

Zoning Board of Appeals **Application**

Please type or print legibly. Attach additional sheets, if necessary, to fully answer any of the following sections. Incomplete applications shall not be scheduled by the Metropolitan Planning Commission (MPC) until deficiencies are corrected. Additional instructions and information regarding the amendment process are attached. **SUBMIT AN ELECTRONIC COMPLETED APPLICATION AND SUPPLEMENTAL DOCUMENTATION TO PLANNING@SAVANNAHGA.GOV.** Applicants shall contact the MPC staff at 912.651.1440 prior to submitting an application.

I. Subject Property

Street Address(es): 810 A East 41st Street Sav Ga 3142
Property Identification Number(s) (PINs) (Note: Attach a boundary survey, recorded or proposed plat, tax map or scaled plot plan to identify the property boundary lines.): 20063 33012
Total acreage or SF of the subject property: 1000 Square Ft. (0.13 acres)
Zoning District(s): P-3
Existing land use(s) for the subject property (e.g., undeveloped, restaurant, auto repair shop, multi-family): Single-family Residence (RSF-6 zon. dist.)

II. Reason for Variance (Check all that apply and attach a response and supporting documentation for each item checked).

☒ **A. REQUEST A VARIANCE (Sec. 3.21).** The application must be submitted to provide an opportunity for the ZBA to grant variances only from the building standards for permitted uses in the base zoning districts (not to include density or vehicular access) in Article 5.0, Base Zoning Districts; variable standards in Article 9.0, General Site Standards; and variable standards in Article 10.0, Natural Resource Standards. Refer to Page 6 for plot plan criteria and explain specifics of request (e.g., To request a 5 foot reduction of the 25 foot rear yard setback). **Describe the variance requested:** ADU - already exist
Property does not meet the minimum lot area requirement to allow ADU.

☐ **B. APPEALS (Sec. 3.23).** An appeal by any aggrieved party may be taken to the ZBA when an alleged error in a final written decision of any administrator, commission or board authorized to make a final written decision occurs. An application must be filed within thirty (30) working days of a final written decision. It will be considered filed when a complete notice of appeal is submitted to planning@savannahga.gov. **Provide an explanation specifying the grounds for the appeal with the ZBA and the administrator, commission or board whose decision is being appealed:** _____

☐ **C. RELIEF FOR NONCONFORMING USES AND STRUCTURES (Sec. 3.24).** An application must be submitted to request a re-establishment, expansion, or reconstruction of a nonconforming use. **Indicate the type of non-conformity and relief sought.** _____

☐ **D. REQUEST AN EXTENSION OF A ZBA APPROVAL.** If a ZBA decision needs to be extended, an application must be submitted. Date of ZBA Approval: _____ File No.: _____

III. Application History.

- Have any previous applications been made regarding the subject property?
☒ Yes ☐ No If yes, please provide the file number(s): 26-03720-BR
- Is this request related to another review, such as a Certificate of Appropriateness (COA), Subdivision, Site Development Permit or Plan, Master Plan, Business Location Approval, Rezoning, or Text Amendment? If so, please provide the Plan/Permit # 26-03720-BR and associated Staff Report/Decision.

IV. Property Owner Information

Name(s): Harold Rhodes
Registered Agent: _____
(Or Officer or Authorized Signatory, if Property Owner is not an individual. Provide GA Annual Registration.)
Address: 810 East 91st Street
City, State, Zip: Savannah, Ga. 31401
Telephone: [REDACTED] Fax: _____
E-mail address: [REDACTED]

V. Petitioner Information, if different from Property Owner (Note: If the property owner(s) will have an agent serve on his or her behalf, the owner(s) must complete the attached Letter of Authorization. If the agent changes after submitting the application and the agent is not the property owner, a new authorization form will be required.)

Name(s): _____
Registered Agent: _____
(Or Officer or Authorized Signatory, if Petitioner is not an individual)
Address: _____
City, State, Zip: _____
Telephone: _____ Fax: _____
E-mail address: _____

VI. Agent, if different from Petitioner or Property Owner (Note: A signed, notarized Letter of Authorization from the property owner is required and must be attached if this section applies. If the agent changes after submitting the application and the agent is not the property owner, a new authorization form will be required. Please refer to VIII. Letter of Authorization.)

Name(s): Marlon Epps
Firm or Agency: _____
Address: 2230 Glynnwood Drive
City, State, Zip: Savannah, Ga. 31404
Telephone: [REDACTED] Fax: _____
E-mail address: [REDACTED]

VII. Application Fee:

The non-refundable filing fee is based on the type of use for which relief is requested. Make check payable to City of Savannah.

- ☒ Residential: \$620.00
☐ Non-residential: \$1,300.00

VIII. Letter of Authorization

As fee simple owner of the subject property that is identified as Property Identification Number(s) (PIN)

20063-33012

I (we) authorize

Mankin Epps

(Agent Name) of _____ (Firm or

Agency, if applicable) to serve as agent on my (our) behalf for the purpose of making and executing this application for the proposed request. I (we) understand that any representations(s) made on my (our) behalf, by my (our) authorized representative, shall be legally binding upon the subject property.

Property Owner(s)

Name(s): Harold Rhodes

Registered Agent: _____
(Or Officer or Authorized Signatory, if Property owner is not an individual)

Harold Rhodes

Signature(s)

5-11-2024

Date

Witness Signature Certificate

State of Georgia

County of Chatham

Signed or attested before me on 5/11/2024 by Mankin Epps
Date (Printed name(s) of individual(s) signing document)

who proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

____ Personally Known or ____ Produced Identification Type of ID _____

Shantrel White

Signature of Notary Public

Shantrel White
NOTARY PUBLIC
CHATHAM COUNTY, GEORGIA
My Commission Expires 03/09/2029

(Name of notary, typed, stamped or printed)

Notary Public State of Georgia

My commission expires: 03/09/2029

IX. Application Checklist

Pursuant to O.C.G.A. § 8-2-26, this checklist must be completed and submitted with each application. Please check every item as either "Y" for items that are included with the application or "N" for items that are not included with the application. Items without an "N" checkbox are minimum requirements initially due with the application if applicable.

Yes No

- ☒ ☐ Part I. Subject Property
- ☒ ☐ Part II. Reason for Variance
- ☒ ☐ Part III. Application History
- ☒ ☐ Part IV. Property Owner Information
- ☐ ☒ Part V. Petitioner Information
- ☐ ☒ Part VI. Agent
- ☒ ☐ Part VII. Application Fee
- ☐ ☒ Part VIII. Letter of Authorization
- ☒ ☐ Part IX. Complete Application Checklist
- ☒ ☐ Part X. Certified Application (Signed application)
- ☐ ☐ A scaled dimensioned map, plat or sketch of the subject property referred to in the application
- ☐ ☐ Concept Plan of the proposed development if applicable

Please note: Supplemental information may be required during plan review to address deficiencies.

X. Certified Application

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures, and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date. I understand that the approval of an application for Special Use Permit by The Mayor and Aldermen does not constitute a waiver from any applicable local, state, or federal regulations.

Applicant Name: Harold Rhodes Harold Rhodes 4-20-2020
Print Signature Date

Contacts

Planning & Urban Design: 20 Interchange Drive, Administration Building
Savannah, GA, 31415
P.O. Box 1027, Savannah, GA, 31402 (Phone: 912.525.2783)

The Planning Commission: 110 E State St, Savannah, GA, 31401 (Located at the State Street Garage)
P.O. Box 8246, Savannah, GA, 31412 (Phone: 912.651.1440)



810 E 41ST ST, SAVANNAH, 3

Show search results for 810...

33

DOCK 7 STREET

E 41st St

E 41st St

E 41st St

E 41st Ln

E 41st Ln

loading...

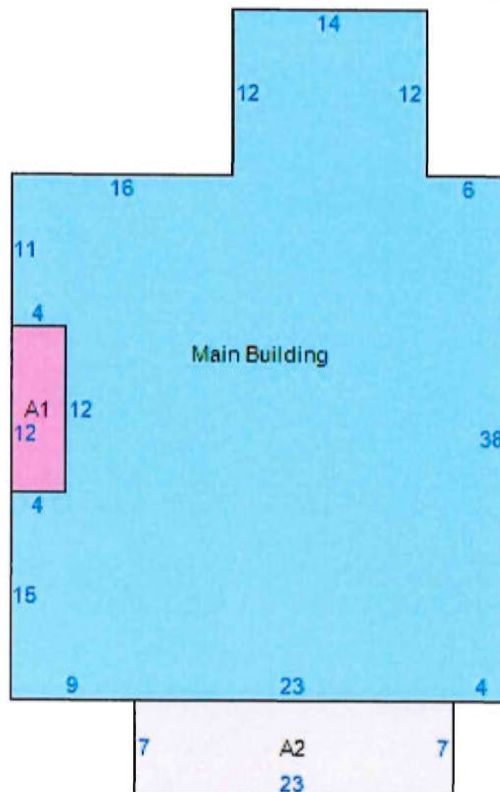
0 20 40ft

OBY

Card #	Description	Year Built:	Grade:	Units:	Override:	Area:
1	908 : ENCLOSED PORCH, KNEE WALLS W/GLASS	1990	D	1		192
1	706 : DETACHED GARAGE	1990	D	1		225

Appraised Values

Tax Year	Land	Building	Appraised Total	Reason
2024	104,000	217,100	321,100	
2023	104,000	237,400	341,400	
2022	70,000	209,900	279,900	
2021	50,000	186,000	236,000	
2020	50,000	175,700	225,700	
2019	50,000	175,700	225,700	
2018	50,000	150,500	200,500	
2017	55,000	153,900	208,900	
2016	55,000	136,400	191,400	



Item	Area
Main Building	1488
- 706:DETACHED GARAGE	225

810 E 41st - Pin - 20063 33012

