



Planning & Urban Design
20 Interchange Drive, Administration Bldg.
Savannah, GA, 31415
Phone: 912.525.2783/Fax: 912.525.1562
www.savannahga.gov/planning

26-002098-2BA



RECEIVED
APR 20 2026



Zoning Board of Appeals Application

110 E State St, Savannah, GA, 31401
P.O. Box 8246, Savannah, GA, 31412-8246
Phone: 912.651.1440 / Fax: 912.651.1480
www.thempc.org

Please type or print legibly. Attach additional sheets, if necessary, to fully answer any of the following sections. Incomplete applications shall not be scheduled by the Metropolitan Planning Commission (MPC) until deficiencies are corrected. Additional instructions and information regarding the amendment process are attached. **SUBMIT AN ELECTRONIC COMPLETED APPLICATION AND SUPPLEMENTAL DOCUMENTATION TO PLANNING@SAVANNAHGA.GOV.** Applicants shall contact the MPC staff at 912.651.1440 prior to submitting an application.

I. Subject Property

Street Address(es): 712 E 32nd St

Property Identification Number(s) (PINs) (Note: Attach a boundary survey, recorded or proposed plat, tax map or scaled plot plan to identify the property boundary lines.): 20054 20007

Total acreage or SF of the subject property: .09 acres

Zoning District(s): TR-2

Existing land use(s) for the subject property (e.g., undeveloped, restaurant, auto repair shop, multi-family):

Single family home

II. Reason for Variance (Check all that apply and attach a response and supporting documentation for each item checked).

- ☒ **A. REQUEST A VARIANCE (Sec. 3.21).** The application must be submitted to provide an opportunity for the ZBA to grant variances only from the building standards for permitted uses in the base zoning districts (not to include density or vehicular access) in Article 5.0, Base Zoning Districts; variable standards in Article 9.0, General Site Standards; and variable standards in Article 10.0, Natural Resource Standards. Refer to Page 6 for plot plan criteria and explain specifics of request (e.g., To request a 5 foot reduction of the 25 foot rear yard setback). **Describe the variance requested:** Reduction of rear setback (5' required): 3' 9" reduction requested (includes roof eaves)
Reduction of side setback (3' required): 1' 9" reduction requested (includes roof eaves)
Reduction of distance between main building and ADU: distance between 57"
Boundary survey, arch drawings, description, and photos, attached

- ☐ **B. APPEALS (Sec. 3.23).** An appeal by any aggrieved party may be taken to the ZBA when an alleged error in a final written decision of any administrator, commission or board authorized to make a final written decision occurs. An application must be filed within thirty (30) working days of a final written decision. It will be considered filed when a complete notice of appeal is submitted to planning@savannahga.gov. **Provide an explanation specifying the grounds for the appeal with the ZBA and the administrator, commission or board whose decision is being appealed:**

- ☒ **C. RELIEF FOR NONCONFORMING USES AND STRUCTURES (Sec. 3.24).** An application must be submitted to request a re-establishment, expansion, or reconstruction of a nonconforming use. **Indicate the type of non-conformity and relief sought.** Expansion of an existing building. Expansion includes a kitchen and bathroom to rear of building.
The existing structure was refinished upon purchase of home by owner. The expansion is to make a guesthouse/mother in-law suite. The entire proposed ADU sits against property line follows the backyards of 3 lots. No buildings along the property line or along the proposed ADU. The proposed ADU has a lane running behind.

- ☒ **D. REQUEST AN EXTENSION OF A ZBA APPROVAL.** If a ZBA decision needs to be extended, an application must be submitted. Date of ZBA Approval: File No.:

III. Application History.

- Have any previous applications been made regarding the subject property?
☐ Yes ☒ No If yes, please provide the file number(s): _____
- Is this request related to another review, such as a Certificate of Appropriateness (COA), Subdivision, Site Development Permit or Plan, Master Plan, Business Location Approval, Rezoning, or Text Amendment? If so, please provide the Plan/Permit # _____ and associated Staff Report/Decision.

IV. Property Owner Information

Name(s): Chelsea Inglis

Registered Agent: _____

(Or Officer or Authorized Signatory, if Property Owner is not an individual. Provide GA Annual Registration.)

Address: 712 E 32nd St.

City, State, Zip: Savannah, GA, 31401

Telephone: _____ Fax: _____

E-mail address: _____

V. Petitioner Information, if different from Property Owner (Note: If the property owner(s) will have an agent serve on his or her behalf, the owner(s) must complete the attached Letter of Authorization. If the agent changes after submitting the application and the agent is not the property owner, a new authorization form will be required.)

Name(s): _____

Registered Agent: _____

(Or Officer or Authorized Signatory, if Petitioner is not an individual)

Address: _____

City, State, Zip: _____

Telephone: _____ Fax: _____

E-mail address: _____

VI. Agent, if different from Petitioner or Property Owner (Note: A signed, notarized Letter of Authorization from the property owner is required and must be attached if this section applies. If the agent changes after submitting the application and the agent is not the property owner, a new authorization form will be required. Please refer to VIII. Letter of Authorization.)

Name(s): _____

Firm or Agency: _____

Address: _____

City, State, Zip: _____

Telephone: _____ Fax: _____

E-mail address: _____

VII. Application Fee:

The non-refundable filing fee is based on the type of use for which relief is requested. Make check payable to City of Savannah.

- ☒ Residential: \$620.00
☐ Non-residential: \$1,300.00

VIII. Letter of Authorization

As fee simple owner of the subject property that is identified as Property Identification Number(s) (PIN) _____, I (we) authorize _____ (Agent Name) of _____ (Firm or Agency, if applicable) to serve as agent on my (our) behalf for the purpose of making and executing this application for the proposed request. I (we) understand that any representations(s) made on my (our) behalf, by my (our) authorized representative, shall be legally binding upon the subject property.

Property Owner(s)

Name(s): _____

Registered Agent: _____
(Or Officer or Authorized Signatory, if Property owner is not an individual)

Signature(s) _____ Date _____
N/A

Witness Signature Certificate

State of Georgia

County of _____

Signed or attested before me on _____ by _____
Date (Printed name(s) of individual(s) signing document)

who proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

_____ Personally Known or _____ Produced Identification Type of ID _____

Signature of Notary Public

(Name of notary, typed, stamped or printed)
Notary Public State of Georgia

My commission expires: _____

IX. Application Checklist

Pursuant to O.C.G.A. § 8-2-26, this checklist must be completed and submitted with each application. Please check every item as either "Y" for items that are included with the application or "N" for items that are not included with the application. Items without an "N" checkbox are minimum requirements initially due with the application if applicable.

Yes No

- ☒ Part I. Subject Property
- ☒ Part II. Reason for Variance
- ☒ Part III. Application History
- ☒ Part IV. Property Owner Information
- ☐ ☒ Part V. Petitioner Information
- ☐ ☒ Part VI. Agent
- ☒ Part VII. Application Fee
- ☐ ☒ Part VIII. Letter of Authorization
- ☒ Part IX. Complete Application Checklist
- ☒ Part X. Certified Application (Signed application)
- ☐ ☐ A scaled dimensioned map, plat or sketch of the subject property referred to in the application
- ☐ ☐ Concept Plan of the proposed development if applicable

Please note: Supplemental information may be required during plan review to address deficiencies.

X. Certified Application

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures, and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date. I understand that the approval of an application for Special Use Permit by The Mayor and Aldermen does not constitute a waiver from any applicable local, state, or federal regulations.

Applicant Name: Chelsea Inglis 4/17/2026
Print Signature Date

Contacts

Planning & Urban Design: 20 Interchange Drive, Administration Building
Savannah, GA, 31415
P.O. Box 1027, Savannah, GA, 31402 (Phone: 912.525.2783)

The Planning Commission: 110 E State St, Savannah, GA, 31401 (Located at the State Street Garage)
P.O. Box 8246, Savannah, GA, 31412 (Phone: 912.651.1440)

Subject property:

712 E 32nd St. (TR-2 zoning; approx. 0.09 acres; existing single-family home on lot; existing building in backyard with proposed addition to make an ADU)

Project:

Obtain permit for an existing accessory structure and its small rear addition for use as an Accessory Dwelling Unit (ADU) / guesthouse / mother-in-law suite.

The ADU is a detached accessory building located behind the main dwelling and oriented toward the rear of the lot, adjacent to the rear lane/alley. The project includes an expansion of the existing structure to create a functional small dwelling unit. The expansion a kitchen and bathroom at the rear of the building.

Why the kitchen/bath are at the rear:

The ADU footprint is small. Locating the kitchen and bathroom within the existing structure would reduce already-limited living space and create an impractical layout. Locating the kitchen/bath along the length of the driveway is also not feasible due to the narrow drive and mechanical/HVAC constraints. The rear placement provides the most compact layout and keeps the remainder of the ADU usable as living/sleeping space.

Site context / impacts:

The ADU sits along the rear property line condition that aligns with the backyards of three lots, and there are no buildings immediately adjacent along that property line; the rear is served by a lane/alley.

Permitting context:

The owner is now working with an architect to bring the structure into full compliance through the ZBA process and building permits, including providing a boundary survey, drawings, and photos as required.

Variance request summary

1. Rear setback variance: 5' required; 3' 9" reduction requested (includes roof eaves).
2. Side setback variance: 3' required; 1' 9" reduction requested (includes roof eaves).
3. Distance between the main building and ADU: existing/proposed distance is 57 inches; variance requested to allow this separation.

Can you redesign to meet setbacks and separation?

The ADU is based on an existing accessory structure and a small expansion. The lot and access are constrained by the rear lane/alley and a narrow driveway with mechanical/HVAC constraints. Reconfiguring the kitchen and bath into the existing footprint would remove too much living space; shifting the kitchen/bath down the

driveway is not feasible due to the narrow drive and mechanical constraints. The rear location is the most compact workable layout.

Minimum Relief Necessary?

Yes. The request is limited to the rear and side setback reductions and the minimum separation that results from the existing site layout and established accessory structure condition.

Affect on neighbors?

The ADU is small and located at the rear of the lot along the alley/lane. Owner gets along well with neighbors.

The rear condition aligns with backyards of multiple lots and there are no buildings immediately adjacent along the property line where the proposed ADU sits; the alley provides separation and access. The use is residential and consistent with the neighborhood.

Why approve a constructed building?

The owner is correcting the process by working with an architect and submitting the required ZBA application and supporting documents (survey, drawings, photos) to bring the structure into compliance through formal review and inspection. General contractor that completed construction left site early/didn't advocate for permit due to small size of addition.

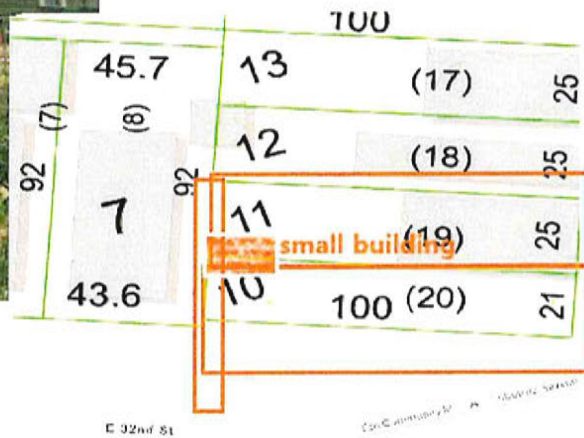
Life safety / fire rating given proximity to lot lines and to the main house?

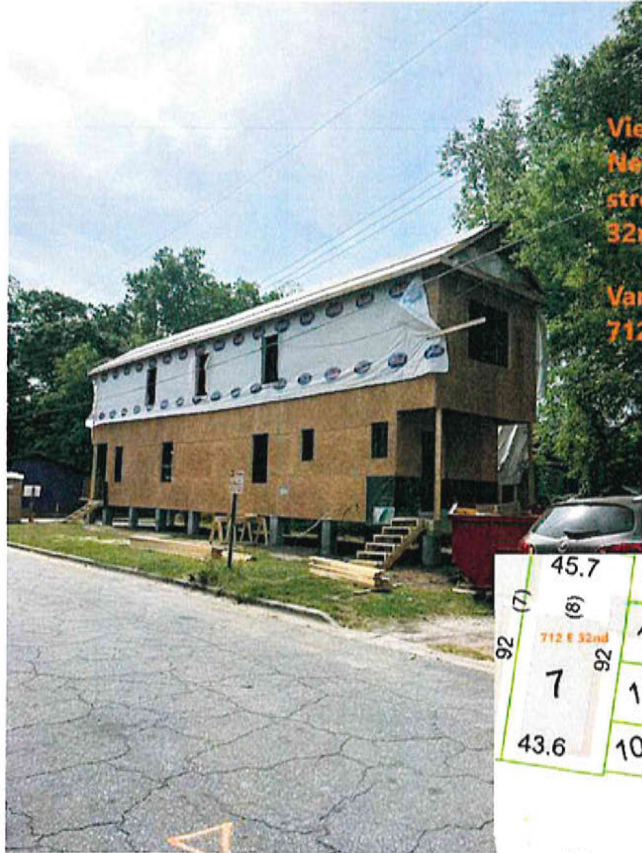
The permit set will address required fire-rated assemblies and construction details as required by code. Where any concealed work cannot be verified by inspection, it will be opened or otherwise documented to meet inspector requirements.



View:
driveway and neighboring lot

Vantage point:
the road (E 32nd St) facing front of house (712)





View:
New build across
street from 712 E
32nd

Vantage:
712 E 32nd St

92	45.7	13	(17)	25
(7)	(8)	12	(18)	25
7	11	(19)	25	
43.6	10	100 (20)	21	4C

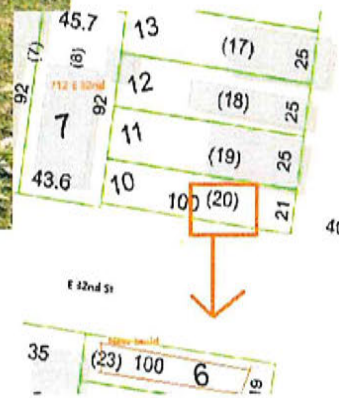
E 32nd St

35	23	100	6	19
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View: New build
across st

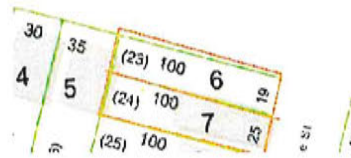
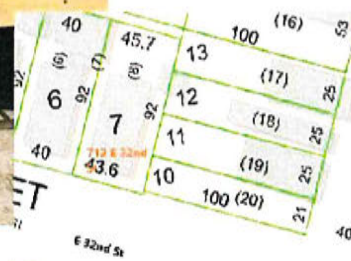
Vantage: Lot 20

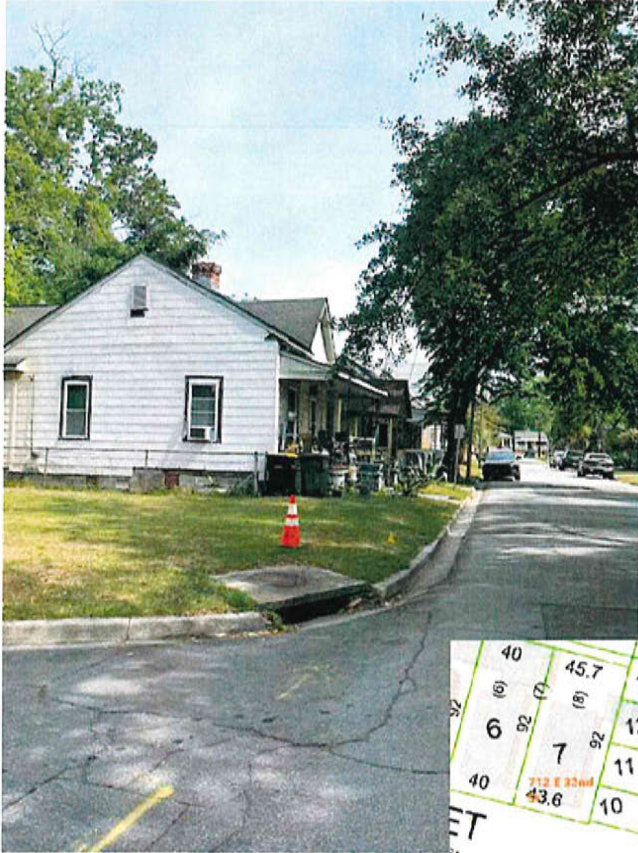




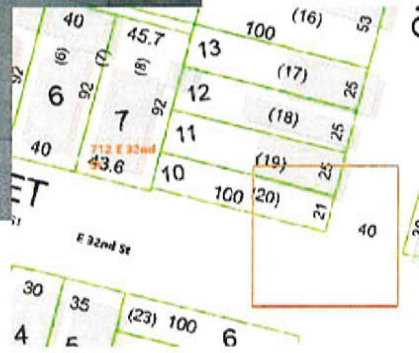
View:
Space between
new build
and existing home

Vantage:
facing new build on
Grove St.





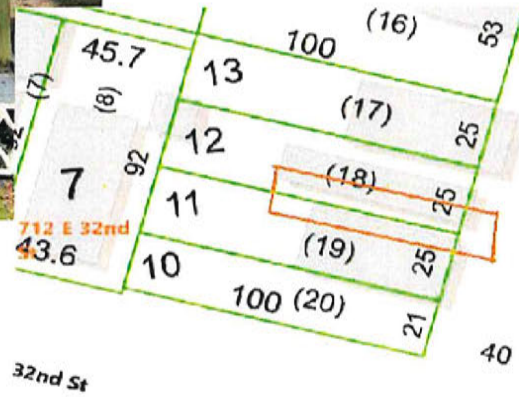
View:
Corner of
E 32nd St
and
Grove St

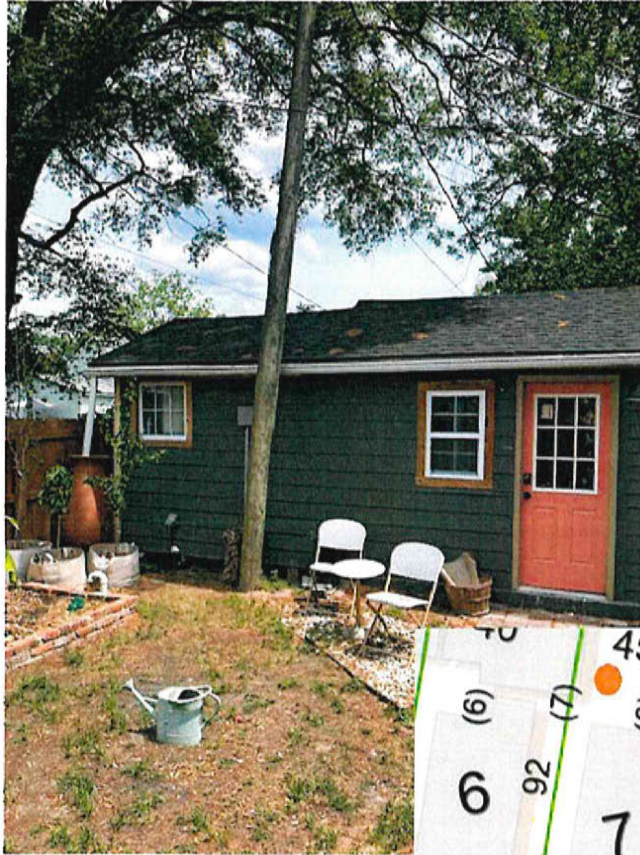




View:
Neighboring homes
of 712 E 32nd

Vantage:
Grove St

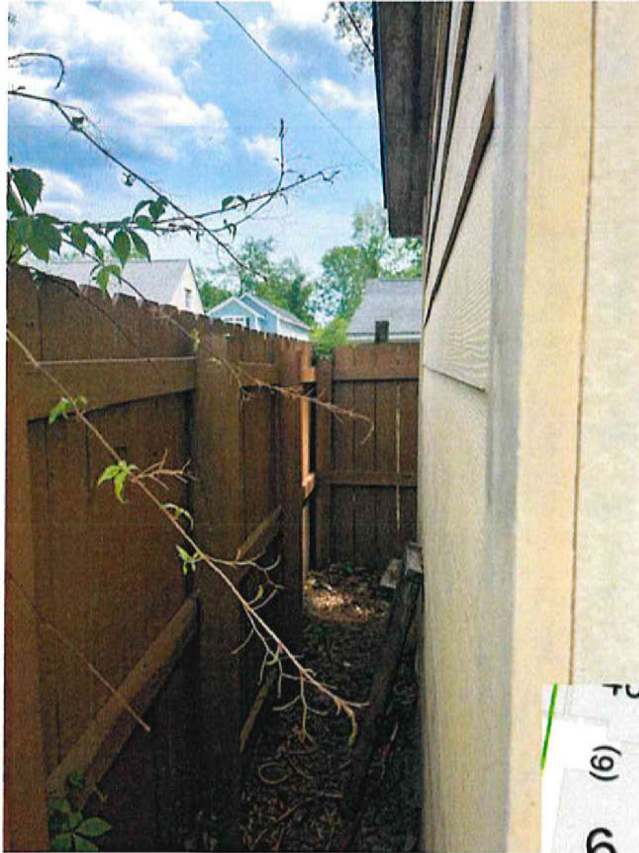




View:
Proposed ADU

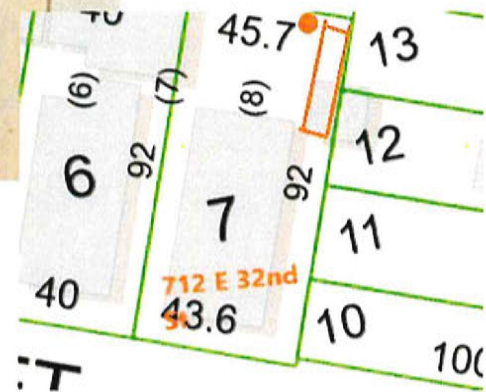
Vantage:
Backyard of
712 E 32nd





View:

Rear of proposed
ADU





View:

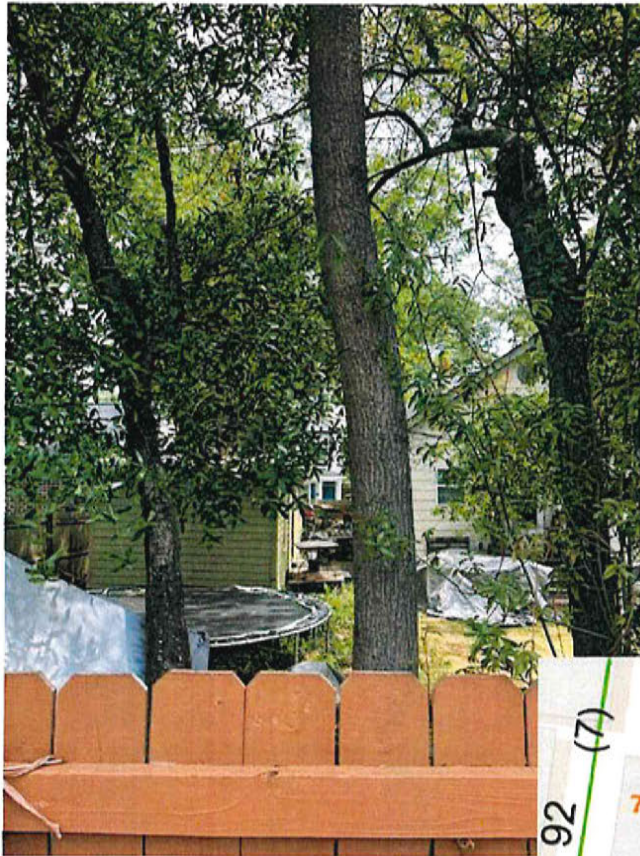
Lot 17

behind proposed ADU



View:

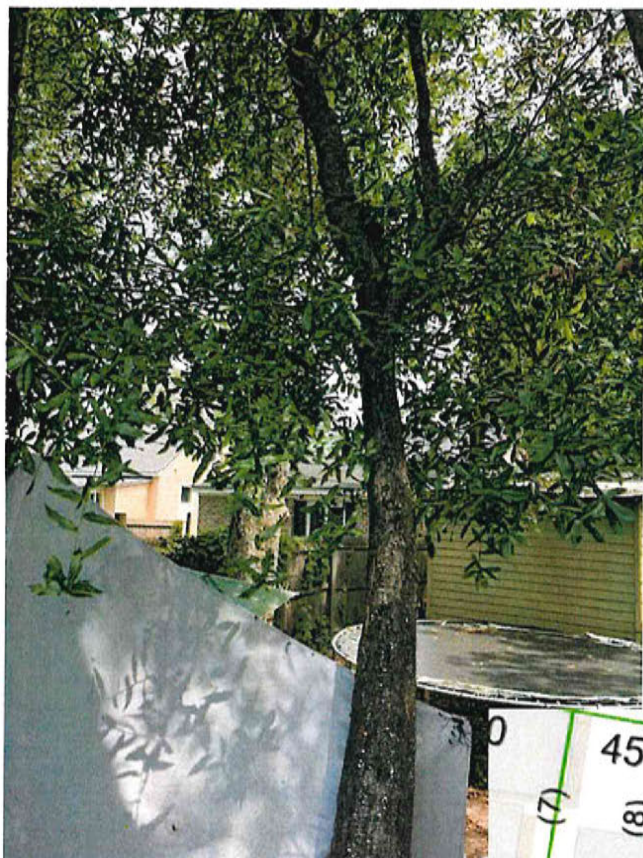
Beneath ADU



View:
Lots 18 (left) and
19 (right)

Vantage:
driveway of E 32nd
just in front of
existing buildings





View:
Lots 17 (left)
and 18 (right)

advantage:
Drive way of 712 E
32nd

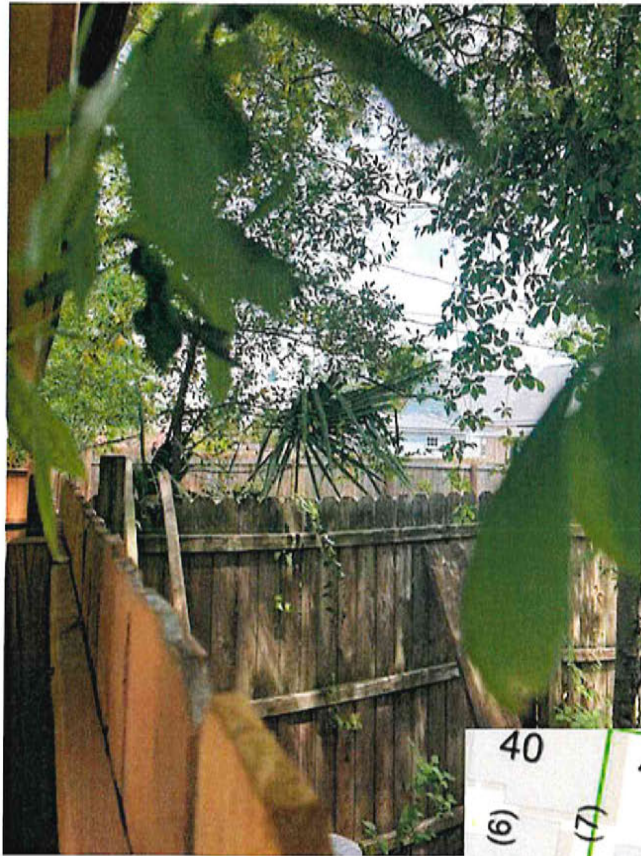




View:
Backyard of lot
19

Vantage:
Driveway of 712 E
32nd



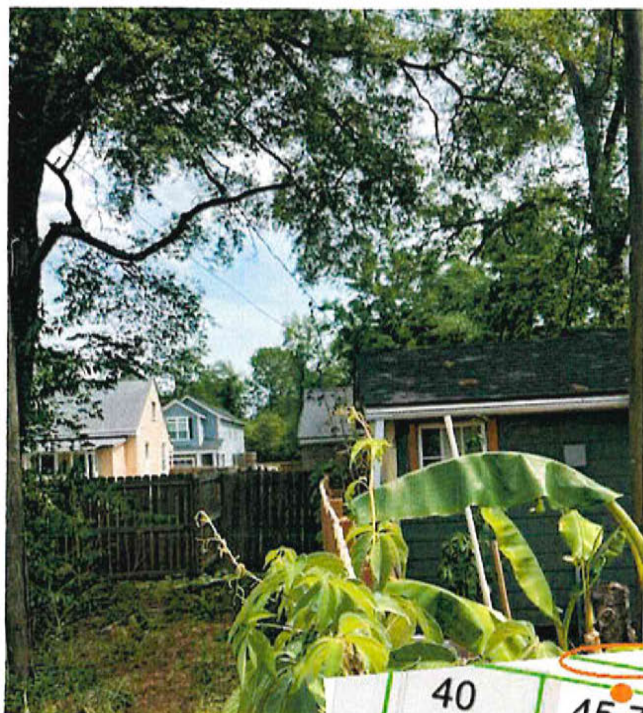


View:
Corner of lot 18

Vantage:

Driveway of 712 E
32nd St





View:
Lane behind 712 E
3rd St. Lot 17
(right) lot 16 (left)

Vantage:
Backyard/lane of
712 E 32nd St



INGLIS RESIDENCE - ADDITION

712 32ND ST E, SAVANNAH, GA 31401

SYMBOLS LEGEND

- (D) DOOR TAG
(W) WINDOW TAG
(•) GRID
Name Elevation
SECTION MARKER
SPOT ELEVATION
NOTE CALLOUT

MATERIALS LEGEND

- WOOD SINGING
CONCRETE
BRICK
GYPSUM
EARTH

PROJECT DATA

OCCUPANCY GROUP: RESIDENTIAL
TYPE OF CONSTRUCTION: TYPE V - LIGHT WOOD FRAMING
DESCRIPTION: 1 STORY ADDITION
GROUND LEVEL SQUARE FOOTAGE: 100 SQ FT
BUILDING FOOTPRINT: 10' x 10'
LOCAL JURISDICTION: CITY OF SAVANNAH

DRAWING INDEX

SHEET	DRAWING
G1	COVER SHEET
A0	SURVEY
A1	ARCHITECTURAL DRAWINGS

NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE 2024 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND BE IN ACCORDANCE WITH GEORGIA STATE LAWS AND REGULATIONS.
- CONTRACTOR RESPONSIBILITIES: CONTRACTOR TO VERIFY ALL INFORMATION AND MATERIALS SUBMITTED TO THE CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS OR IN CONFLICT WITH THE CODES. CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FIELD CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ADEQUATE TIME (10 WORKING DAYS MINIMUM) FOR OWNER AND ARCHITECT TO REVIEW PROPOSED CHANGE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND PROTECT EXISTING UTILITIES AND ADJACENT PROPERTIES REQUIRED TO PERFORM THE WORK. CONTRACTOR IS RESPONSIBLE FOR THE PROPER OPERATION OF ALL UTILITIES AND COORDINATE STRUCTURAL TRACING WITH ELECTRICAL, PLUMBING AND MECHANICAL WORK. CONTRACTOR IS RESPONSIBLE FOR THE PROPER OPERATION OF ALL UTILITIES AND COORDINATE STRUCTURAL TRACING WITH ELECTRICAL, PLUMBING AND MECHANICAL WORK. CONTRACTOR TO NOTIFY ENGINEER FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- CEILING HEIGHTS: HABITABLE SPACES SHALL HAVE A CLEAR MINIMUM CEILING HEIGHT WITH NO PORTION BEING LOWER THAN 4'-8" ABOVE THE FIXTURES AND ITS FRONT CLEARANCE AREA.
- GLAZING: ALL GLAZING TO BE IN COMPLIANCE WITH THE 2024 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND BE IN ACCORDANCE WITH GEORGIA STATE LAWS AND REGULATIONS. GLASS IN DOORS, GLASS WITHIN 48" OF EACH SIDE OF A DOOR OPENING, AREAS WITHIN 48" VERTICALLY AND 48" HORIZONTAL FROM THE BOTTOM LANDING OF A STAIRWAY, STORM DOORS, BALCONIES, SHOWER DOORS, SLIDING GLASS DOORS, AND GLAZING IN EXTERIOR WALLS SHALL BE SAFETY GLAZING MATERIALS. GLAZING SHALL COMPLY WITH THE TEST CRITERIA FOR CATEGORY I GLAZED OPENINGS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL BE PROTECTED FROM WINDBORNE DEBRIS WITH GLAZING THAT MEETS OR EXCEEDS THE REQUIREMENTS OF E 1996 AND ASTM E 1886 REFERENCED THEREIN, STD 12, IAS 201, 202, AND 203 OR AAMA 506, AS APPLICABLE.
- FIRE PROTECTION SYSTEMS: EACH BEDROOM AND OUTSIDE SLEEPING ROOM, AND ON EACH STORY TO BE PROVIDED WITH A SMOKE ALARM. SMOKE ALARM POWER SOURCES TO BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.

SITE LOCATION MAP



BUILDING AND FIRE CODES

ALL NEW WORK TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODES ADOPTED BY THE BUILDING AUTHORITIES HAVING JURISDICTION, WHERE CONFLICTS OCCUR BETWEEN CODES OR BETWEEN CONSTRUCTION DOCUMENTS AND CODES, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

2024 INTERNATIONAL RESIDENTIAL CODE (IRC) W/ 2024 GA AMENDMENTS
2024 INTERNATIONAL PLUMBING CODE (IPC) W/ 2024 GA AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) W/ 2020, 2022 & 2023 NATIONAL ELECTRICAL CODE (NEC) W/ 2024 GA AMENDMENTS

DESIGN PROFESSIONALS

APEXX ARCHITECTURE
104 W GWINNETT ST #G4
SAVANNAH, GA 31401
www.apexarchitecture.com

KEYEL MCKEE ENGINEERING
1624 METROPOLITAN BLVD #A
TALLAHASSEE, FL 32308
PH: 850.727.5349
www.ke-engineering.com



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SUB-CONSULTANT



KEYEL MCKEE
ENGINEERING
104 W GWINNETT ST #G4
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PH: 912.222.1207
www.ke-engineering.com

PROJECT FOR:
CHELSEA INGLIS
712 32ND ST E, SAVANNAH, GA 31401

SEAL

NOT FOR CONSTRUCTION

No.	Revisions	Date

INGLIS RESIDENCE - ADDITION

712 32ND ST E, SAVANNAH, GA 31401

COVER SHEET

Project Number	16435
Date	2024.04.18
Drawn by	MOET
Designed by	JRE

G1

DATE	TIME	LOCATION	REMARKS
1997-10-10	10:00	10000	10000
1997-10-10	10:00	10000	10000
1997-10-10	10:00	10000	10000

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KEEVER | MCKEE
ENGINEERING
3024 West Campbell Blvd. # 2
Tallahassee, Florida 32309
Office 904.227.5367
Tallahassee, FL 32309

PROJECT FOR:
CHELSEA INGLIS
712 32ND ST E, SAVANNAH,
GA 31401

NOT FOR CONSTRUCTION

Revisions		
No.	Beschreibung	Datum

712 32ND STE, SAVANNAH, GA 31401

ARCHITECTURAL DRAWINGS

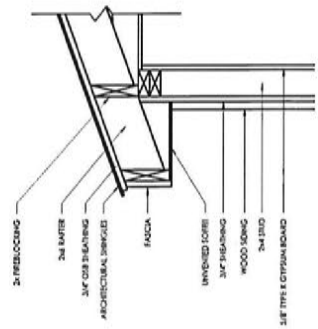
Project Number	IRAZS
Date	2026.04.18
Drawn by	MDN
Designed by	MIN

A1

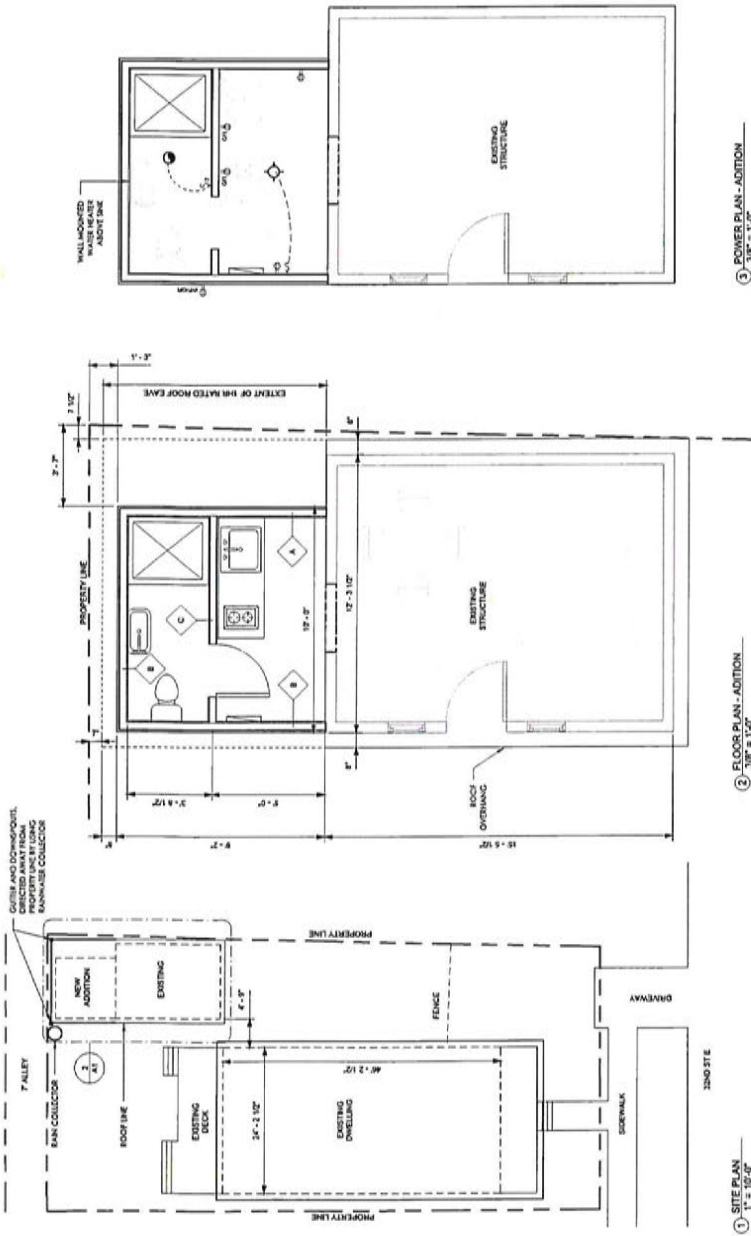
1. **PERMANENT WALL FOR VERTICAL EXHAUST.** SHALL BE OPEN TO THE EXTERIOR, CARRY DRAINAGE TO A PROPER DRAINAGE LOCATION, AND BE PROTECTED FROM THE ELEMENTS. DOORS AND CASIO OPERINGS SHALL BE PROTECTED FROM THE ELEMENTS. WALLS SHALL BE OPENED UP TO THE EXTERIOR PRIOR TO COMMENCEMENT OF EACH FLOORING OR CEILING WORK.
2. **THE RATED WALL AND FLOOR SHALL BE OPEN TO THE EXTERIOR PRIOR TO COMMENCEMENT OF EACH FLOORING OR CEILING WORK.**
3. **CONTRACTOR RESPONSIBILITY.** CONTRACTOR TO VERIFY ALL INFORMATION AND REQUIREMENTS OF THE CITY OF LOS ANGELES, THE CONTRACTOR TO BE IN COMPLIANCE WITH ALL REGULATORY AGENCIES, AND TO BE IN COMPLIANCE WITH THE CODES, CONSTRUCTION DOCUMENTS AND ALL REQUIREMENTS OF THE CITY OF LOS ANGELES, AND ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
4. **CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS REQUIRED TO PERFORM THE WORK. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES, AND ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR THE PROPER OBSERVATION OF ALL TESTS AND THE COORDINATION OF ALL TESTS AND INSPECTIONS.**

ELECTRICAL SYMBOLS	
	DUPLEX RECEPTACLE
	EXTERIOR RECEPTACLE GROUND FAULT
	RECEPTACLE GROUND FAULT
	SWITCH SINGLE POLE
	SWITCH DOUBLE
	ELECTRICAL PANEL
	EXHAUST FAN/LIGHT
	6" RECESSED LED

- [illegible]



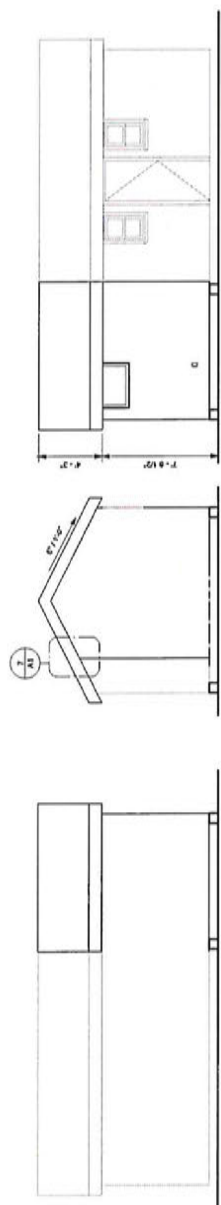
⑦ 1HR RATED ROOF EAVE DETAIL
1 1/2" = 1'-0"



3 POWER PLAN - ADDITION
1,100° = 91.20°

② FLOOR PLAN - ADDITION
1/8" = 1'-0"

① SITE PLAN
1" = 10'-0"



⑥ WEST ELEVATION
 $1/4" = 1'-0"$

5 NORTH ELEVATION
1/8" = 1'-0"

④ EAST ELEVATION
1.4" = 1'-0"



KEYER MCKEE
ENGINEERING
1700 N. Main Street, Suite 100
Tomball, Texas 77375
Office: 281.222.5300
Administration: 281.222.5300

CLIENT
Chesley Logistics
12304 S.E.
Savannah, GA 31401

PROJECT
INGLIS RESIDENCE

PROJECT LOCATION
1710 E. 20th Street
Savannah, Georgia 31401

REVISION SCHEDULE
NO. DATE DESCRIPTION

ISSUE DATE
04/29/2018

PROJECT NUMBER
25038

PROJECT PHASE
Construction Documents

DRAWN BY
C. Libbo

DESIGNED BY
B. Pugh

ENGINEERING SEAL



SHEET TITLE
Foundation & Roof
Framing Plan &
Details

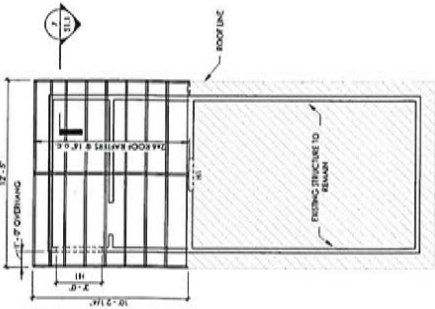
S1.1

- REMARKS:
1. ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR OSB SHEATHING. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK.
 2. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK.
 3. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK.
 4. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK. ALL EXTERIOR WALLS SHALL BE 2" MIN. THICK.
 5. PROVIDE CONTINUOUS ROOFING AT ALL WALL PANEL JOINTS FOR EDGE DRAINAGE.

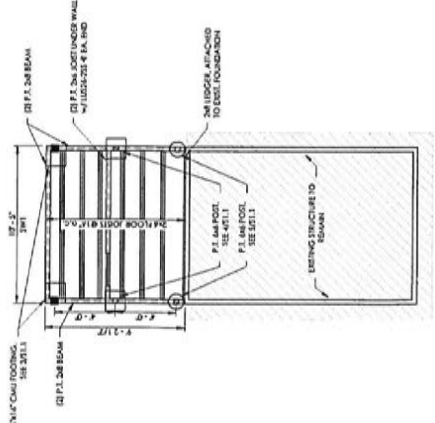
HEADER SCHEDULE			
HEADER NAME	BEAM SIZE	SPACING	NOTES
H1	12" x 12"	16"	1. (1) 12" x 12" x 16"

WALL SHEATHING TYPE AND NAILING SCHEDULE			
WALL NAME	WALL TYPE	WALL THICKNESS	WALL FINISH
W1	1/2" PLYWOOD	1/2"	1. (1) 1/2" PLYWOOD

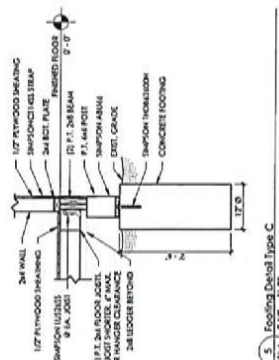
LEGEND			
1. (1) 1/2" PLYWOOD	2. (1) 1/2" PLYWOOD	3. (1) 1/2" PLYWOOD	4. (1) 1/2" PLYWOOD



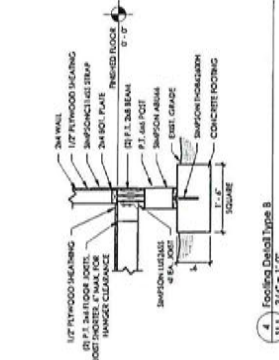
1. Foundation & Roof Plan
S1.1 3/4" = 1'-0"



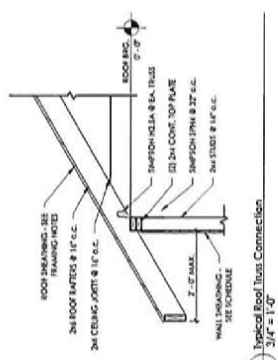
2. Foundation & Roof Plan
S1.1 3/4" = 1'-0"



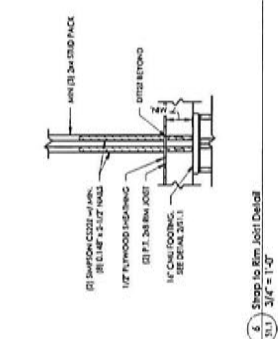
3. Roof Framing Plan
S1.1 3/4" = 1'-0"



4. Roof Framing Plan
S1.1 3/4" = 1'-0"



5. Typical Roof Truss Connection
S1.1 3/4" = 1'-0"



6. Shap to Rim Joist Detail
S1.1 3/4" = 1'-0"