

26-002035-ZBA



Planning & Urban Design
20 Interchange Drive, Administration Bldg.
Savannah, GA, 31415
Phone: 912.525.2783/Fax: 912.525.1562
www.savannahga.gov/planning

Zoning Board of Appeals Application

110 E State St, Savannah, GA, 31401
P.O. Box 8246, Savannah, GA, 31412-8246
Phone: 912.651.1440 / Fax: 912.651.1480
www.thempc.org

Please type or print legibly. Attach additional sheets, if necessary, to fully answer any of the following sections. Incomplete applications shall not be scheduled by the Metropolitan Planning Commission (MPC) until deficiencies are corrected. Additional instructions and information regarding the amendment process are attached. **SUBMIT AN ELECTRONIC COMPLETED APPLICATION AND SUPPLEMENTAL DOCUMENTATION TO PLANNING@SAVANNAHGA.GOV.** Applicants shall contact the MPC staff at 912.651.1440 prior to submitting an application.

I. Subject Property

Street Address(es): 2101 E. 65th St
Property Identification Number(s) (PINs) (Note: Attach a boundary survey, recorded or proposed plat, tax map or scaled plot plan to identify the property boundary lines.): 20115 06001
Total acreage or SF of the subject property: .38
Zoning District(s): RSF-10 Residential Single Family-10
Existing land use(s) for the subject property (e.g., undeveloped, restaurant, auto repair shop, multi-family): Ministry

II. Reason for Variance (Check all that apply and attach a response and supporting documentation for each item checked).

☒ **A. REQUEST A VARIANCE (Sec. 3.21).** The application must be submitted to provide an opportunity for the ZBA to grant variances only from the building standards for permitted uses in the base zoning districts (not to include density or vehicular access) in Article 5.0, Base Zoning Districts; variable standards in Article 9.0, General Site Standards; and variable standards in Article 10.0, Natural Resource Standards. Refer to Page 6 for plot plan criteria and explain specifics of request (e.g., To request a 5 foot reduction of the 25 foot rear yard setback). **Describe the variance requested:** requesting a reduction for the side setback to 2 ft

☐ **B. APPEALS (Sec. 3.23).** An appeal by any aggrieved party may be taken to the ZBA when an alleged error in a final written decision of any administrator, commission or board authorized to make a final written decision occurs. An application must be filed within thirty (30) working days of a final written decision. It will be considered filed when a complete notice of appeal is submitted to planning@savannahga.gov. **Provide an explanation specifying the grounds for the appeal with the ZBA and the administrator, commission or board whose decision is being appealed:**

☐ **C. RELIEF FOR NONCONFORMING USES AND STRUCTURES (Sec. 3.24).** An application must be submitted to request a re-establishment, expansion, or reconstruction of a nonconforming use. **Indicate the type of non-conformity and relief sought.**

☐ **D. REQUEST AN EXTENSION OF A ZBA APPROVAL.** If a ZBA decision needs to be extended, an application must be submitted. Date of ZBA Approval: _____ File No.: _____

III. Application History.

- Have any previous applications been made regarding the subject property?
☐ Yes ☒ No If yes, please provide the file number(s): _____
- Is this request related to another review, such as a Certificate of Appropriateness (COA), Subdivision, Site Development Permit or Plan, Master Plan, Business Location Approval, Rezoning, or Text Amendment? If so, please provide the Plan/Permit # _____ and associated Staff Report/Decision.

IV. Property Owner Information

Name(s): New Life Healing and Restoration

Registered Agent: Andre Perry

(Or Officer or Authorized Signatory, if Property Owner is not an individual. Provide GA Annual Registration.)

Address: 2101 E. 65th st

City, State, Zip: Savannah, Ga. 31404

Telephone: _____ Fax: _____

E-mail address: _____

V. Petitioner Information, if different from Property Owner (Note: If the property owner(s) will have an agent serve on his or her behalf, the owner(s) must complete the attached Letter of Authorization. If the agent changes after submitting the application and the agent is not the property owner, a new authorization form will be required.)

Name(s): Eco Friendly Construction and Consulting

Registered Agent: Andre Gadson

(Or Officer or Authorized Signatory, if Petitioner is not an individual)

Address: 1600 Staley Ave

City, State, Zip: Savannah, Ga. 31405

Telephone: _____ Fax: _____

E-mail address: _____

VI. Agent, if different from Petitioner or Property Owner (Note: A signed, notarized Letter of Authorization from the property owner is required and must be attached if this section applies. If the agent changes after submitting the application and the agent is not the property owner, a new authorization form will be required. Please refer to VIII. Letter of Authorization.)

Name(s): _____

Firm or Agency: _____

Address: _____

City, State, Zip: _____

Telephone: _____ Fax: _____

E-mail address: _____

VII. Application Fee:

The non-refundable filing fee is based on the type of use for which relief is requested. Make check payable to City of Savannah.

- ☐ Residential: \$620.00
☒ Non-residential: \$1,300.00

VIII. Letter of Authorization

As fee simple owner of the subject property that is identified as Property Identification Number(s) (PIN)
20115 06001, I (we) authorize

Andre Gadson (Agent Name) of Eco Friendly Construction (Firm or

Agency, if applicable) to serve as agent on my (our) behalf for the purpose of making and executing this application for the proposed request. I (we) understand that any representations(s) made on my (our) behalf, by my (our) authorized representative, shall be legally binding upon the subject property.

Property Owner(s)

Name(s): New Life Healing and Restoration

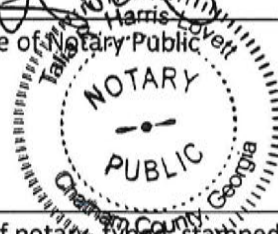
Registered Agent: Andre Perry
(Or Officer or Authorized Signatory, if Property owner is not an individual)

[Signature] 4/20/2026
Signature(s) Date

Witness Signature Certificate

State of Georgia
County of Chatham
Signed or attested before me on 20th by Andre Gadson
Date (Printed name(s) of individual(s) signing document)

who proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.
☒ Personally Known or ☐ Produced Identification Type of ID DL

[Signature]
Signature of Notary Public

(Name of notary, typed, stamped or printed)
Notary Public State of Georgia
My commission expires: 10.01.2027

IX. Application Checklist

Pursuant to O.C.G.A. § 8-2-26, this checklist must be completed and submitted with each application. Please check every item as either "Y" for items that are included with the application or "N" for items that are not included with the application. Items without an "N" checkbox are minimum requirements initially due with the application if applicable.

Yes No

- ☒ Part I. Subject Property
- ☒ Part II. Reason for Variance
- ☒ Part III. Application History
- ☒ Part IV. Property Owner Information
- ☒ ☐ Part V. Petitioner Information
- ☒ ☐ Part VI. Agent
- ☒ Part VII. Application Fee
- ☒ ☐ Part VIII. Letter of Authorization
- ☒ Part IX. Complete Application Checklist
- ☒ Part X. Certified Application (Signed application)
- ☒ ☐ A scaled dimensioned map, plat or sketch of the subject property referred to in the application
- ☒ ☐ Concept Plan of the proposed development if applicable

Please note: Supplemental information may be required during plan review to address deficiencies.

X. Certified Application

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures, and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date. I understand that the approval of an application for Special Use Permit by The Mayor and Aldermen does not constitute a waiver from any applicable local, state, or federal regulations.

Applicant Name: Andre Gadson
Print


Signature

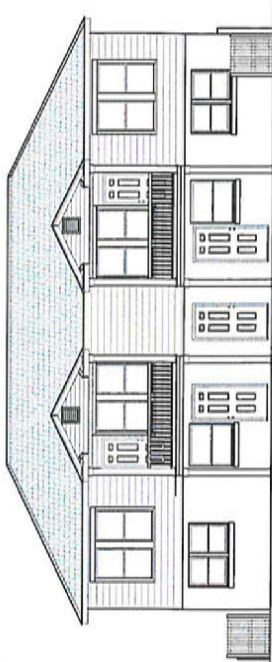
03/17/2026
Date

Contacts

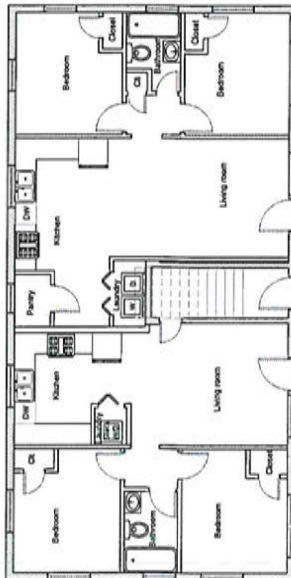
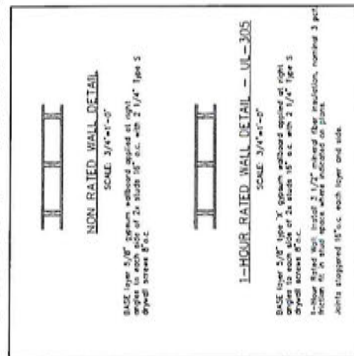
Planning & Urban Design: 20 Interchange Drive, Administration Building
Savannah, GA, 31415
P.O. Box 1027, Savannah, GA, 31402 (Phone: 912.525.2783)

The Planning Commission: 110 E State St, Savannah, GA, 31401 (Located at the State Street Garage)
P.O. Box 8246, Savannah, GA, 31412 (Phone: 912.651.1440)

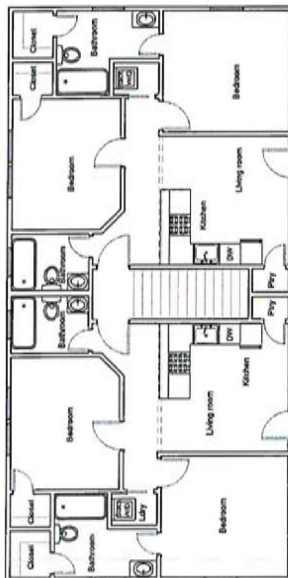
Drawn JJ	Sheet
Date: 11/11/2025	A-01
Scale: 1/4" = 1'-0" 1" = 12'-0"	



506 WEST 40th STREET



PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

GENERAL SCOPE: EXISTING RESIDENTIAL COMPLEX.
MINOR WALL DEMOLITION AS INDICATED.
REPAIR/UPGRADE TO ELECTRICAL/MECHANICAL
ROOF AND FRAMING REPAIR AS NECESSARY (NO NEW SQUARE FOOTAGE).

CODE REQUIREMENTS:
A. OCCUPANCY CLASSIFICATION: RESIDENTIAL - GROUP R-2
B. EXISTING CONSTRUCTION: TYPE C, 1945
C. TYPE OF CONSTRUCTION: TYPE C, 1945
ALL CODES INCLUDE GEORGIA AMENDMENTS.

PERMITS REQUIRED:
IRC-2018
IBC-2018
IFC-2018
NEC-2020
APR-2018
ASR-2018

MAX. TRAVEL DISTANCE: R-2 = 125' FIRST FLOOR. ALL UNITS HAVE DIRECT ACCESS TO
MAX. TRAVEL DISTANCE: R-2 = 181' SECOND FLOOR. ALL UNITS HAVE DIRECT ACCESS TO THE
EXTERIOR EXIT STAIR.

SPECIAL INSPECTIONS CHAPTER 17 (NOT REQUIRED)
OCCUPANT LOAD: 1.47
AREA: 1,457
FLOOR: 2ND FLOOR
TOTAL AREA: 2,914.00 SF

FIRE RESISTANCE REQUIREMENTS (PER TABLE 601.4.02)
1. STRUCTURAL FRAME: 1 HOUR REQUIRED
2. EXISTING WALLS: 1 HOUR REQUIRED
3. EXISTING WALLS: 1 HOUR REQUIRED
4. FLOOR CONSTRUCTION: 1 HOUR REQUIRED
5. ROOF CONSTRUCTION: 1 HOUR REQUIRED

SHEET LIST	
SHEET NO.	SHEET NAME
GENERAL	
G-01	COVER SHEET
EXISTING	
E-01	EXISTING SITE PLAN
E-02	EXISTING FLOOR PLAN
E-03	EXISTING ELEVATION PLAN
DEMOLITION	
D-01	DEMOLITION FLOOR PLAN
D-02	DEMOLITION ELEVATION PLAN
PROPOSED	
P-01	PROPOSED SITE PLAN
P-02	PROPOSED FLOOR PLAN
P-03	USE SAFETY / EGRESS PLAN & FRAMING PLAN
P-04	PROPOSED ELEVATION PLAN
S-01	STRUCTURAL DETAILS #1
S-02	STRUCTURAL DETAILS #2
S-03	STRUCTURAL NOTES
EL-01	ELECTRICAL PLAN
PL-01	PLUMBING PLAN
ME-01	Mechanical Plan

SITE



VICINITY MAP

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COVER SHEET

Project Name and Address
506 W 40th St
Savannah, Ga. 31415

Drawn: JJ	Scale: 1/8" = 1'-0"
Date: 04/21/2025	Sheet: G-01



506 w 40th st A,B,C,D APARTMENT



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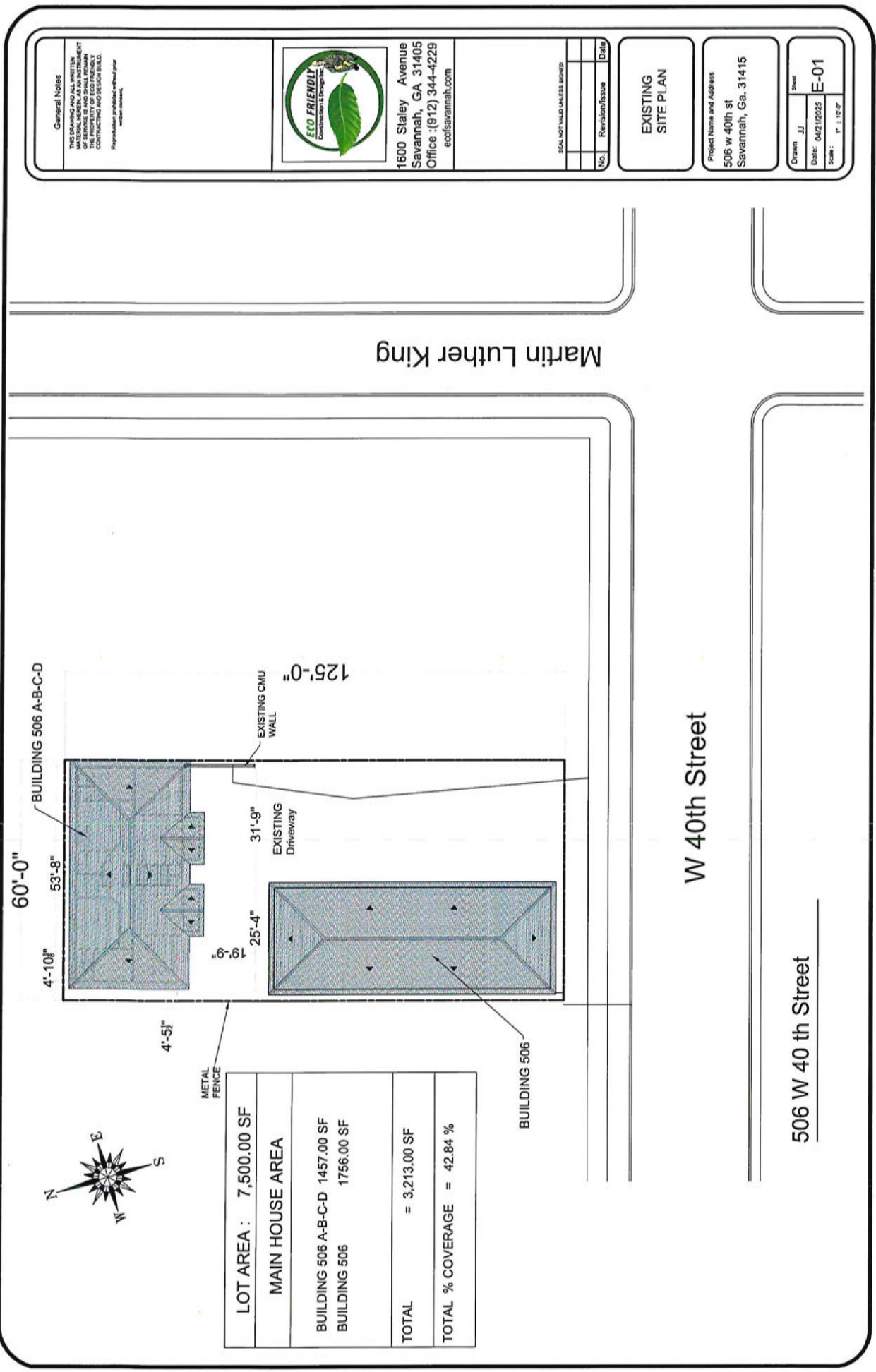
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No.	Revision/Issue	Date

HISTORIC PICTURE

Project Name and Address
506 w 40th st
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Drawn	Scale	Sheet
JJ	1" = 1/2"	G-01
Date:	06/11/2023	
Scale:	1" = 1/2"	





Comments

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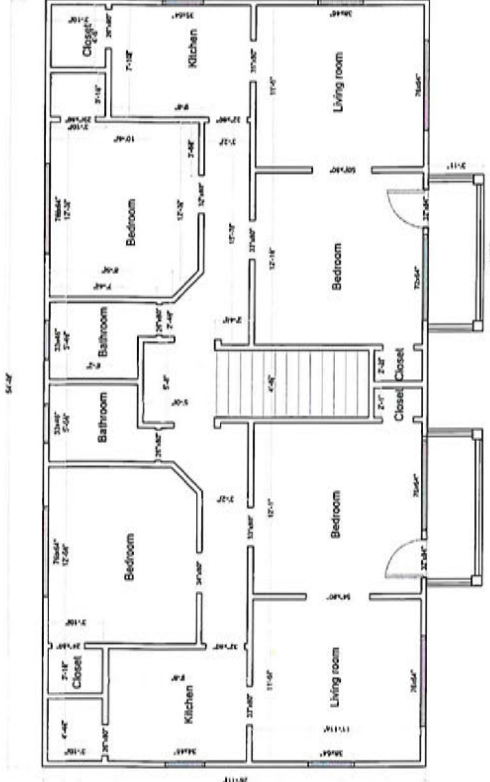
No.	Revision/Issue	Date

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EXISTING FLOOR PLAN

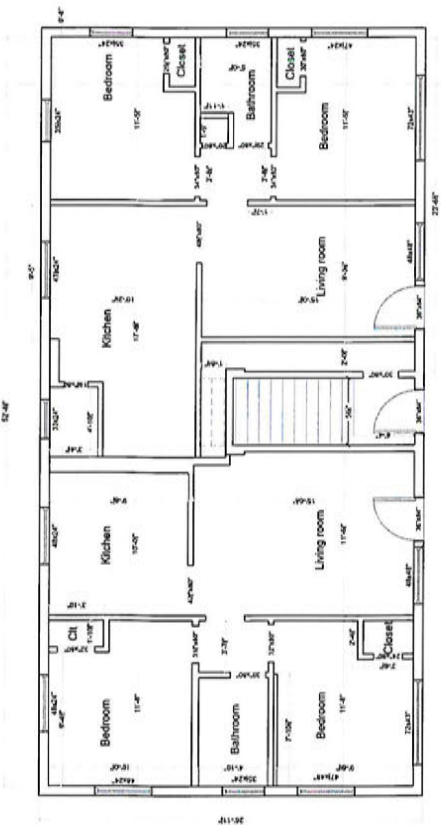
Project Name and Address
506 W 40th St
Savannah, Ga. 31415

Drawn	JJ	Sheet	E-02
Date:	04/21/2023	Scale:	1/4" = 1'-0"

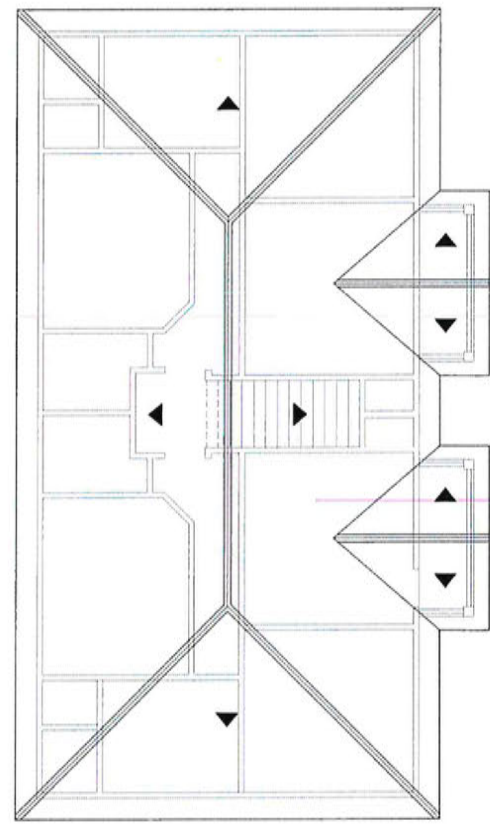


EXISTING SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

AREA	
Main floor	1,457.00 SF
Upper floor	1,457.00 SF
TOTAL HEATED = 2,914.00 SF	
BUILDING HEIGHT = 24'-5" Above finishing floor	
CODES = 2018 International Residential Code	



EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



EXISTING ROOF PLAN
SCALE 1/4" = 1'-0"

[illegible]



Comments

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DEMOLITION PLAN

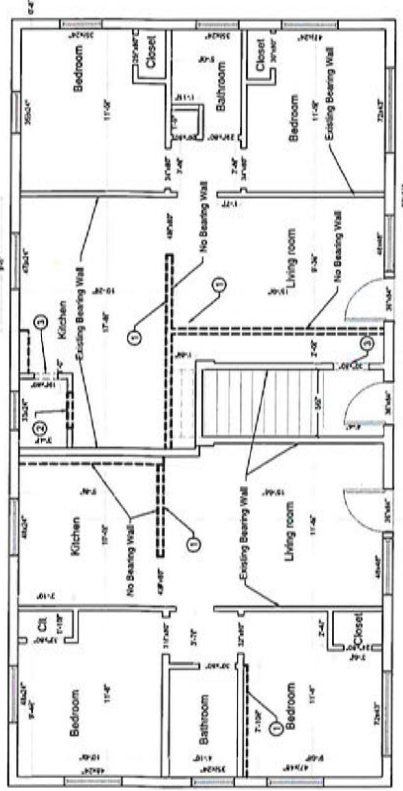
Project Name and Address

506 W 40th St
Savannah, Ga. 31415

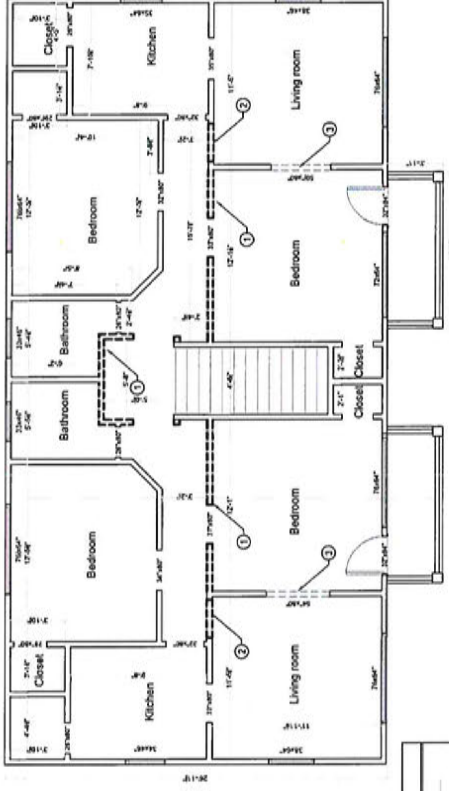
Drawn: JJ
Scale: 1/4" = 1'-0"

Date: 04/21/2025
Scale: 1/4" = 1'-0"

Sheet: D-01



DEMOLITION FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



DEMOLITION SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

DEMOLITION KEY NOTES	
EXISTING TO REMAIN	1 REMOVE EXISTING WALL
TO BE REMOVED	2 REMOVE EXISTING WALL & ADD DOOR
ADD WALL	3 ADD FUNCTION OF WALL
DEMOLITION KEY NOTE	4 REPLACE WINDOWS
	5 REMOVE EXISTING CEILING
	6 REMOVE BRICKS, FRAMEWORK, JACOBI & SUPPORTS



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SEE NOTED IN SET SHEETS

No.	Revision/Issue	Date

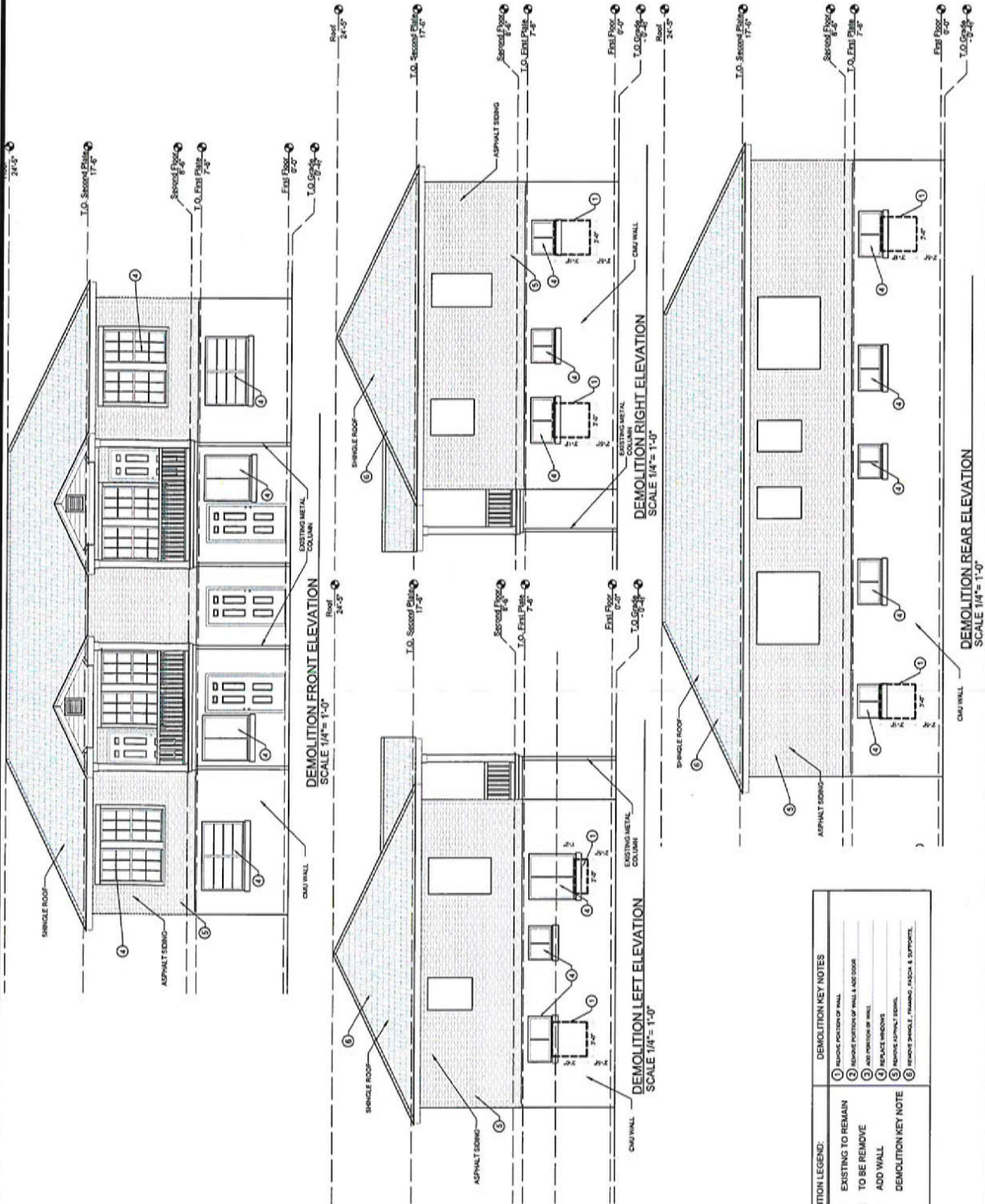
DEMOLITION ELEVATION PLAN

Project Name and Address

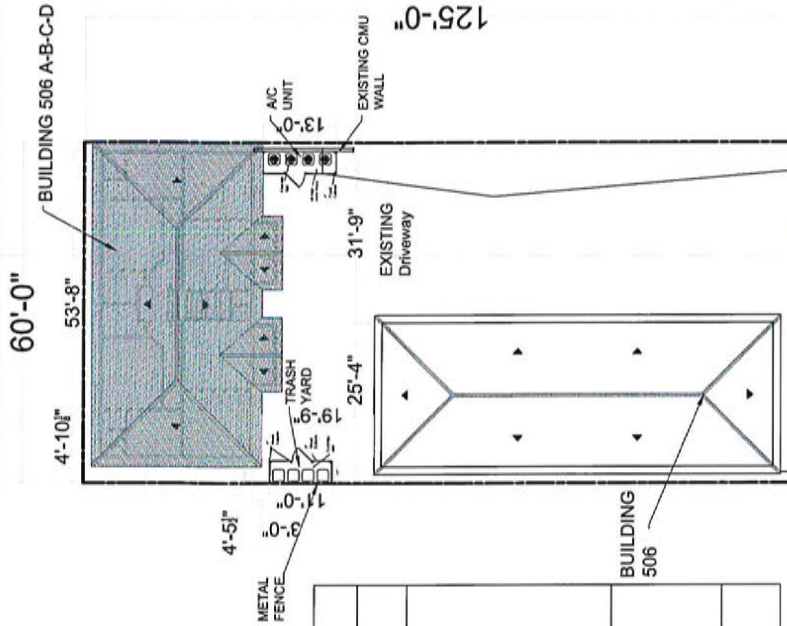
506 W 40th St
Savannah, Ga. 31415

Drawn: JJ
Date: 04/21/2025
Scale: 1" = 1'-0"

Sheet: D-02



DEMOLITION LEGEND:	DEMOLITION KEY NOTES
EXISTING TO REMAIN	1 REMOVE PORTION OF WALL
TO BE REMOVED	2 REMOVE PORTION OF WALL & ADD DOOR
ADD WALL	3 ADD PORTION OF WALL
	4 REPLACE WINDOWS
	5 REMOVE EXISTING/REPLACE
	6 REMOVE SHINGLE, FRAMING, INSULATION & SUPPORTS



LOT AREA : 7,500.00 SF	
MAIN HOUSE AREA	
Unit A	775.00 SF
Unit B	682.00 SF
Total 1st Floor	1,457.00 SF
Unit C	728.00 SF
Unit D	729.00 SF
Total 2nd Floor	1,457.00 SF
TOTAL A,B,C,D	= 2,914.00 SF
Front Building (506)	1,756.00
1st level Building A,B,C,D	1,457.00
TOTAL	= 3,213.00 SF
TOTAL % COVERAGE	= 42.84 %

Martin Luther King

W 40th Street

506 W 40 th Street

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No.	Revision/Issue	Date
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PROPOSED
SITE PLAN

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Drawn	JJ	Sheet	P-01
Date:	04/21/2025		
Scale:	1" = 10'-0"		



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PROPOSED FLOOR PLAN

Project Name and Address
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Drawn JJ
Date: 04/2/2025
Scale: 1/4" = 1'-0"

AREA

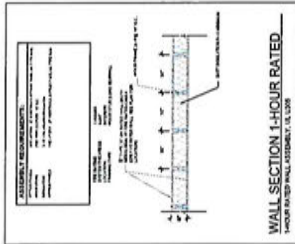
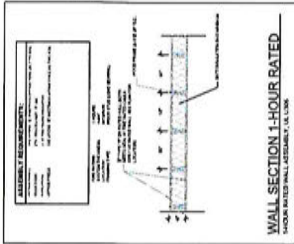
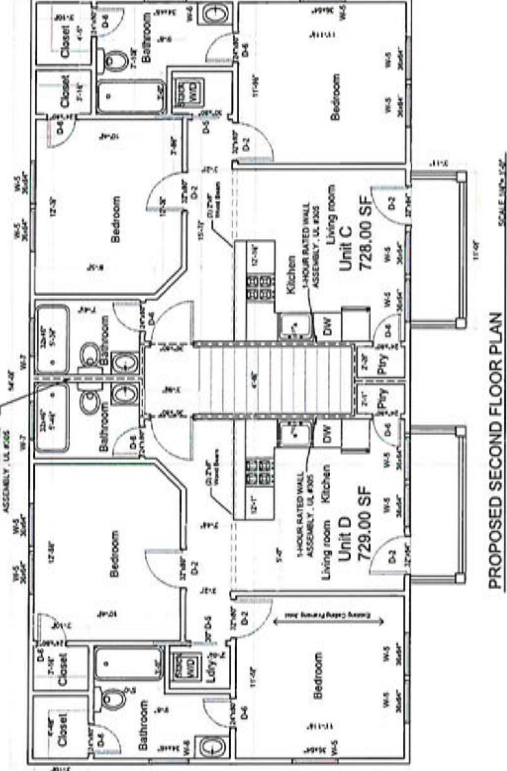
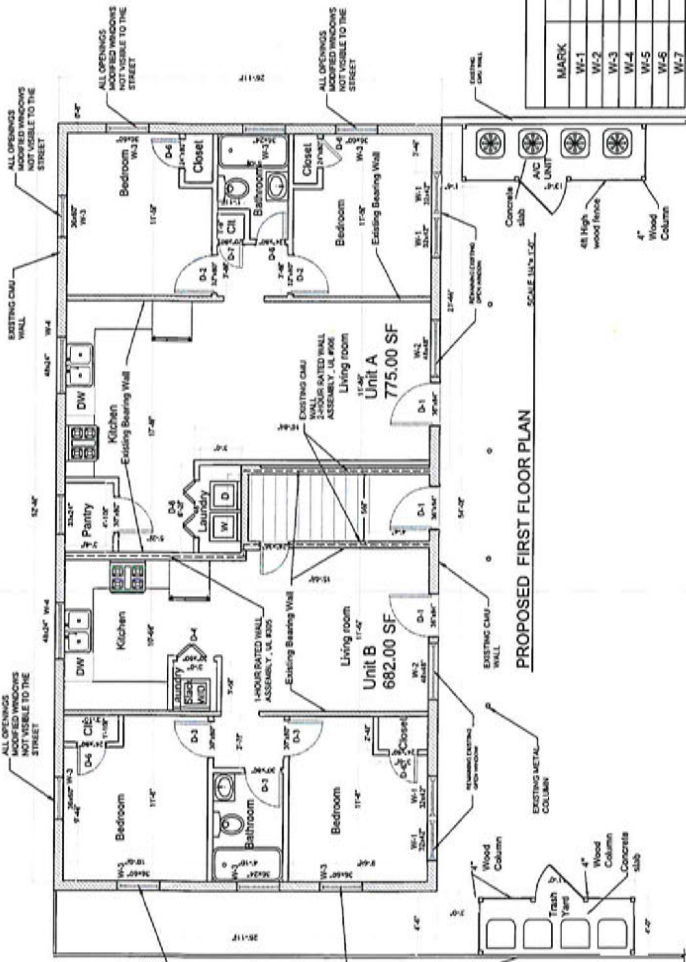
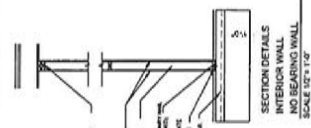
Unit A	775.00 SF
Unit B	682.00 SF
Total 1st Floor	1,457.00 SF
Unit C	728.00 SF
Unit D	729.00 SF
Total 2nd Floor	1,457.00 SF
TOTAL HEATED	= 2,914.00 SF
BUILDING HEIGHT	= 24'-0" Above Finishing floor
CODES	= 2018 IBC

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT
W-1	36"	42"
W-2	48"	48"
W-3	36"	60"
W-4	48"	72"
W-5	36"	64"
W-6	36"	48"
W-7	36"	48"

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS
D-1	36"	84"	POCKET DOOR	
D-2	36"	80"	POCKET DOOR	
D-3	30"	80"	POCKET DOOR	
D-4	30"	80"	POCKET DOOR	
D-5	30"	80"	POCKET DOOR	
D-6	24"	80"	POCKET DOOR	
D-7	20"	80"	POCKET DOOR	
D-8	48"	80"	POCKET DOOR	





Comments

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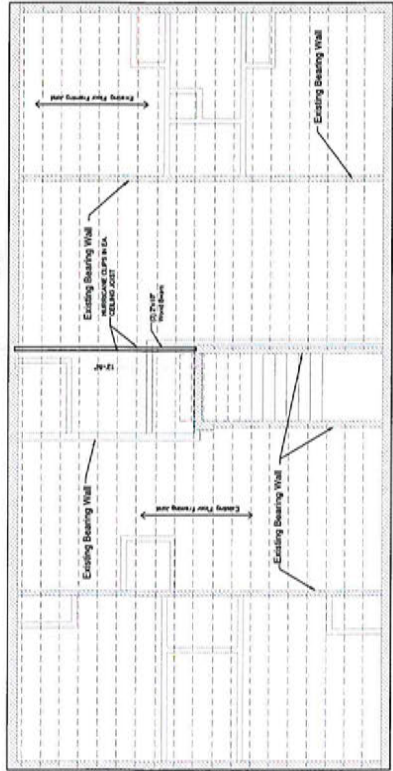
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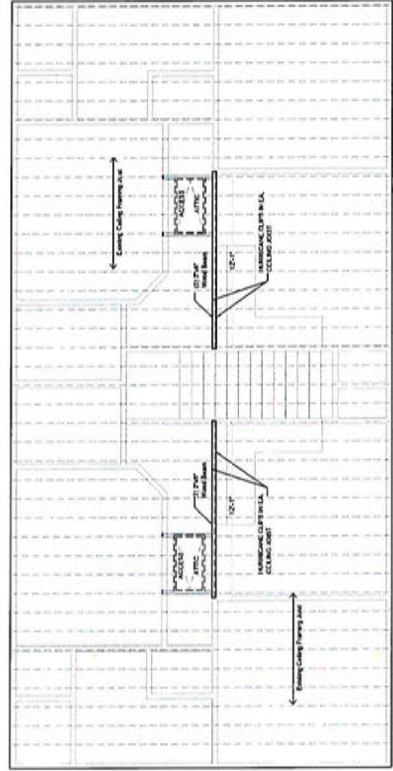
LIFE SAFETY / EGRESS PLAN & FRAMING PLAN

Project Name and Address
506 W 40th St
Savannah, Ga. 31415

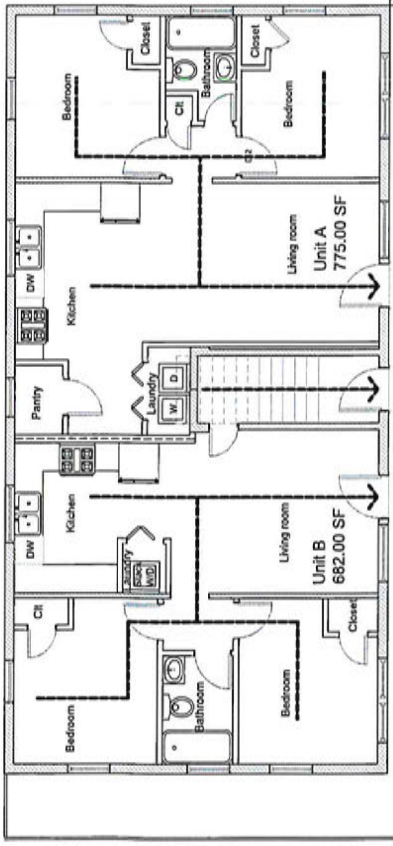
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Date:	04/2/2025		
Scale:	1/4" = 1'-0"	1/4" = 1'-0"	



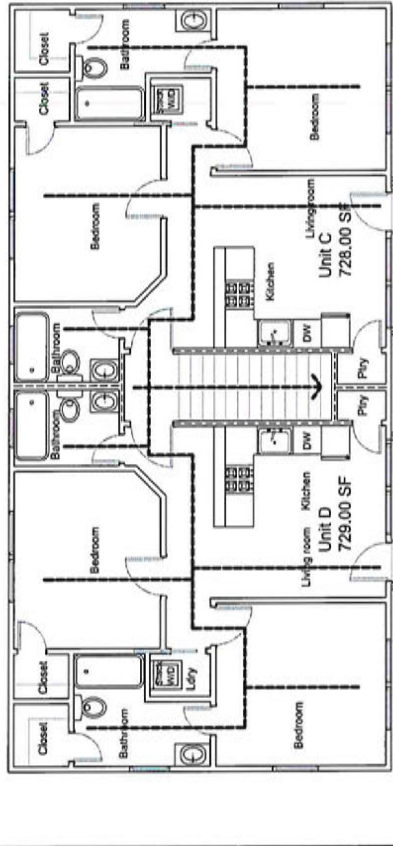
EXISTING FLOOR FRAMING, 2ND FLOOR



EXISTING CEILING FRAMING, 2ND FLOOR



LIFE SAFETY / EGRESS PLAN
1st FLOOR PLAN



LIFE SAFETY / EGRESS PLAN
2nd FLOOR PLAN

[illegible]



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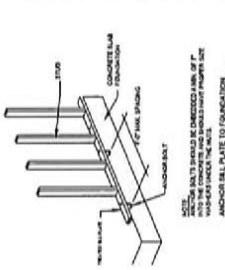
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No.	Revision/Issue	Date

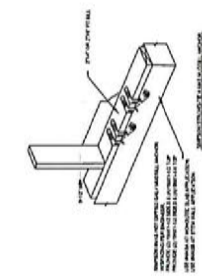
STRUCTURAL DETAILS # 1

Project Name and Address
506 W 40th St
Savannah, Ga. 31415

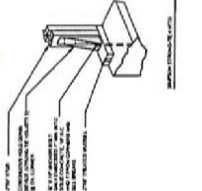
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Date	04/21/2025		
Scale	1" = 1'-0"		



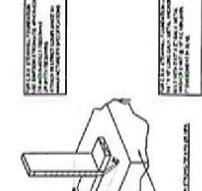
ANCHOR BOLT SHALL BE EMBEDDED INTO CONCRETE TO A MINIMUM OF 12" AND SHALL BE PROTECTED FROM CORROSION BY WRAPPING IN 1/2" THICK PVC OR EPOXY. SEE DETAIL 1.1 FOR ANCHOR BOLT INSTALLATION.



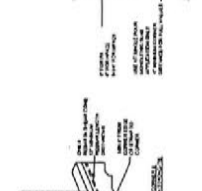
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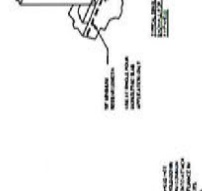
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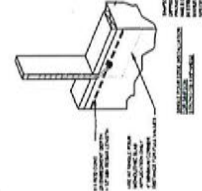
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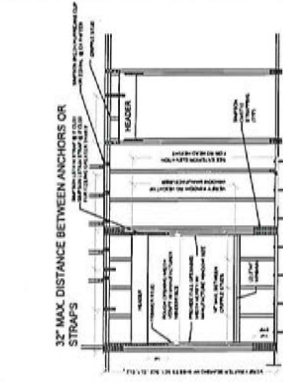
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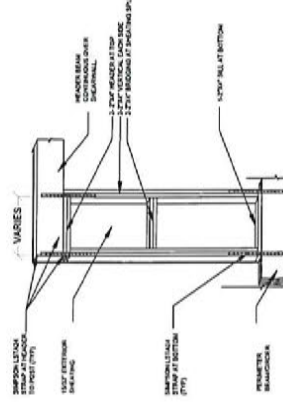
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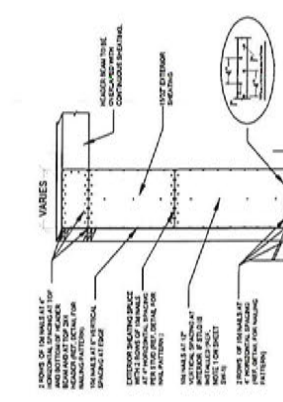
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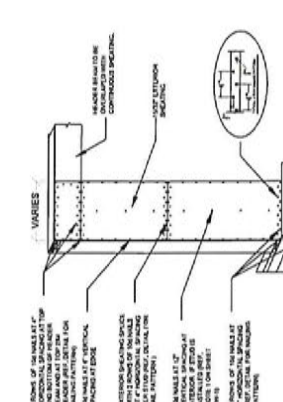
TYPICAL FRAMING & UPLIFT CONNECTION FOR EXTERIOR OPENING 5'-11" OR LESS USING SIMPSON STRAPPING. SEE DETAIL 1.2 FOR STRAPPING INSTALLATION.



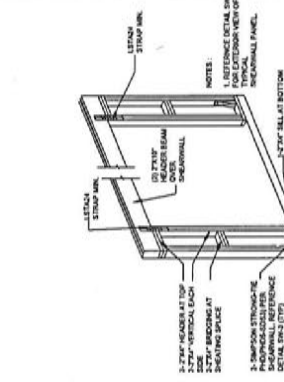
INTERIOR VIEW TYPICAL 2nd FLOOR SHEARWALL PANEL. SEE DETAIL 1.3 FOR REINFORCEMENT INSTALLATION.



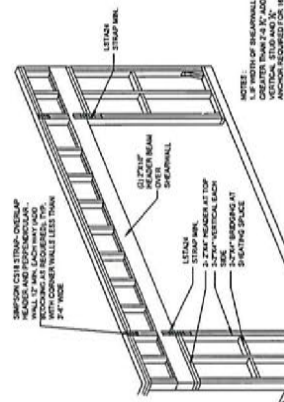
EXTERIOR VIEW TYPICAL 2nd FLOOR SHEARWALL PANEL. SEE DETAIL 1.4 FOR REINFORCEMENT INSTALLATION.



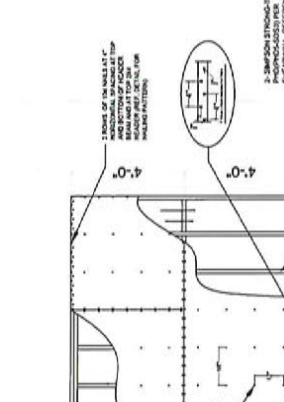
EXTERIOR VIEW TYPICAL 1st FLOOR SHEARWALL PANEL. SEE DETAIL 1.5 FOR REINFORCEMENT INSTALLATION.



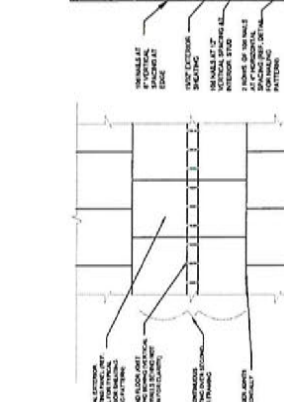
INTERIOR VIEW OF TYPICAL 1st FLOOR SHEARWALL PANEL FOR WALLS LESS THAN 1'-0". SEE DETAIL 1.6 FOR REINFORCEMENT INSTALLATION.



INTERIOR VIEW OF TYPICAL 1st FLOOR SHEARWALL PANEL FOR WALLS GREATER THAN 1'-0". SEE DETAIL 1.7 FOR REINFORCEMENT INSTALLATION.



TYPICAL EXTERIOR SHEATHING INSTALLATION PATTERN. SEE DETAIL 1.8 FOR SHEATHING INSTALLATION.

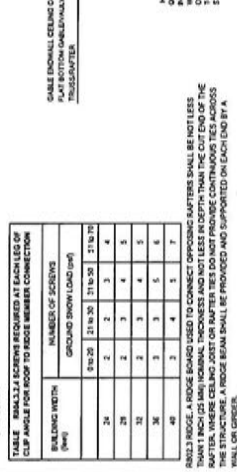
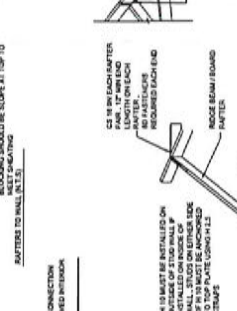
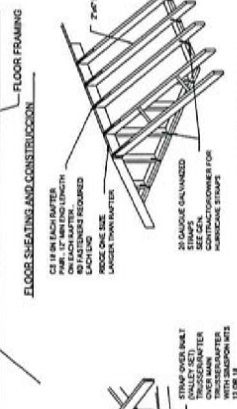
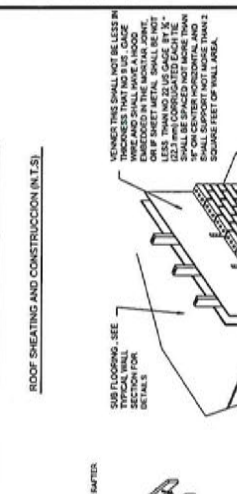
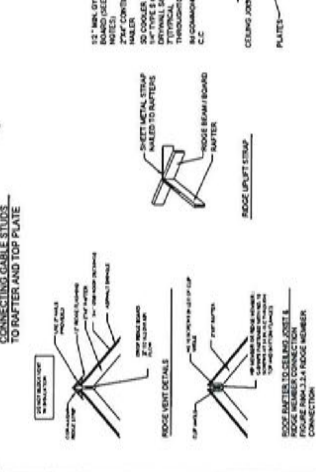
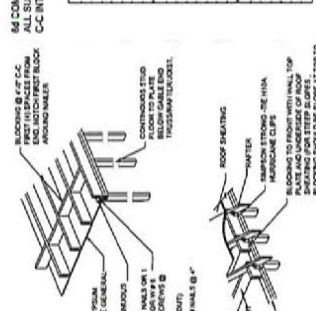
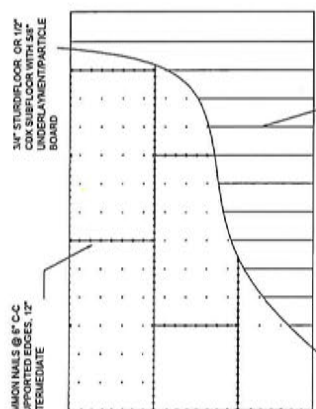
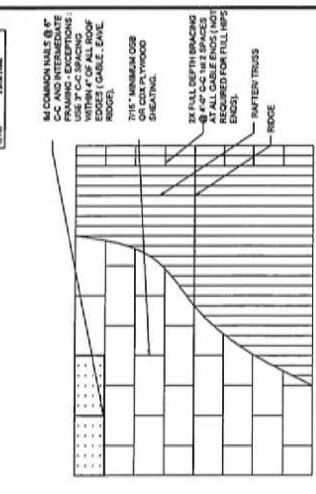
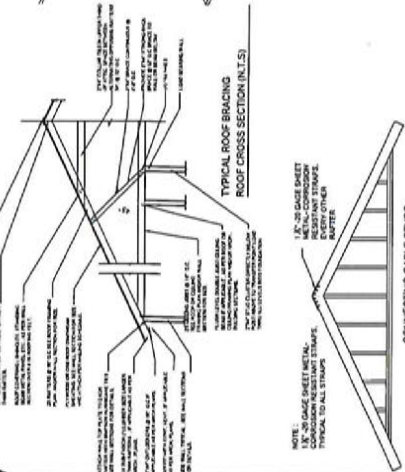
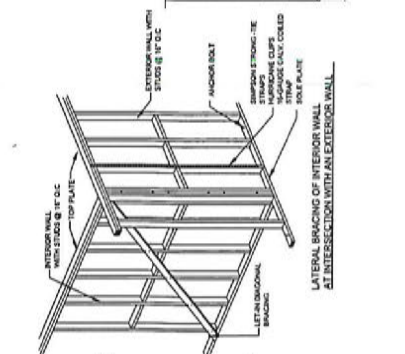
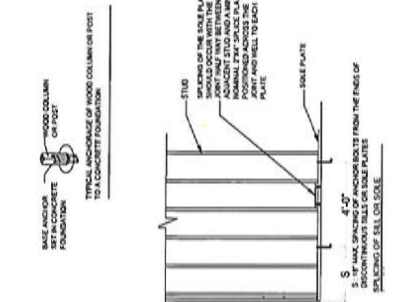
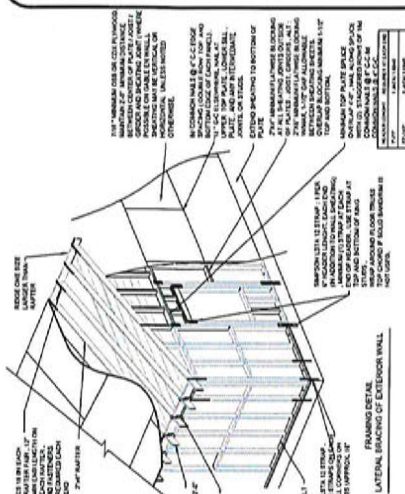


TYPICAL EXTERIOR SHEATHING INSTALLATION PATTERN. SEE DETAIL 1.8 FOR SHEATHING INSTALLATION.

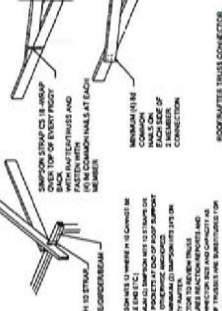
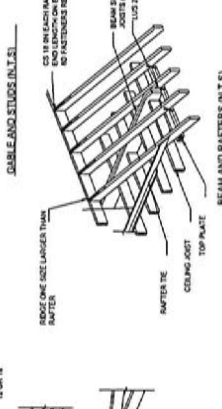
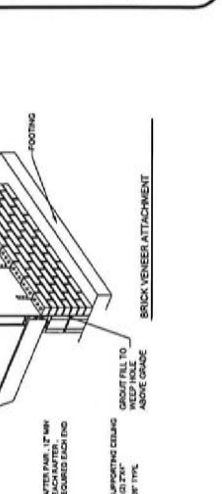
NOTES:
1. SEE DETAIL 1.1 FOR ANCHOR BOLT INSTALLATION.
2. SEE DETAIL 1.2 FOR STRAPPING INSTALLATION.
3. SEE DETAIL 1.3 FOR REINFORCEMENT INSTALLATION.
4. SEE DETAIL 1.4 FOR REINFORCEMENT INSTALLATION.
5. SEE DETAIL 1.5 FOR REINFORCEMENT INSTALLATION.
6. SEE DETAIL 1.6 FOR REINFORCEMENT INSTALLATION.
7. SEE DETAIL 1.7 FOR REINFORCEMENT INSTALLATION.
8. SEE DETAIL 1.8 FOR SHEATHING INSTALLATION.



Drawn JJ	Sheet
Date: 04/21/2025	S-02
Scale: 1/8" = 1'-0"	



CLIP ANGLE FOR ROOF TO BRIDGE MEMBER CONNECTION	BUILDING WIDTH (feet)	NUMBER OF SCISSORS GROUND SHOW (L&C) (in)	24 IN 20	36 IN 30	48 IN 40
24	2	2	3	4	5
28	2	2	3	4	5
32	2	3	4	5	6
36	3	3	4	5	6
48	3	4	5	6	7





FLOOR FRAMING:
TYPICAL INTERIOR STRUCTURAL FLOOR FRAMING SHALL BE "T" JOIST AND GROOVE PLYWOOD SUBFLOOR. ALL INTERIOR FLOOR FRAMING SHALL BE IDENTIFIED AND LABELED ON TOP OF FLOOR JOIST AND STRUCTURAL MEMBERS AS SHOWN ON THE DRAWINGS.
ALL PLYWOOD PANELS SHALL BE STAGGERED AND BE NAILER AT 12" ON CENTER AT PERIMETER AND AT 16" ON CENTER AT INTERIOR. PROVIDE SOLID BLOCKING AT ALL UNSUPPORTED EDGES WHERE NOT JOIST AND GROOVE.

WALL NOTES

TYPICAL WALL SHEATING BE MINIMUM 1/4" PLYWOOD OR OSB SHEATING ON TOP OF WALL STUDS AND STRUCTURAL MEMBERS AS SHOWN ON THE DRAWINGS.

SPACING OF WALL STUDS SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.

ALL PLYWOOD SHEATING PANELS SHALL BE STAGGERED OVER SUPPORTING MEMBERS. PANELS SHALL BE FASTENED DIRECTLY TO THE SUPPORTING MEMBERS WITH 16 COMMON NAILS OR PNEUMATIC EQUIVALENT AT 4"

ROOF NOTES

INTERNAL ROOF FRAMING SHALL BE 2X12 PLYWOOD SHEATHING ON TOP OF RAFTERS AND STRUCTURAL MEMBERS OF THE ROOF TRUSSES. RAFTERS AND CEILING JOIST SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.

ALL PLYWOOD SHEATHING PANELS SHALL BE TAGGED OVER SUPPORTING MEMBERS. PANELS SHALL BE TAGGED DIRECTLY TO THE SUPPORTING MEMBERS WITH A COMMON NAIL OR PNEUMATIC EQUIVALENT AT 7" ON CENTER.

UNLESS NOTED OTHERWISE, PROVIDE CONTINUOUS JOISTING AT ALL UNINSULATED EDGES OF THE PLYWOOD PANELS. ALL PERIMETER WALL SHALL BE TREATED AS SILEAK WALLS.

FROM APPENDIX E, TABLE 2206.1 (STD-10-99)	
	NUMBER OR SPACING
HAIR	1/4" COMMON
WALL	1/4" COMMON
CEILING	1/4" COMMON

[illegible]

FTES, FACE INL.	
(2) 1/4" OR 1/2" 1/4" COMMON	2
1/4" COMMON	1/4" O.C.
1/4" COMMON	1/4" O.C. & TOP AND BOTTOM
2/4" COMMON	STAGGERED 2 ENDS AT 6" SPACE
1/4" COMMON	2 EACH END
1/4" COMMON	1/4" O.C. EDGES AND
1/4" COMMON OR 1/4" IN ALL	1/4" O.C. INTERMEDIATES
1/4" COMMON	1/4" O.C. INTERMEDIATES

# AND WALL SHEATHING (S'')	# 0.0 EGGS AND
# CONJOIN ROOF	12" 0.0 INTERMEDIATE
# CONJOIN WALL	9" 0.0 EGGS AND
# AND WALL SHEATHING (S'')	12" 0.0 INTERMEDIATE
# CONJOIN ROOF	

NOTES:
CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS.

CONTRACTOR SHALL FOLLOW STANDARD CONSTRUCTION PRACTICES IN ORDER TO ACHIEVE THE FOLLOWING:

STALLED AS PER MANUFACTURER'S INSTRUCTIONS. STUDENTS OF STRUCTURAL SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE LATEST IBC WITHUPDATES INCLUDING SCHEDULES AND THE LATEST IRC.

BY OUR MOTHERS -

General Notes

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Savannah, GA 31405
Office : (912) 344-4229
ecofsavannah.com

[illegible]STRUCTURAL
NOTES

Project Name and Address
5506 w 40th st
Savannah, Ga. 31415

Drawn JJ	Sheet
Date: 04/21/2025	S-03
Scale: 1/4" = 1'-0"	
1" = 1'-0"	

[illegible]

DESIGN CRITERIA:
THIS PROJECT CONFORMS TO THE REQUIREMENTS OF THE 2018 IBC BUILDING CODE

DEAD LOADS	ACTUAL
ROOF LIVE LOADS	20 PSF
ATTIC LIVE LOADS	20 PSF
FLOOR LIVE LOADS	40 PSF
GROUND SNOW LOAD	5 PSF

SEISMIC:

Seis 1.0	Seis 0.07	Seis 0.10	Seis 0.65
SEISMIC USE GROUP 1	SEISMIC DESIGN CATEGORY D2		
BASIC STRUCTURAL SYSTEM	BEARING WALL SYSTEM		
SEISMIC RESISTING SYSTEM	LIGHT FRAMED WALL WITH WOOD SHEAR PANELS		
RESPONSE MODIFICATION FACTOR	R=8		
ANALYSIS PROCEDURE	SIMPLIFIED ANALYSIS PROCEDURE		
SOIL BEARING CAPACITY (ASSUMED)	20K PSF		
DR DRAINING ON WINDOWS	MIN 24"		

STRUCTURE STUDY | LEGEND

# 2 SYND MEDIUM GRAIN			
LUMBER SPACES	WALL LOCATION	CEILING HEIGHT	STUD SIZE
EXTERIOR	INTERIOR	8'-0"	2"x4"
EXTERIOR	INTERIOR	10'-0"	2"x4"
EXTERIOR	INTERIOR	12'-0"	2"x6"
EXTERIOR	INTERIOR	14'-0"	2"x6"
EXTERIOR	INTERIOR	8'-0"	2"x4"
EXTERIOR	INTERIOR	9'-0"	2"x4"
EXTERIOR	INTERIOR	12'-0"	2"x6"
EXTERIOR	INTERIOR	14'-0"	2"x6"
EXTERIOR	INTERIOR	15'-0"	2"x6"
			16"
			18"
			16"
			12"
			17" & DEL @ 36"
			16"
			18"
			12"
			16"

[illegible]



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SEE NOTED UNLESS SHOWN

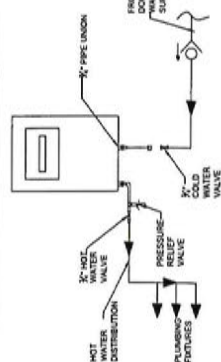
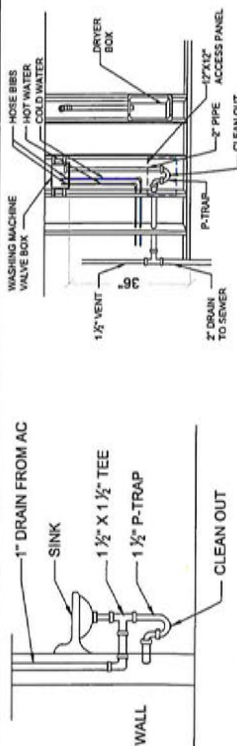
No. Revision/Issue Date

WATER SUPPLY PLUMBING PLAN

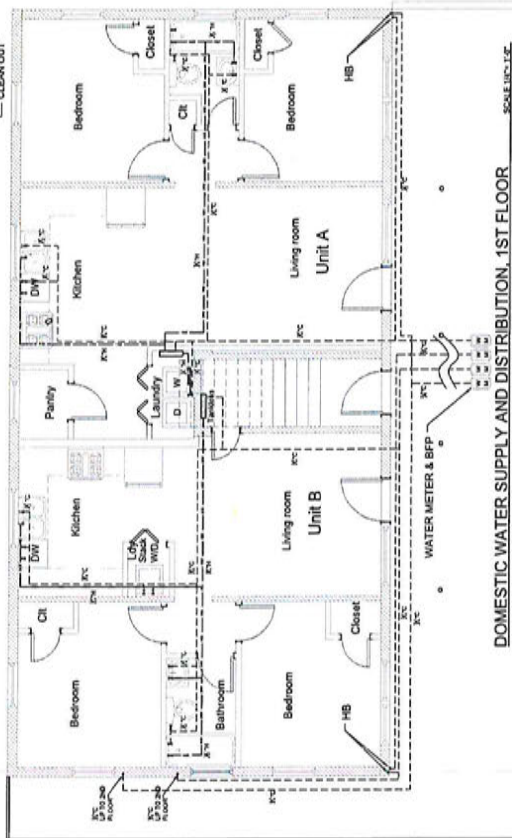
Project Name and Address
506 W 40th St
Savannah, Ga. 31415

Drawn JJ
Date: 04/21/2025
Scale: 1" = 1'-0"

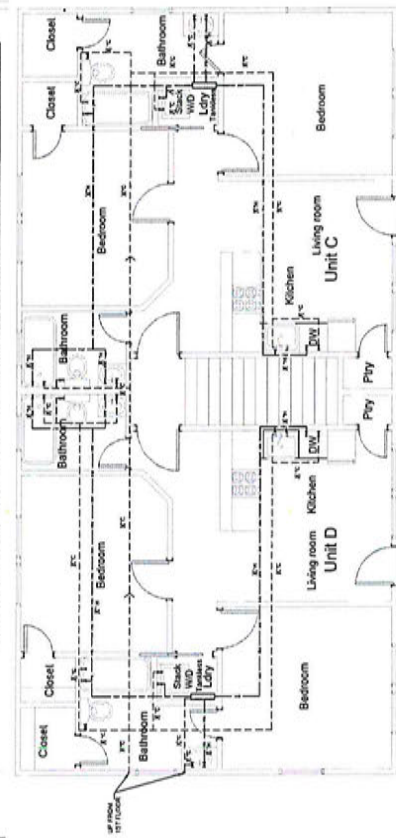
Sheet
PLB-01



WATER HEATER CONNECTION (WH-1)

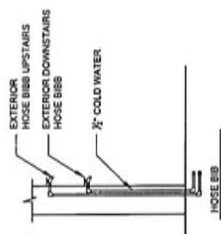
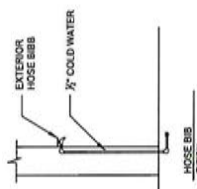


DOMESTIC WATER SUPPLY AND DISTRIBUTION, 1ST FLOOR



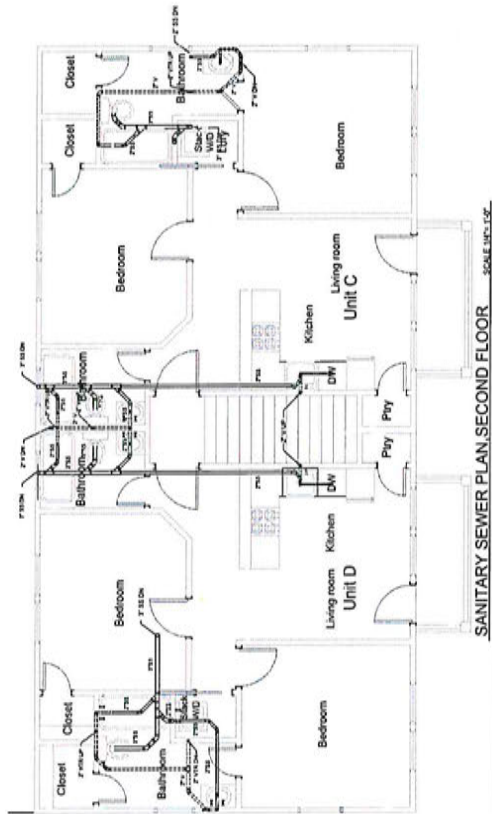
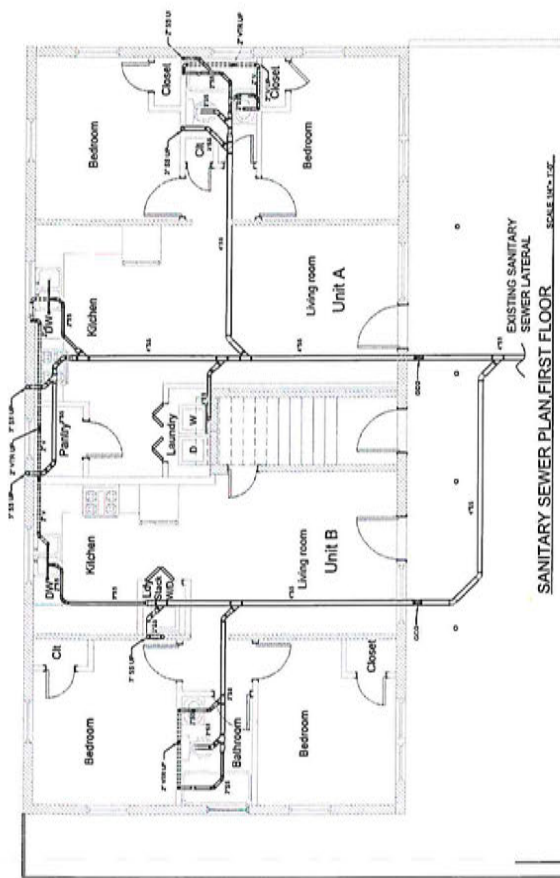
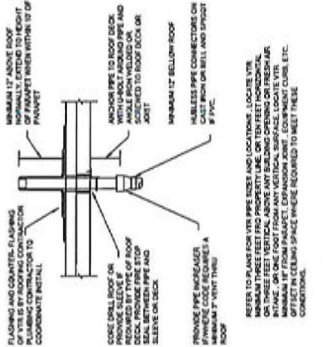
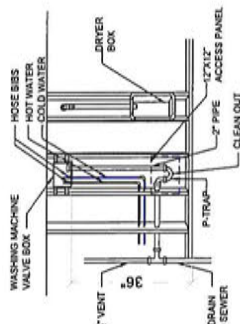
DOMESTIC WATER SUPPLY AND DISTRIBUTION, 2ND FLOOR

GENERAL SYMBOL LIST	
	SANITARY SEWER
	SANITARY VENT
	AUTOMATIC BACKWATER VALVE IN VALVE BOX
	GCO (GROUND CLEAN OUT)
	COLD WATER
	HOT WATER
	MANUAL BACKWATER VALVE IN VALVE BOX
	FLOOR DRAIN
	VENT THROUGH ROOF
	WATER SUPPLY
	WATER FLOW LINE
	ELECTRIC SUPPLY FANLESS WATER HEATER
	PRESSURE RELIEF VALVE
	OUTLET MULTI-TURN ANGLE VALVE
	CHECK VALVE
	HOSE BIBB (HB)
	HOT WATER TEMPERING DEVICE



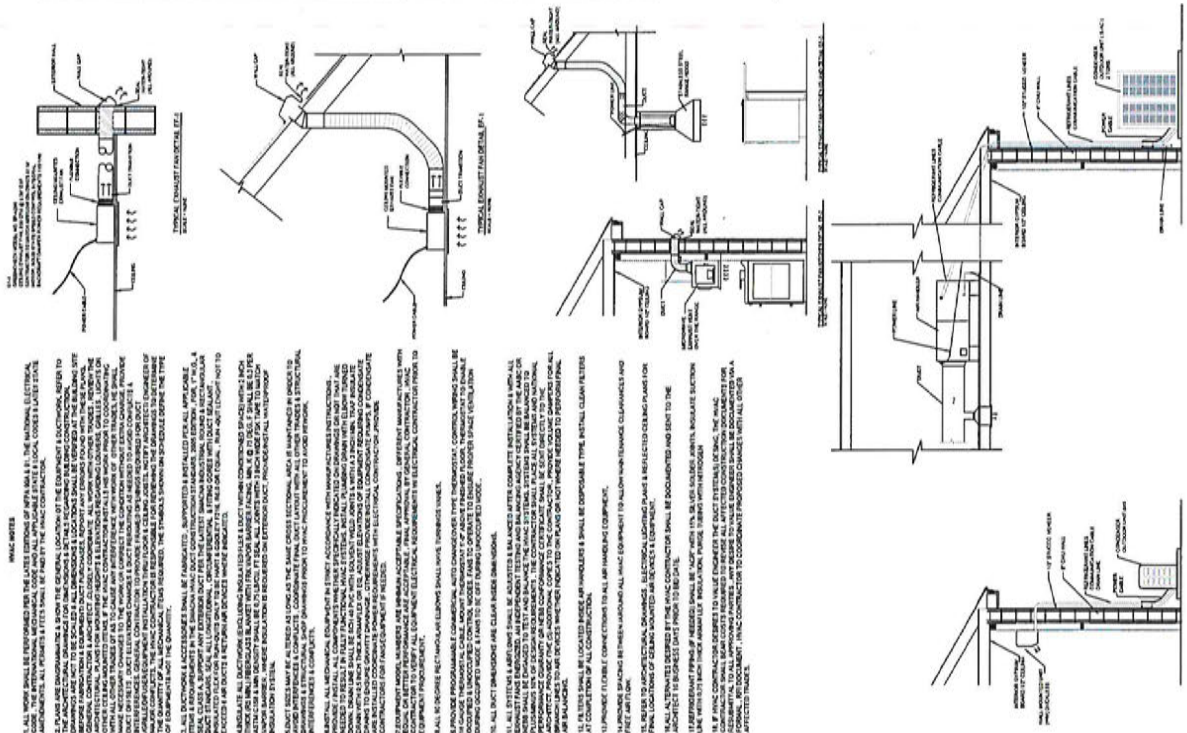
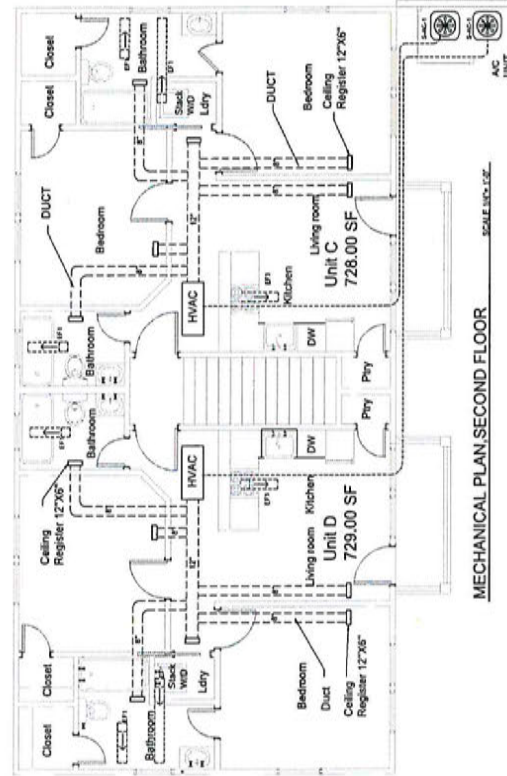


General Notes						1600 Staley Avenue Savannah, GA 31405 Office : (912) 344-4229 ecofriendlysavannah.com			SEAL NOT VALID UNLESS SIGNED			<table><tr><td>No.</td><td>Revision/Issue</td><td>Date</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>			No.	Revision/Issue	Date						
No.	Revision/Issue	Date																					
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Drawn JJ			Sheet			Date: 04/01/2025			Scale: 1" = 1'-0"			PLB-02											





Drawn JJ	Sheet
Date: 04/21/2025	M-01
Scale: 1/4" = 1'-0" 1" = 1'-0"	





Permit #: 25-012490-BC
Address: 506 W 40TH STREET
Project Name: _____
Date: 2/13/2026

CITY OF SAVANNAH
PLANNING & URBAN DESIGN
February 13, 2026
Zoning Review
Approved: John Anagnost

CITY OF SAVANNAH
DEVELOPMENT SERVICES
February 06, 2026
Electrical Review
Approved: DDyal

CITY OF SAVANNAH
DEVELOPMENT SERVICES
February 09, 2026
Plumbing Review
Approved: balderman

CITY OF SAVANNAH
DEVELOPMENT SERVICES
February 04, 2026
Mechanical Review
Approved: DANliker

CITY OF SAVANNAH
DEVELOPMENT SERVICES
February 04, 2026
Flood Review
Approved: BPrice

25-12491-BC - 506 W 40TH ST - UNIT B
25-12492-BC- 506 W 40TH ST - UNIT C
25-12493-BC 506 W 40TH ST - UNIT D

CITY OF SAVANNAH
DEVELOPMENT SERVICES
February 06, 2026
Building Review
Approved: CW

After review by City of Savannah Construction & Life Safety Code
This examination of the submitted documents does not relieve the owner, designers and
contractor, nor their representatives, from their individual or collective responsibility to
comply with the applicable provisions of the State Minimum Standard Codes and all
applicable local codes. This examination is not to constitute as a check of every item in
the documents or to constitute as a Building Official from hereafter requiring corrections
of errors in plans or construction.
A complete set of reviewed plans and specifications shall be maintained on the
construction site.

Smoke and CO Detector
☐ Yes ☐ No
Smoke detectors are required in each sleeping room, outside each sleeping area in the
immediate vicinity of the bedrooms and on each story. Carbon monoxide detectors are
required outside of sleeping areas in the immediate vicinity of bedrooms.

Special Inspections
When special inspections in accordance with IBC Chapter 17 are required, refer to and
coordinate with the statement of special inspections and schedule of special inspections
as prepared by the Registered Design Professional. All required documents shall be
submitted at the end of project completion or at the end of their phase of work before
proceeding to the next phase of work. The Building Official may require the
inspections before completion. Special inspectors engaged to perform the inspections shall
be certified in accordance to State Amendment of the latest adopted IBC.

Sprinkler and Fire Alarm
Refer to Fire Marshal's Office 312-644-5969 or 5951 for new or retrofit of fire sprinkler,
fire alarm and/or fire suppression system.

Elevation
For any revision of approved plans reviewed by the Building Official, pertaining to but
not limited to structural, mechanical, electrical, plumbing, fire protection, and/or life safety,
two sets of revised plans before proceeding, unless approved by the Building Official.

Seismicity, Sign and Amending Permit
All exterior signage and awning will require a separate permit.

Certificate of Appropriateness
Cuyler-Brownville Historic District
File No. 25-003100-COA
Approval Date: 07/23/2025
Restamped: 02/12/2026, Caitlin Chamberlain

CITY OF SAVANNAH
DEVELOPMENT
SERVICES
PLAN
APPROVED
02/13/2026

Printable page

PARID: 20115 06001
SUBSTANCE ABUSE MINISTRIES INC 2101 65TH ST E

Tax Commissioner Summary

Status ACTIVE
Alternate ID 2947247
Bill # 2947247
Tax District/Description 020-CITY OF SAVANNAH
Legal Description LOT 62 METTS WD SPRING HILL PRB 14P 168
Appeal Status

Parcel Status

Parcel Status	Deferral Exist	Years Support	Total Millage Rate
Active	No		14.3936

Parcel Information

Property Class E2 - Exempt - Churches

Mortgage Company
Exemptions

Most Current Owner

Current Owner Co-Owner Care Of Mailing Address
SUBSTANCE ABUSE MINISTRIES INC 2101 E 65TH ST SAVANNAH GA 31404

Digest Owner (January 1)

Owner Co-Owner Care Of Mailing Address
SUBSTANCE ABUSE MINISTRIES INC 2101 E 65TH ST SAVANNAH GA 31404

Tax (Penalties and Interest Included through Current Date)

Year	Cycle	Billed	Paid	Due
2026	1	0.00	0.00	0.00
2016	1	0.00	0.00	0.00
2015	1	910.43	-910.43	0.00
2014	1	618.97	-618.97	0.00
Total:		1,529.40	-1,529.40	0.00

Zarina Davis

From: no-reply-energov@savannahga.gov
Sent: Monday, April 20, 2026 4:34 PM
To: Zarina Davis
Cc: Planning
Subject: Online Zoning Application Received 26-002035-ZBA

26-002035-ZBA was applied for on-line for the following location:

2101 E 65TH ST 20115 06001