD       | HD     |          |
| 105  | 5     | 8'-0"  | 3'-0" | 1 1/2"    | HD         | HD       | HD     |          |
| 106  | 6     | 8'-0"  | 3'-0" | 1 1/2"    | HD         | HD       | HD     |          |
| 107  | 7     | 8'-0"  | 3'-0" | 1 1/2"    | HD         | HD       | HD     |          |
| 108  | 8     | 8'-0"  | 3'-0" | 1 1/2"    | HD         | HD       | HD     |          |
| 109  | 9     | 8'-0"  | 3'-0" | 1 1/2"    | HD         | HD       | HD     |          |
| 110  | 10    | 8'-0"  | 3'-0" | 1 1/2"    | HD         | HD       | HD     |          |

**DOOR LEGEND**

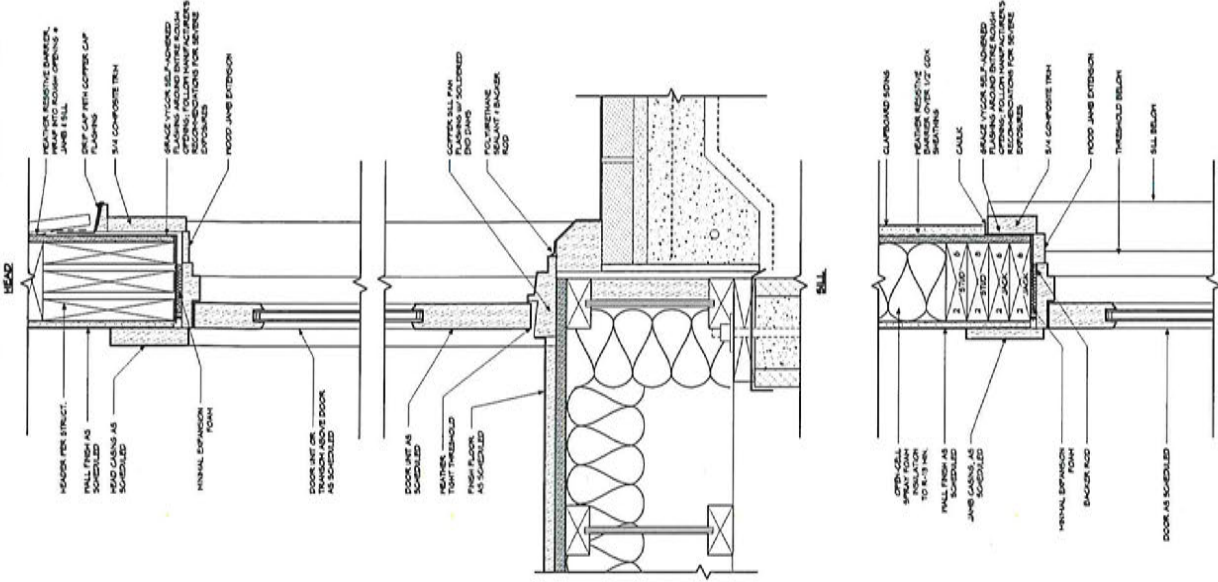


**DOOR LEGEND**

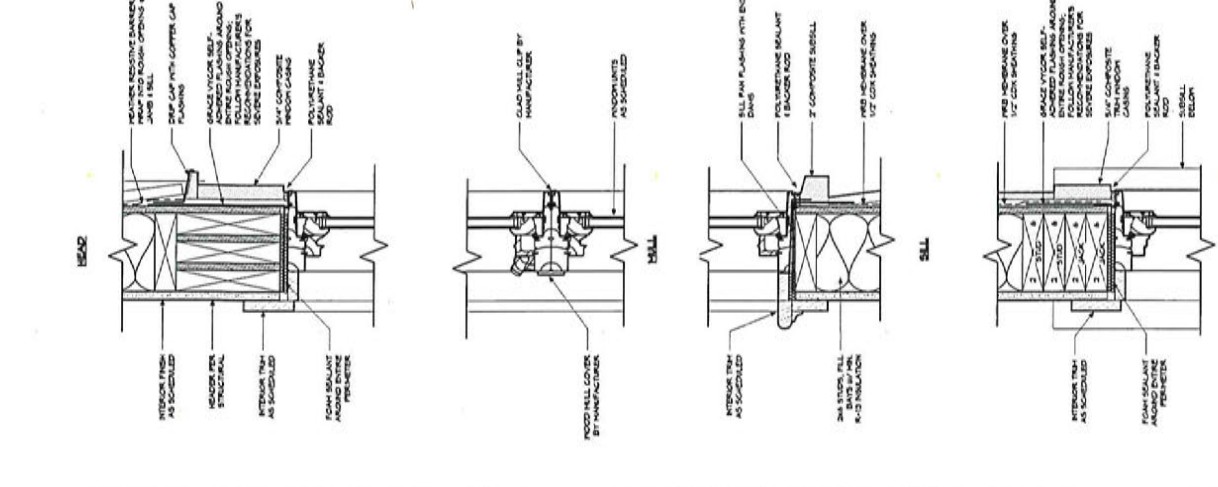


**DOOR AND WINDOW NOTES:**

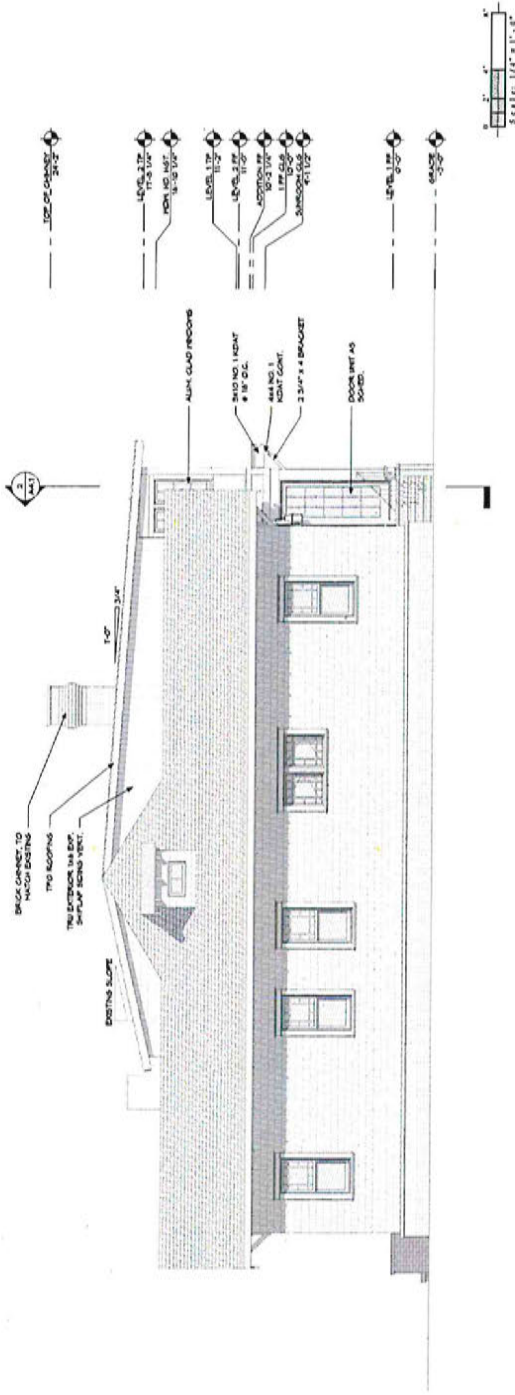
1. SUBMIT ALL DOOR, WINDOW, AND SHUTTER SCHEDULES TO THE ARCHITECT FOR REVIEW AND APPROVAL.
2. ALL WINDOW SCHEDULES AND SHUTTER SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
3. ALL WINDOW SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
4. ALL WINDOW SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
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9. ALL WINDOW SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
10. ALL WINDOW SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.



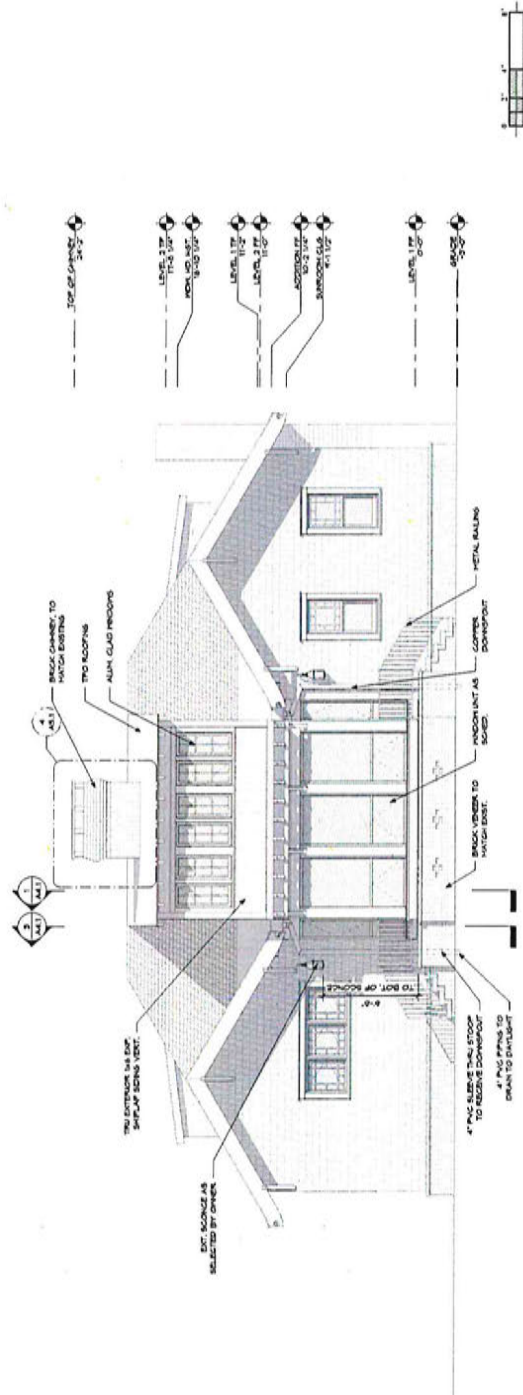
DOOR H/S - SONS  
3'-1 1/2"



CASSETTE WINDOW H/S - SONS  
3'-1 1/2"

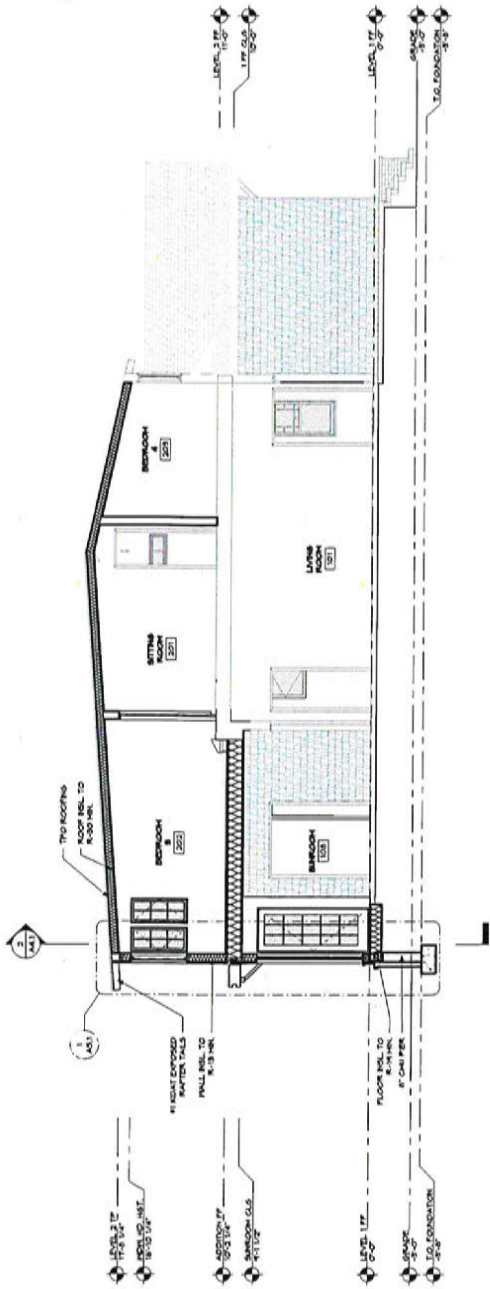


1. EAST ELEVATION  
1/4" = 1'-0"

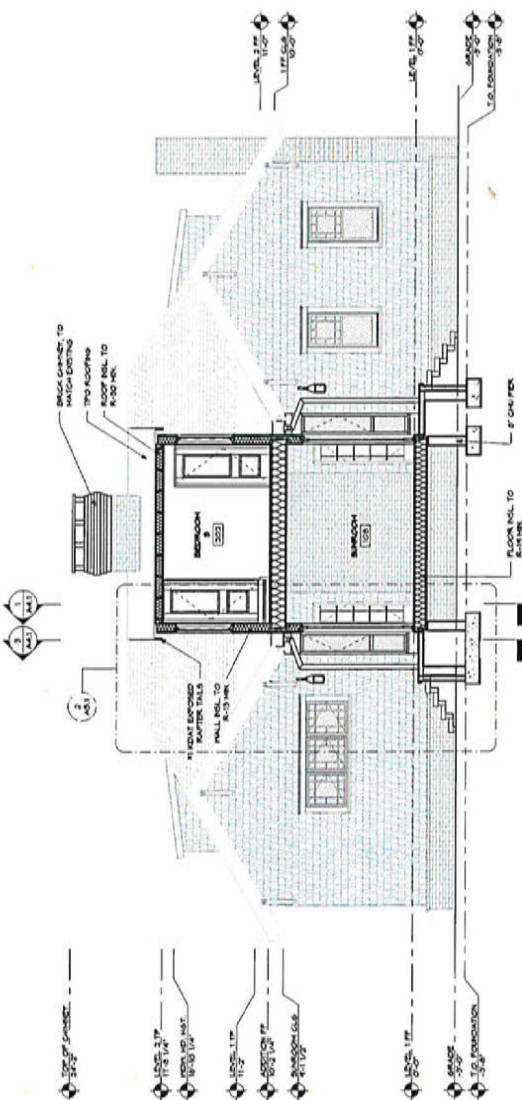


2. NORTH ELEVATION  
1/4" = 1'-0"

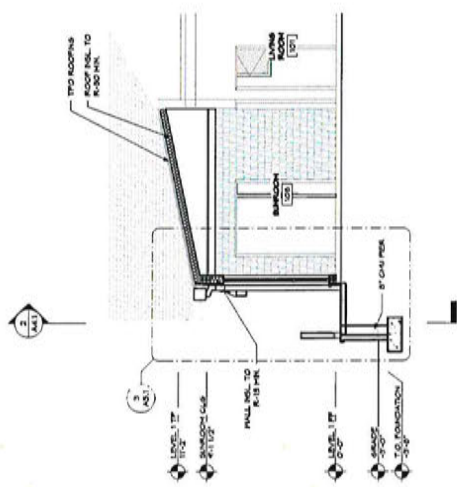
3 SUNROOM EAST ELEVATION  
1/4" = 1'-0"



Section 1  
1/4" = 1'-0"



Section 2  
1/4" = 1'-0"



Section 3  
1/4" = 1'-0"



HOMELINE  
ARCHITECTURE

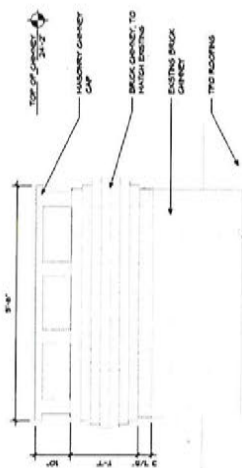
28 E 325th ST  
SAVANNAH, GA 31401  
P 912.433.8881  
WWW.HOMELINEARCH.COM

ADDITION TO  
721 E 41st Street  
Savannah, GA 31401

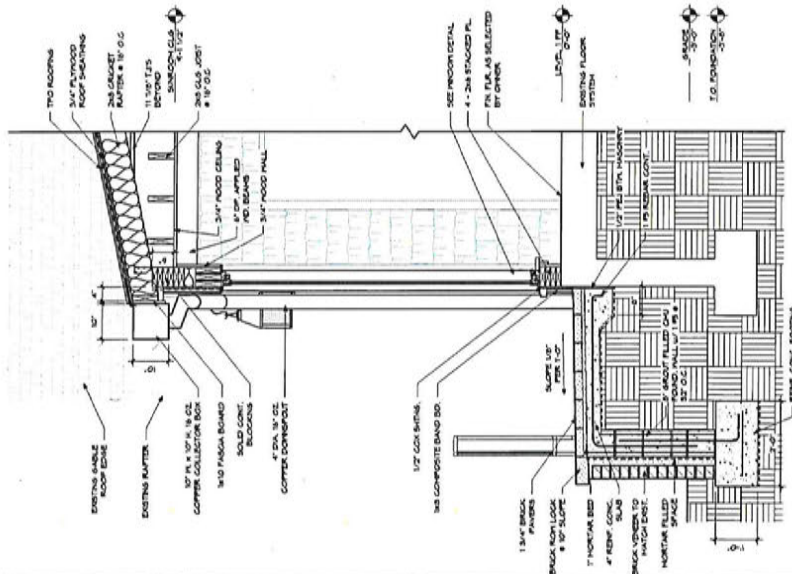
1 01-07-25 FOUND. DETAIL  
WALL SECTIONS

ISSUED FOR  
CONSTRUCTION  
FOR NO. 25-018  
DATE: 12/02/2025  
DRAWN: ERS

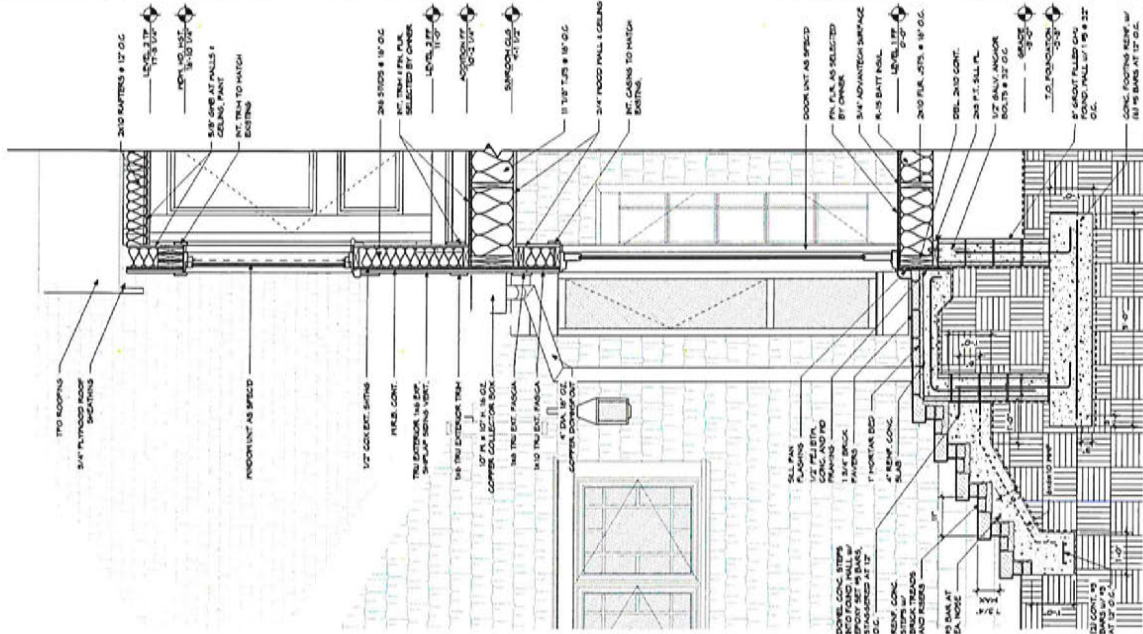
A5.1



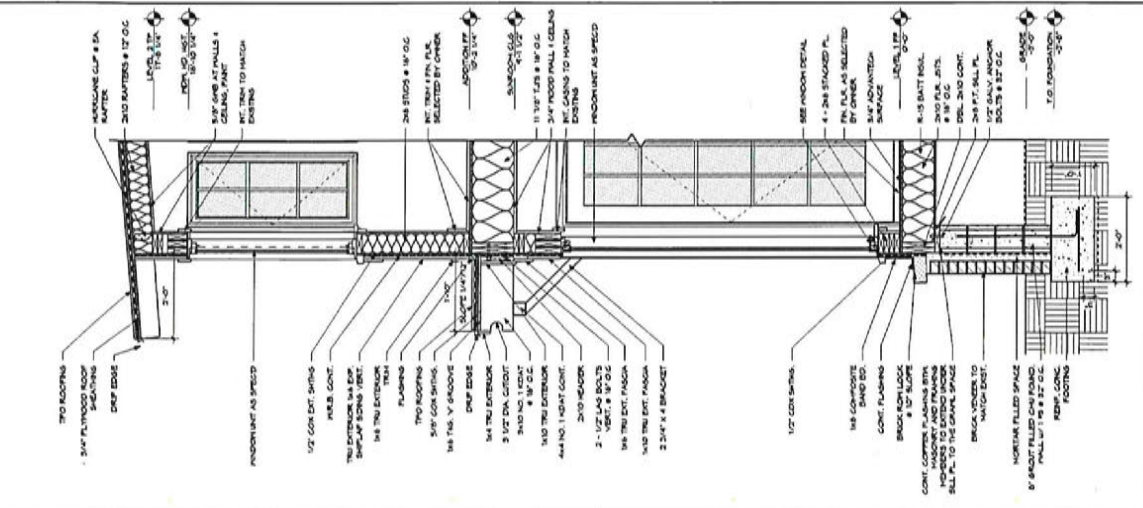
1 WALL SECTION 1  
3/4\"/>



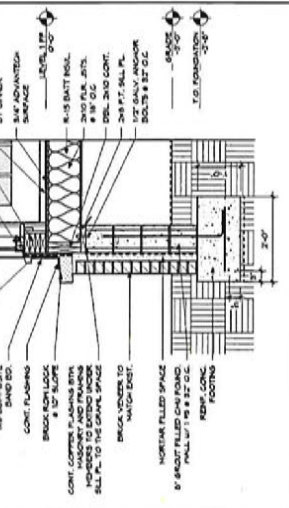
2 WALL SECTION 2  
3/4\"/>



3 WALL SECTION 3  
3/4\"/>



4 WALL SECTION 4  
3/4\"/>



5 WALL SECTION 5  
3/4\"/>

### ELECTRICAL LEGEND

- [illegible]

NOTE: SWITCHING TO BE COORDINATED WITH OTHER

1 FIRST FLOOR PLAN - ELECTRICAL  
1/4" = 1'-0"

2 SECOND FLOOR PLAN - ELECTRICAL  
1/4" = 1'-0"